



LA MESA VILLAGE

4757 PALM AVE, LA MESA, CA 91942

ATTACHMENT H

DEVELOPMENT SUMMARY

PROJECT INFORMATION			
ADDRESS:	4757 PALM AVE LA MESA CA 91942	APN:	494-410-24
		AREA (SF)	21,489 SF
		ACRES	.49 AC

DEVELOPMENT REGULATIONS			
BASE ZONE	CD-D	MAX STRUCTURE SITE	46'
COMMUNITY PLAN	DOWNTOWN VILLAGE SPECIFIC PLAN		
OVERLAY ZONES:	URBAN DESIGN OVERLAY	CONSTRUCTION TYPE	LEVEL 1: IA LEVEL 2-5: VA
MAX. DENSITY	N/A	OCCUPANCY	A-2, R-2, S-2
SETBACKS		SPRINKLERS	NFPA-13
FRONT STREET	N/A		
SIDE	N/A		
REAR	N/A		

DENSITY			
PROPOSED UNIT COUNT			64 DU
PROPOSED DENSITY:			130 DU/ACRE
SET ASIDE	VERY LOW INCOME	8 DU	= 12.5% (UNIT #201, 214, 215 301, 314, 315, 401,415)
INCENTIVES ALLOWED	2		
PROPOSED	1	RESIDENTIAL ON GROUND FLOOR	
	2	TBD	
WAIVER		HEIGHT	
WAIVER		THIRD STORY SETBACK	
WAIVER		MULTILEVEL PARKING STANDARD AT GRADE	

UNIT TABULATION					
75%	1 BR	A1.1	3	694 SF	2,082 SF
		A1.2	8	743 SF	5,944 SF
		A2	4	725 SF	2,900 SF
		A3	4	800 SF	3,200 SF
		A4	8	747 SF	5,976 SF
		A5	4	648 SF	2,592 SF
		A6	3	1,944 SF	7,672 SF
		A7	3	787 SF	3,153 SF
		A8	3	821 SF	3,283 SF
		A9	1	600 SF	2,400 SF
		A10	1	764 SF	3,056 SF
		A11	1	586 SF	2,344 SF
		A12	2	595 SF	2,380 SF
		A13	2	712 SF	2,848 SF
A14	1	832 SF	3,328 SF		
		SUB-TOTAL	48	34,858 SF	
25%	2 BR	B1	4	1,013 SF	4,052 SF
		B2	8	1,024 SF	8,192 SF
		B3	4	1,030 SF	4,120 SF
				SUB-TOTAL	16
		TOTAL DU	64	51,222 SF	

BUILDING AREA		RENTABLE AREA	
APARTMENTS (NRSF)			51,222 SF
COMMERCIAL	COMMERCIAL 1		2,377 SF
	SUB-TOTAL		53,599 SF
HABITABLE AREA			
LOBBY			750 SF
MAIL/PARCEL			149 SF
LEASING OFFICE			130 SF
BIKES			262 SF
STORAGE	158 SF/FLR X 4 FLR		632 SF
	SUB-TOTAL		1,923 SF
UTILITY AREA			
ELECTRIC METER RM.			200 SF
MPOE			114 SF
ELEV MACH RM			64 SF
UTILITY CLOSET			57 SF
TRASH			281 SF
TRASH CHUTES	4 FLR X 54 SF/FLR		216 SF
IDF	4 FLR X 48 SF/FLR		192 SF
BOILER			127 SF
	SUB-TOTAL		1,251 SF
CIRCULATION			
ELEVATOR	90 SF/FLR X 5 FLR		450 SF
STAIR 1	200 SF/FLR X 5 FLR		1,000 SF
STAIR 2	200 SF/FLR X 5 FLR		1,000 SF
HALLWAY 2 - 5	1,478 SF/FLR X 4 FLR		5,912 SF
	SUB-TOTAL		8,362 SF
GARAGE			9,152 SF
	TOTAL GROSS FLOOR AREA (GFA)		74,287 SF
	EFFICIENCY		82.29%

PARKING (MINIMUM REQUIREMENTS)							
	QNTY	CARS		MOTORCYCLES		BIKES	
		RATIO	#	RATIO	#	RATIO	#
PER AFFORD DENSITY BONUS							
1 BR	48 DU	0.5	24	0	0	0	0
2 BR	16 DU	0.5	8	0	0	0	0
	SUB-TOTAL		32		0		0
COMMERCIAL	2,377 SF	3/1,000 SF	7,131	0	0	0	0
	TOTAL REQUIRED		39,131		0		0
	TOTAL PROPOSED		29		0		0
SUPPLEMENTAL RESIDENTIAL REGULATIONS							
OPEN SPACE						2,039 SF	
COURTYARD						648 SF	
ROOF DECK							

PROJECT #: 2021-40

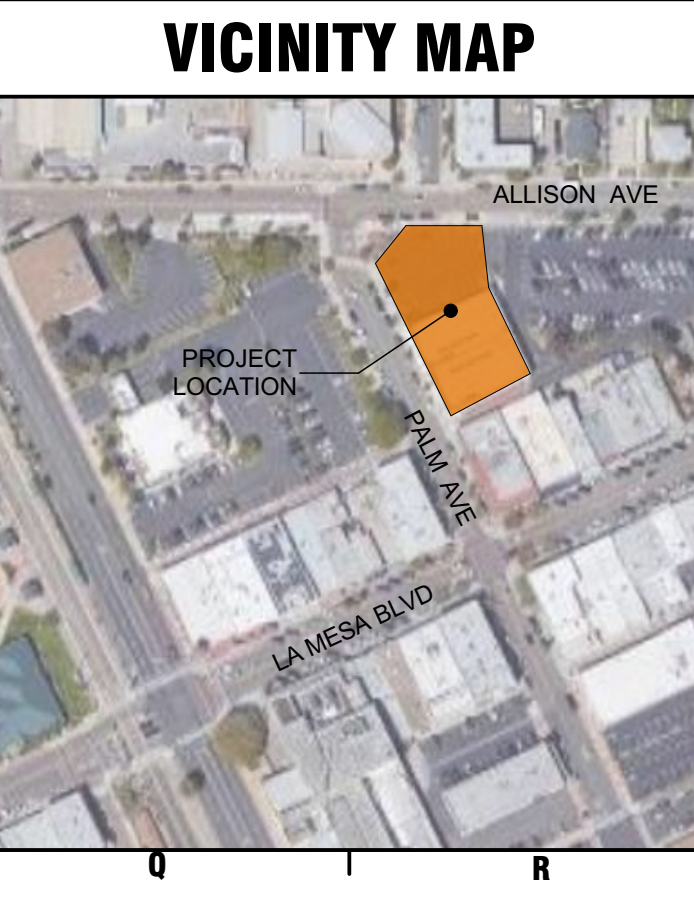
PROJECT TEAM	
OWNER	PALM STREET VENTURES LLC 8127 LA MESA BLVD #C LA MESA, CA 91942 619.220.7444
ARCHITECT	STEPHEN DALTON ARCHITECTS 444 S CEDROS AVE, STUDIO 190 SOLANA BEACH, CA 92075 858.792.5906
SURVEY	METROPOLITAN MAPPING, INC 3712 30TH ST SAN DIEGO, CA 92104 619.431.5250
CIVIL	NAJARS ENGINEERING 772 JAMACHA RD #157 EL CAJON, CA 92109 619.971.7514
LANDSCAPE	McCULLOUGH LANDSCAPE ARCHITECTURE 363 FIFTH AVE, #301 SAN DIEGO, CA 92101 619.296.3150
DRY UTILITIES	UTILITY SPECIALISTS 4429 MORENA BLVD SAN DIEGO, CA 92117 858.581.2250
SOILS ENGINEER	GEOCON INC 6960 FLANDERS DR SAN DIEGO, CA 92121 858.558.6900 x228

SHEET INDEX	
A0-1	TITLE SHEET
A0-2	CODE COMPLIANCE
A0-3	CODE COMPLIANCE
C1.0	EXISTING TOPO & DEMO PLAN
C2.0	CONCEPT GRADING PLAN
A1-1	ARCHITECTURAL SITE PLAN
A2-1	FIRST FLOOR PLAN
A2-2	2ND FLOOR PLAN
A2-3	3RD-4TH FLOOR PLAN
A2-4	5TH FLOOR PLAN
A2-5	ROOF PLAN
A3-0	MATERIAL ELEVATION
A3-1	EXTERIOR ELEVATIONS
A3-2	EXTERIOR ELEVATIONS
A3-3	COURTYARD ELEVATIONS
A3-4	EXTERIOR PERSPECTIVES
A3-5	EXTERIOR PERSPECTIVES
A4-1	SECTIONS
A6-1	UNIT PLANS
A6-2	UNIT PLANS
A6-3	UNIT PLANS
A6-4	UNIT PLANS
L1-00	COVER SHEET
L2-00	CONSTRUCTION PLAN L1
L2-01	CONSTRUCTION PLAN L1
L2-02	CONSTRUCTION PLAN L1
L3-00	IRRIGATION PLAN L1
L3-01	IRRIGATION PLAN L2
L3-02	IRRIGATION PLAN L5
L4-00	PLANTING PLAN L1
L4-01	PLANTING PLAN L2
L4-02	PLANTING PLAN L5
L5-00	RENDER VIEWS

SCOPE OF WORK	
-	CONSTRUCTION OF A NEW 5 STORY MIXED USE BUILDING, 4 LEVELS OF TYPE VA OVER 1 LEVEL OF TYPE IA, GROUND FLOOR COMMERCIAL SPACE, (64) RESIDENTIAL APARTMENTS, COVERED PARKING GARAGE
-	ASSOCIATED LANDSCAPING IMPROVEMENTS ON SITE AND WITHIN THE RIGHT OF WAY

DEFERRED SUBMITTALS	
1.	FIRE SPRINKLER SYSTEM
2.	FIRE ALARM SYSTEM
3.	EMERGENCY RESPONDER RADIO COVERAGE SYSTEM
4.	CLASS I AUTOMATIC WET STANDPIPE SYSTEM

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO SHALL REVIEW AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.



project title
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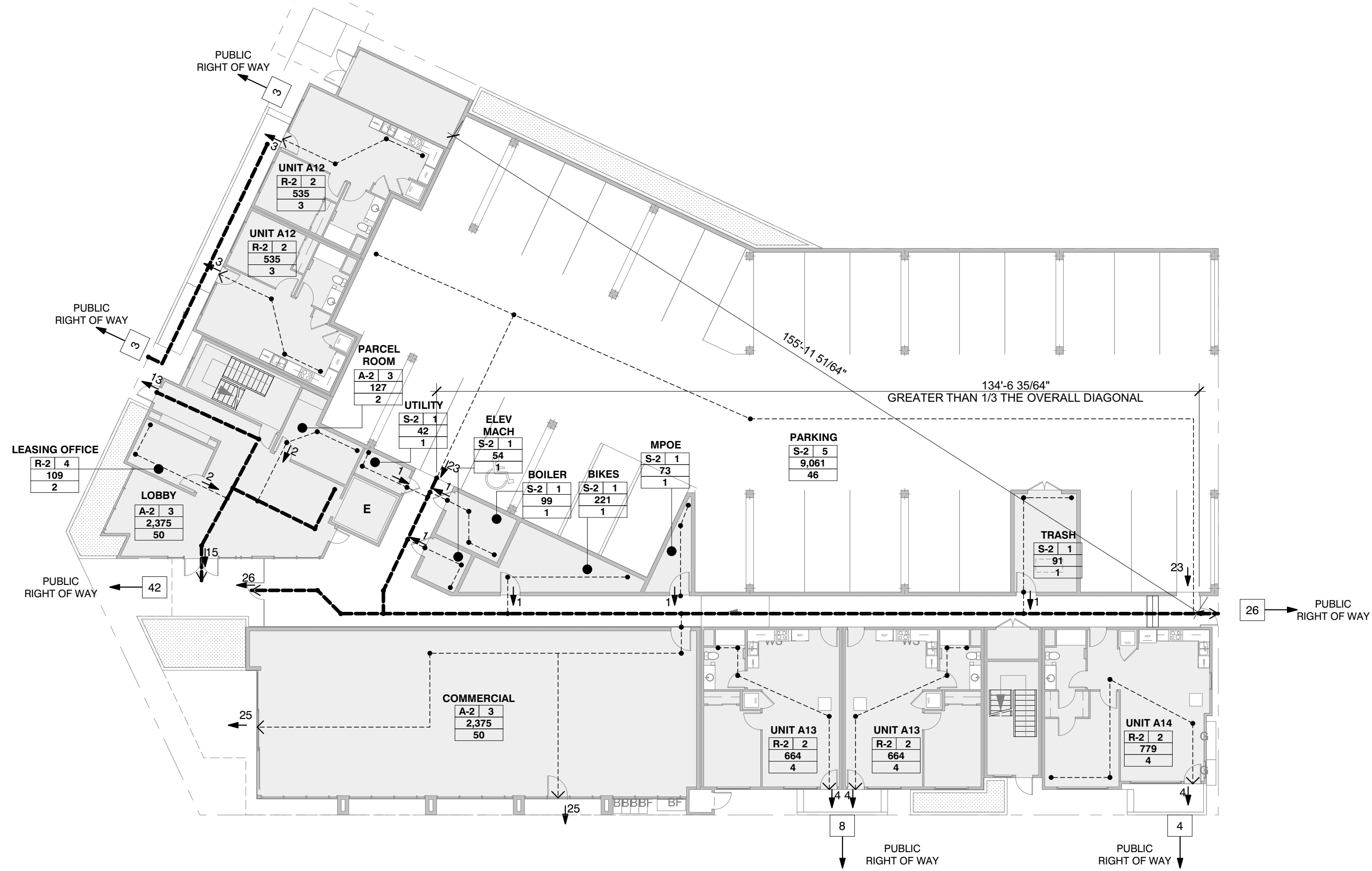
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TITLE SHEET
spa
ARCHITECTS

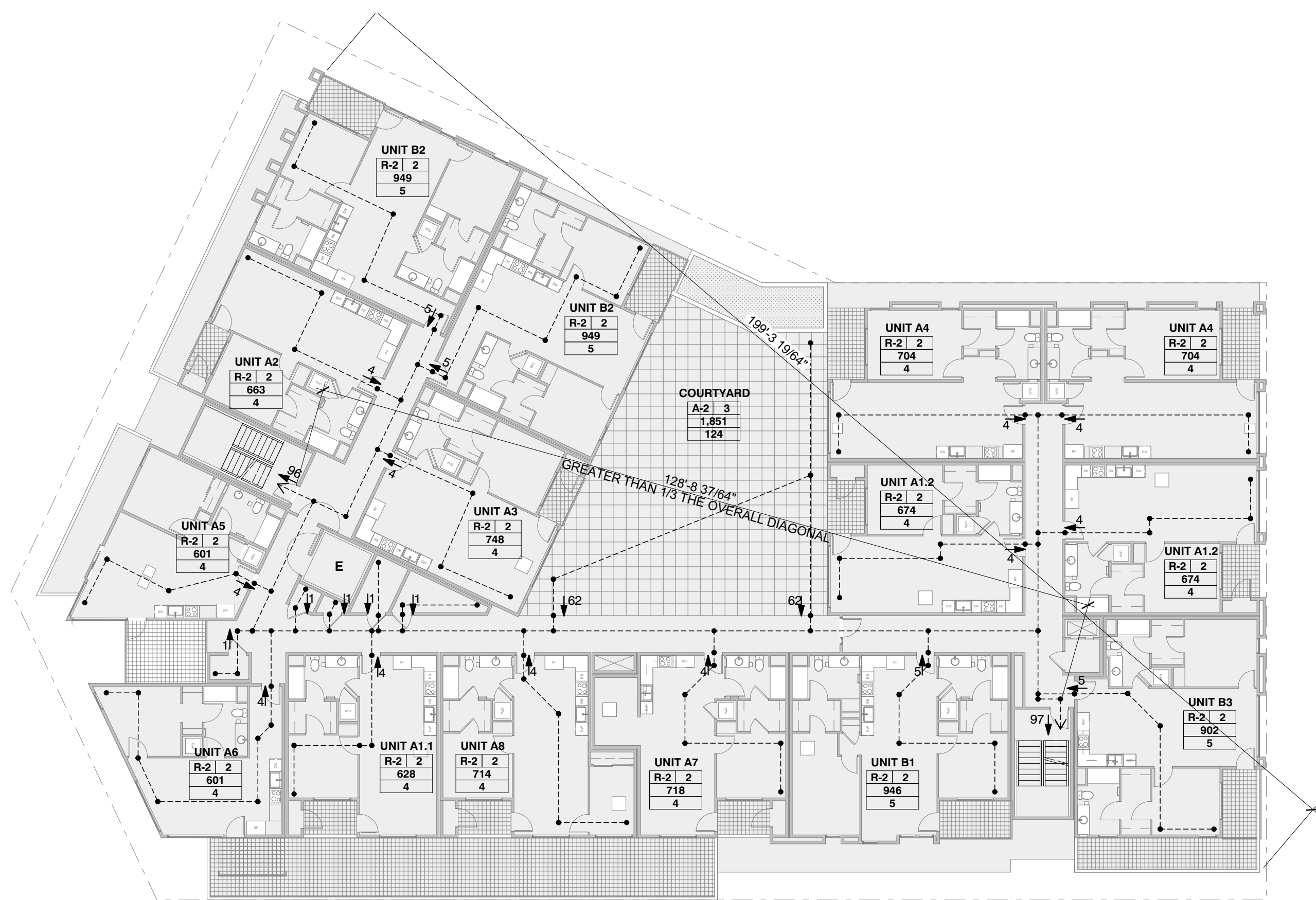
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2036
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08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

sheet
A0-1



1 1ST FLOOR EGRESS PLAN
SCALE: 1/16" = 1'-0"



2 2ND FLOOR EGRESS PLAN
SCALE: 1/16" = 1'-0"

CODE ANALYSIS

BUILDING USAGE: "S-2" STORAGE/MECHANICAL
"R-2" RESIDENTIAL
"A-2" COMMERCIAL

CONSTRUCTION TYPE: TYPE IA, (PODIUM), GARAGE LEVEL
TYPE VA RESIDENTIAL LEVELS

FIRE SPRINKLERS: NFPA 13

ALLOWABLE BUILDING HEIGHT AND ALLOWABLE AREA PER STORY:
UL = UNLIMITED

GROUP S-2 UL HEIGHT PER CBC 504.3
1 STORY* PER SPECIAL PROVISION CBC 510.4
UL AREA PER CBC TABLE 506.2

GROUP R-2 60'-0" PER CBC 504.3
4 STORY PER CBC 504.4
36,000 SF PER CBC TABLE 506.2

GROUP A-2 UL HEIGHT PER CBC 504.3
UL STORY PER CBC 504.4
UL AREA PER CBC TABLE 506.2

FRONTAGE INCREASE (CBC 506.2):
(AREA INCREASE NOT USED)
If = 0

ACTUAL SQUARE FOOTAGE:
OCCUPANCY GROUP S-2

ACUTAL SQUARE FOOTAGE
LEVEL 1 GROUP S-2 10,257 SF

RATIO OF ACTUAL FLOOR AREA TO ALLOWABLE AREA:
*ALLOWABLE AREA IS UNLIMITED - NO RATIO

RESIDENTIAL
OCCUPANCY GROUP R-2

GROUP R-2	LEVEL 1	4,965 SF
	LEVEL 2	14,422 SF
	LEVEL 3	14,422 SF
	LEVEL 4	14,422 SF
	LEVEL 5	13,422 SF
	SUBT-TOTAL	61,653 SF

COMMERCIAL
OCCUPANCY GROUP A-2

ACUTAL SQUARE FOOTAGE
LEVEL 1 GROUP A-2 2,377 SF

TOTAL GFA 74,287 SF

RATIO OF ACTUAL FLOOR AREA TO ALLOWABLE AREA:

GROUP R-2	LEVEL 1: R-2	4,965/36,000 SF = 0.138
	LEVEL 2: R-2	14,422/36,000 SF = 0.400
	LEVEL 3: R-2	14,422/36,000 SF = 0.400
	LEVEL 4: R-2	14,422/36,000 SF = 0.400
	LEVEL 5: R-2	13,422/36,000 SF = 0.373

SUM OF RATIOS:
S-2 UL
R-2 1.711
A-2 UL
TOTAL 1.711 < 2 (REF CBC 506.2.4)

CODE ANALYSIS LEGEND

- UNIT = ROOM NAME
* = COMMUNICATION FEATURES PROVIDED PER CBC TABLE 11B-224.4
* = MOBILITY FEATURES PROVIDED PER CBC TABLE 11B-224.2
- R-2 = OCCUPANCY TYPE
2 = SPACE USE - REFER TO SPACE USE SCHEDULE
525 = FLOOR AREA - SQUARE FOOTAGE
3 = OCCUPANT LOAD (CBC TABLE 1004.1.2)
- ← 3 = PATH OF EGRESS
"3" = CUMULATIVE OCCUPANCY LOAD EXITING
● = EXIT ACCESS TRAVEL ROUTE
← 20 = OCCUPANT LOAD "20" = CUMULATIVE OCCUPANCY
← = ACCESSIBLE PATH OF TRAVEL
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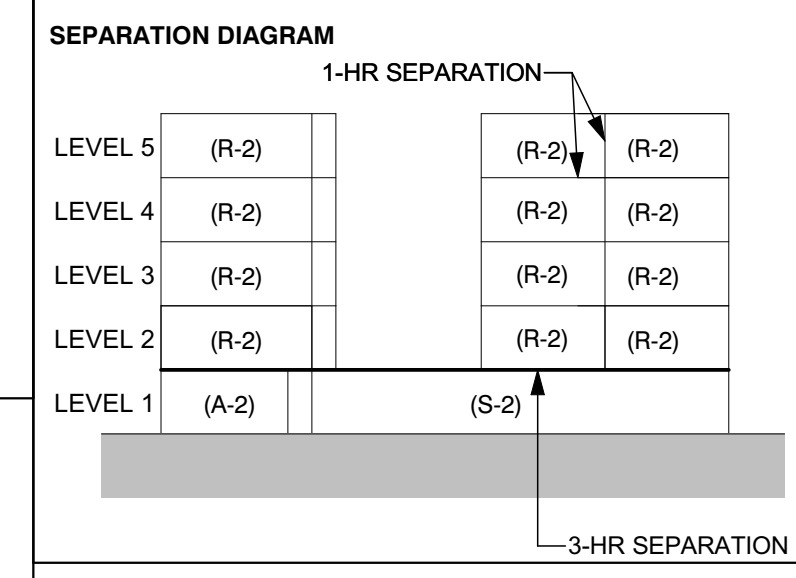
SPACE USE

NO.	SPACE USE	FLOOR AREA IN SF/ OCCUPANT
1.	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 gross
2.	RESIDENTIAL	200 gross
3.	ASSEMBLY WITH UNCONCENTRATED (TABLES AND CHAIRS)	15 net
4.	BUSINESS AREA	100 gross
5.	PARKING GARAGE	200 gross

OCCUPANCY SEPARATION

OCCUPANCY SEPARATION PER CBC TABLE 508.4

OCCUPANCY	R-2	S-2	A-2
R-2	-	1HR	1HR
S-2	1HR	-	-
A-2	1HR	-	-



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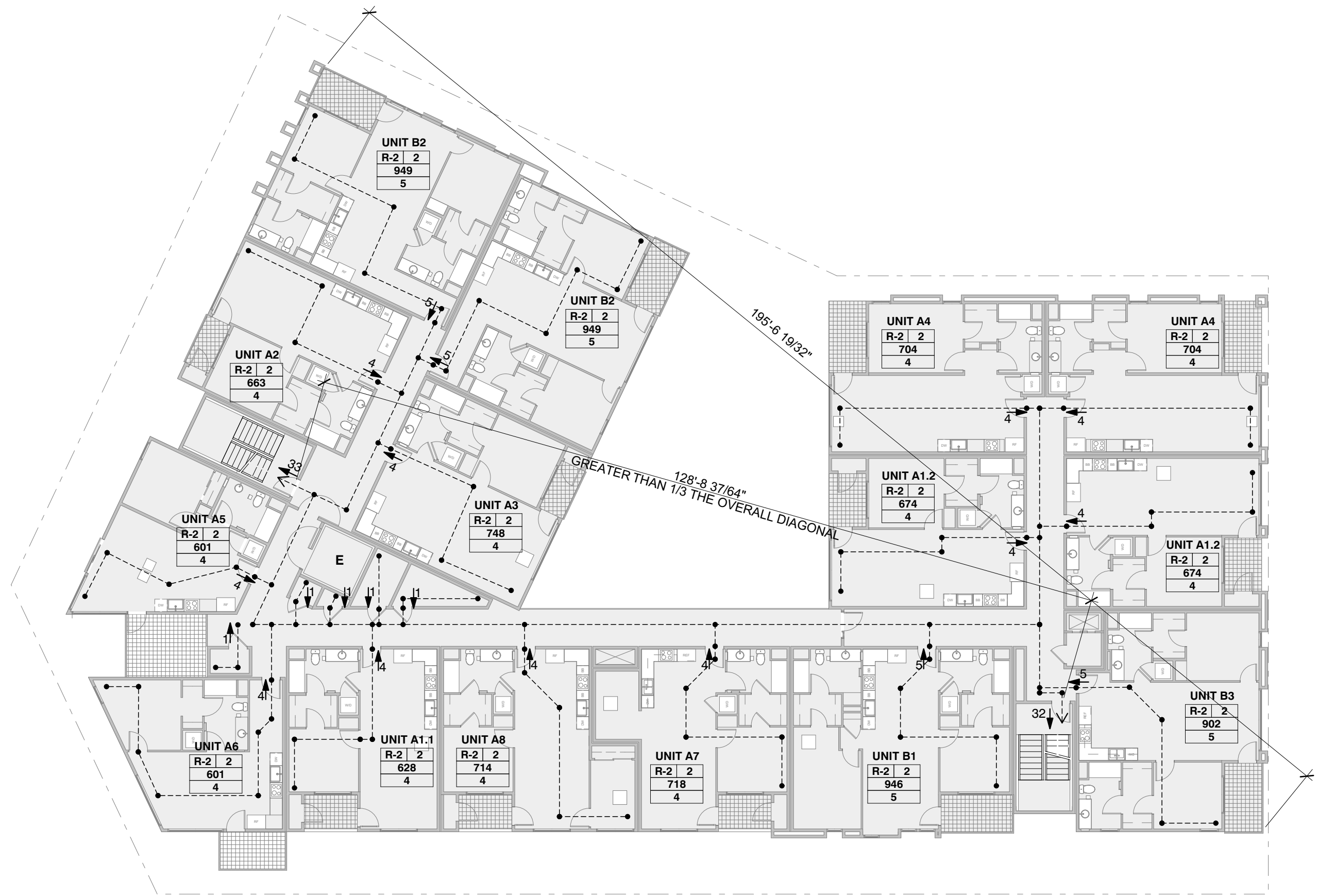
sdA ARCHITECTS

Job no. **2036**

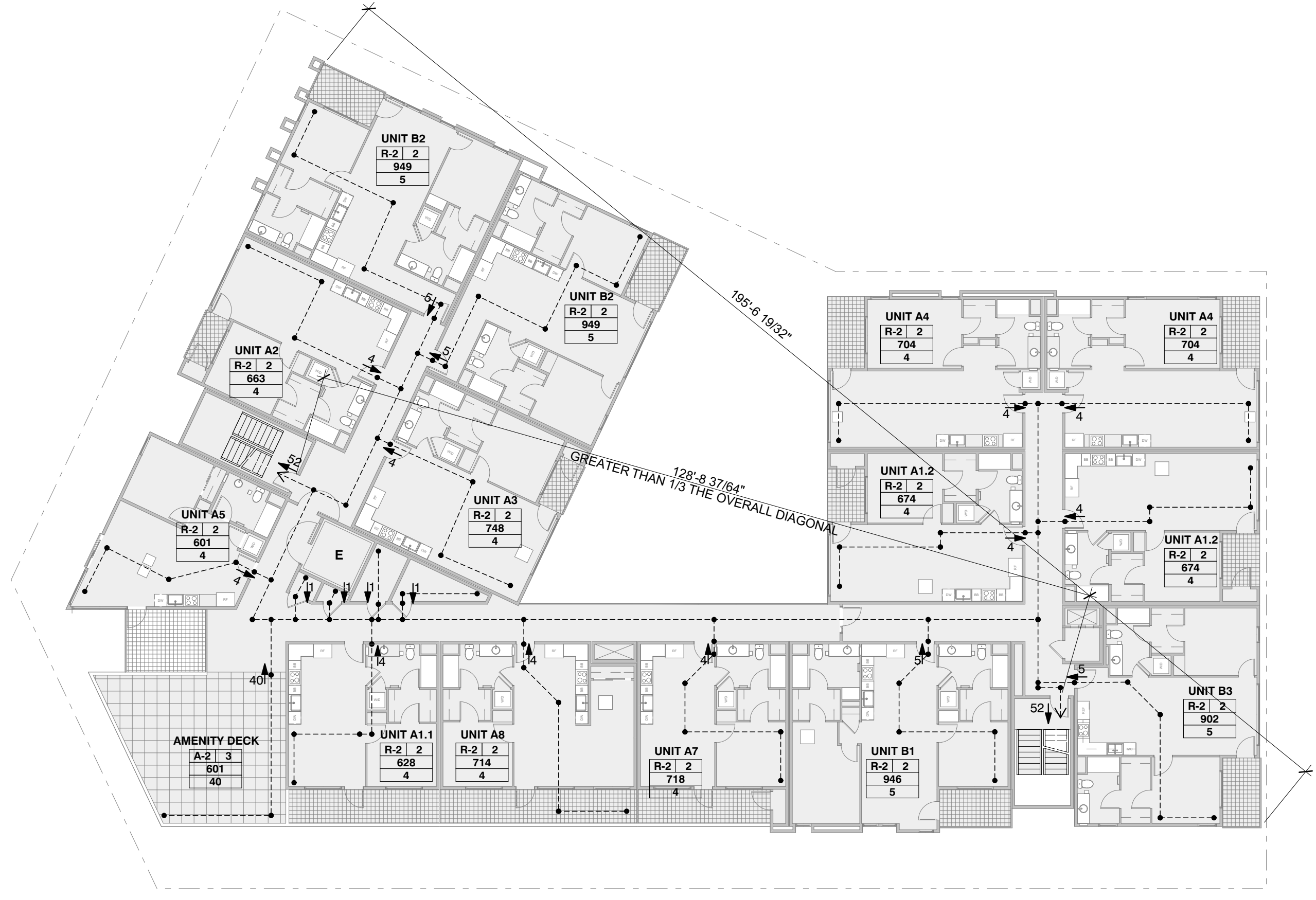
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sheet **A0-2**



1 3RD-4TH FLOOR EGRESS PLAN
SCALE: 1/16" = 1'-0"



2 5TH FLOOR EGRESS PLAN
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OCCUPANCY GROUP S-2

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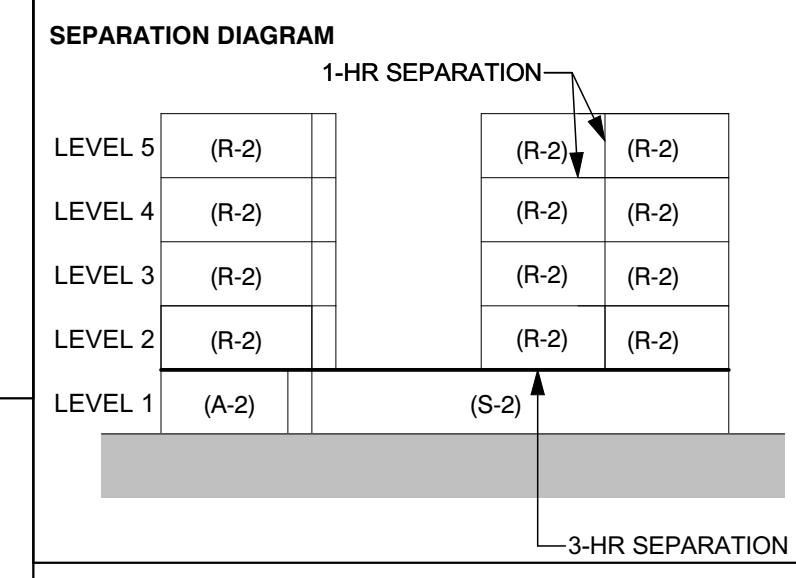
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OCCUPANCY SEPARATION

OCCUPANCY SEPARATION PER CBC TABLE 508.4

OCCUPANCY	R-2	S-2	A-2
R-2	-	1HR	1HR
S-2	1HR	-	-
A-2	1HR	-	-



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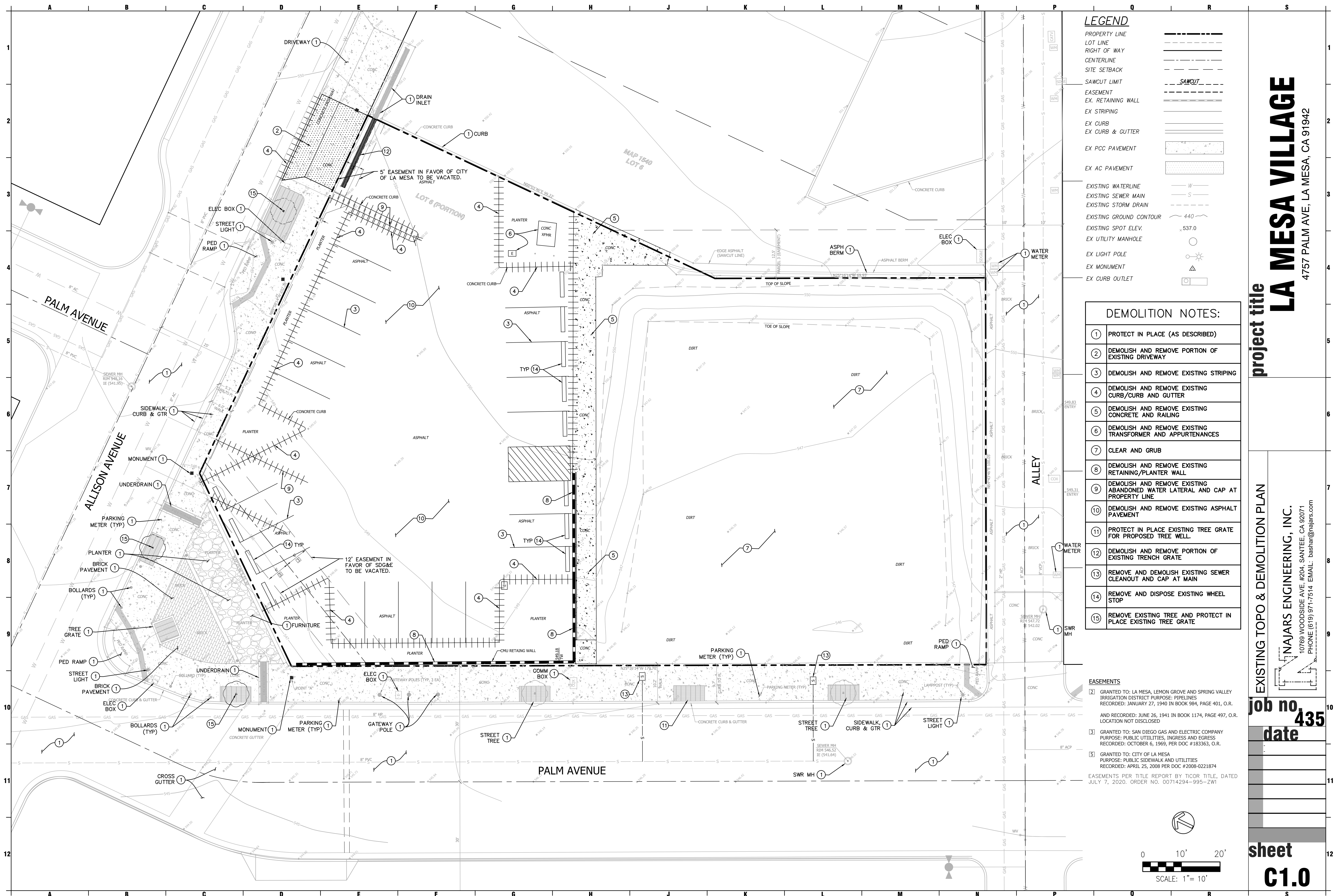
CODE COMPLIANCE
sda ARCHITECTS

job no. **2036**

date

08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

sheet **A0-3**



LEGEND

PROPERTY LINE	---
LOT LINE	---
RIGHT OF WAY	---
CENTERLINE	---
SITE SETBACK	---
SAWCUT LIMIT	--- SAWCUT ---
EASEMENT	---
EX. RETAINING WALL	---
EX STRIPING	---
EX CURB	---
EX CURB & GUTTER	---
EX PCC PAVEMENT	---
EX AC PAVEMENT	---
EXISTING WATERLINE	W
EXISTING SEWER MAIN	S
EXISTING STORM DRAIN	---
EXISTING GROUND CONTOUR	440
EXISTING SPOT ELEV.	537.0
EX UTILITY MANHOLE	○
EX LIGHT POLE	⊙
EX MONUMENT	△
EX CURB OUTLET	□

DEMOLITION NOTES:

1	PROTECT IN PLACE (AS DESCRIBED)
2	DEMOLISH AND REMOVE PORTION OF EXISTING DRIVEWAY
3	DEMOLISH AND REMOVE EXISTING STRIPING
4	DEMOLISH AND REMOVE EXISTING CURB/CURB AND GUTTER
5	DEMOLISH AND REMOVE EXISTING CONCRETE AND RAILING
6	DEMOLISH AND REMOVE EXISTING TRANSFORMER AND APPURTENANCES
7	CLEAR AND GRUB
8	DEMOLISH AND REMOVE EXISTING RETAINING/PLANTER WALL
9	DEMOLISH AND REMOVE EXISTING ABANDONED WATER LATERAL AND CAP AT PROPERTY LINE
10	DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT
11	PROTECT IN PLACE EXISTING TREE GRATE FOR PROPOSED TREE WELL
12	DEMOLISH AND REMOVE PORTION OF EXISTING TRENCH GRATE
13	REMOVE AND DEMOLISH EXISTING SEWER CLEANOUT AND CAP AT MAIN
14	REMOVE AND DISPOSE EXISTING WHEEL STOP
15	REMOVE EXISTING TREE AND PROTECT IN PLACE EXISTING TREE GRATE

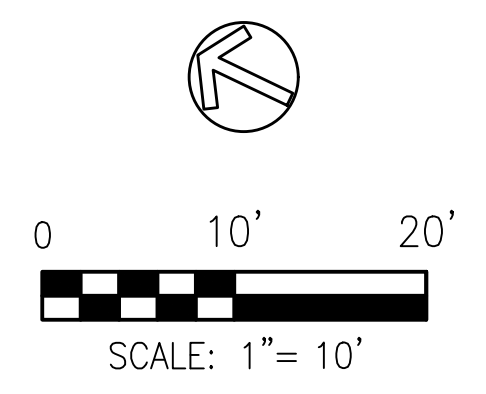
EASEMENTS

2] GRANTED TO: LA MESA, LEMON GROVE AND SPRING VALLEY IRRIGATION DISTRICT PURPOSE: PIPELINES
RECORDED: JANUARY 27, 1940 IN BOOK 984, PAGE 401, O.R.
AND RECORDED: JUNE 26, 1941 IN BOOK 1174, PAGE 497, O.R.
LOCATION NOT DISCLOSED

3] GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS
RECORDED: OCTOBER 6, 1969, PER DOC #183363, O.R.

5] GRANTED TO: CITY OF LA MESA
PURPOSE: PUBLIC SIDEWALK AND UTILITIES
RECORDED: APRIL 25, 2008 PER DOC #2008-0221874

EASEMENTS PER TITLE REPORT BY TICOR TITLE, DATED JULY 7, 2020. ORDER NO. 00714294-995-ZW1



project title

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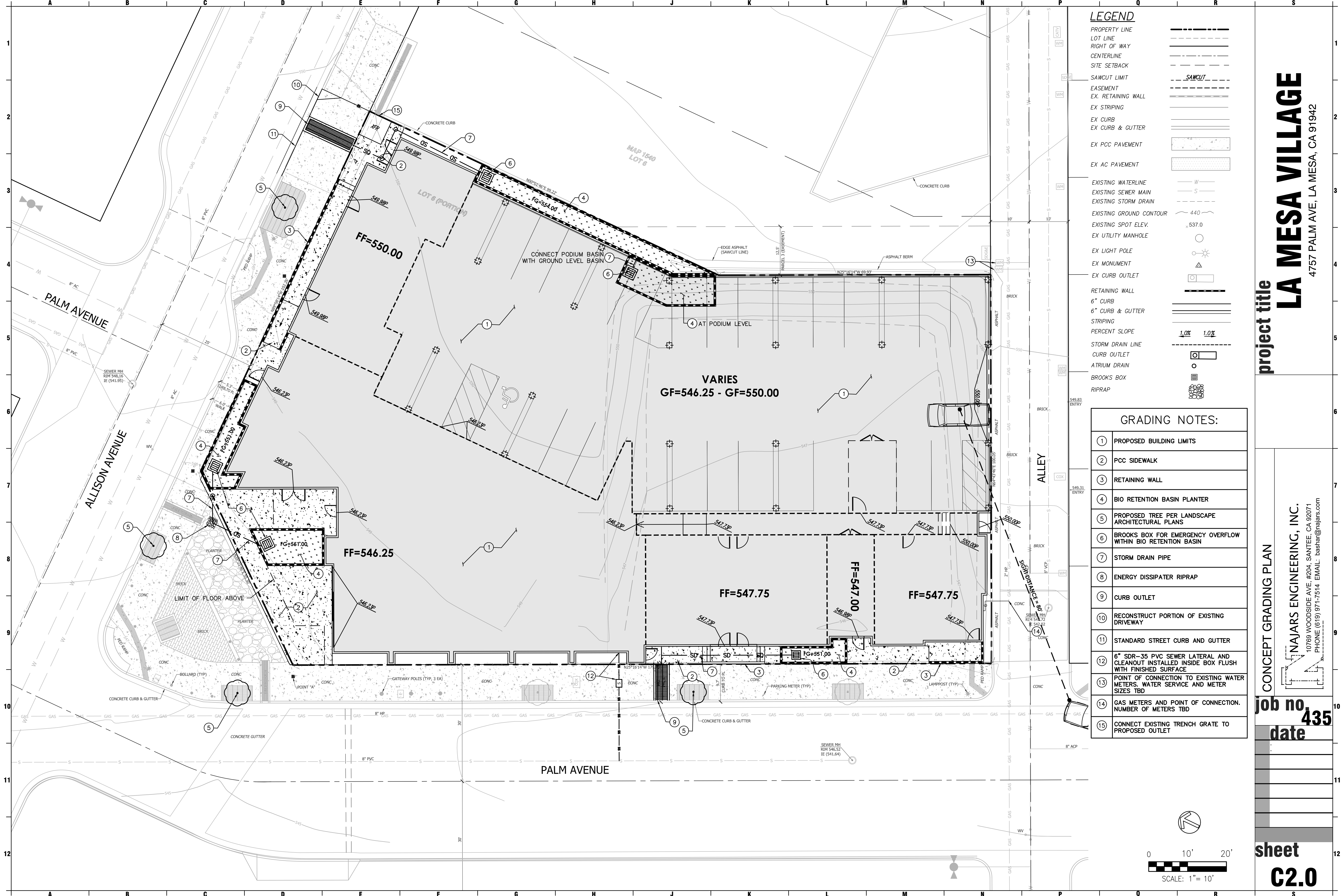
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EXISTING TOPO & DEMOLITION PLAN

job no
date

435

sheet
C1.0



LEGEND

- PROPERTY LINE
- LOT LINE
- RIGHT OF WAY
- CENTERLINE
- SITE SETBACK
- SAWCUT LIMIT
- EASEMENT
- EX. RETAINING WALL
- EX STRIPING
- EX CURB
- EX CURB & GUTTER
- EX PCC PAVEMENT
- EX AC PAVEMENT
- EXISTING WATERLINE
- EXISTING SEWER MAIN
- EXISTING STORM DRAIN
- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEV.
- EX UTILITY MANHOLE
- EX LIGHT POLE
- EX MONUMENT
- EX CURB OUTLET
- RETAINING WALL
- 6" CURB
- 6" CURB & GUTTER
- STRIPING
- PERCENT SLOPE
- STORM DRAIN LINE
- CURB OUTLET
- ATRIUM DRAIN
- BROOKS BOX
- RIPRAP

GRADING NOTES:

1	PROPOSED BUILDING LIMITS
2	PCC SIDEWALK
3	RETAINING WALL
4	BIO RETENTION BASIN PLANTER
5	PROPOSED TREE PER LANDSCAPE ARCHITECTURAL PLANS
6	BROOKS BOX FOR EMERGENCY OVERFLOW WITHIN BIO RETENTION BASIN
7	STORM DRAIN PIPE
8	ENERGY DISSIPATER RIPRAP
9	CURB OUTLET
10	RECONSTRUCT PORTION OF EXISTING DRIVEWAY
11	STANDARD STREET CURB AND GUTTER
12	6" SDR-35 PVC SEWER LATERAL AND CLEANOUT INSTALLED INSIDE BOX FLUSH WITH FINISHED SURFACE
13	POINT OF CONNECTION TO EXISTING WATER METERS. WATER SERVICE AND METER SIZES TBD
14	GAS METERS AND POINT OF CONNECTION. NUMBER OF METERS TBD
15	CONNECT EXISTING TRENCH GRATE TO PROPOSED OUTLET

project title

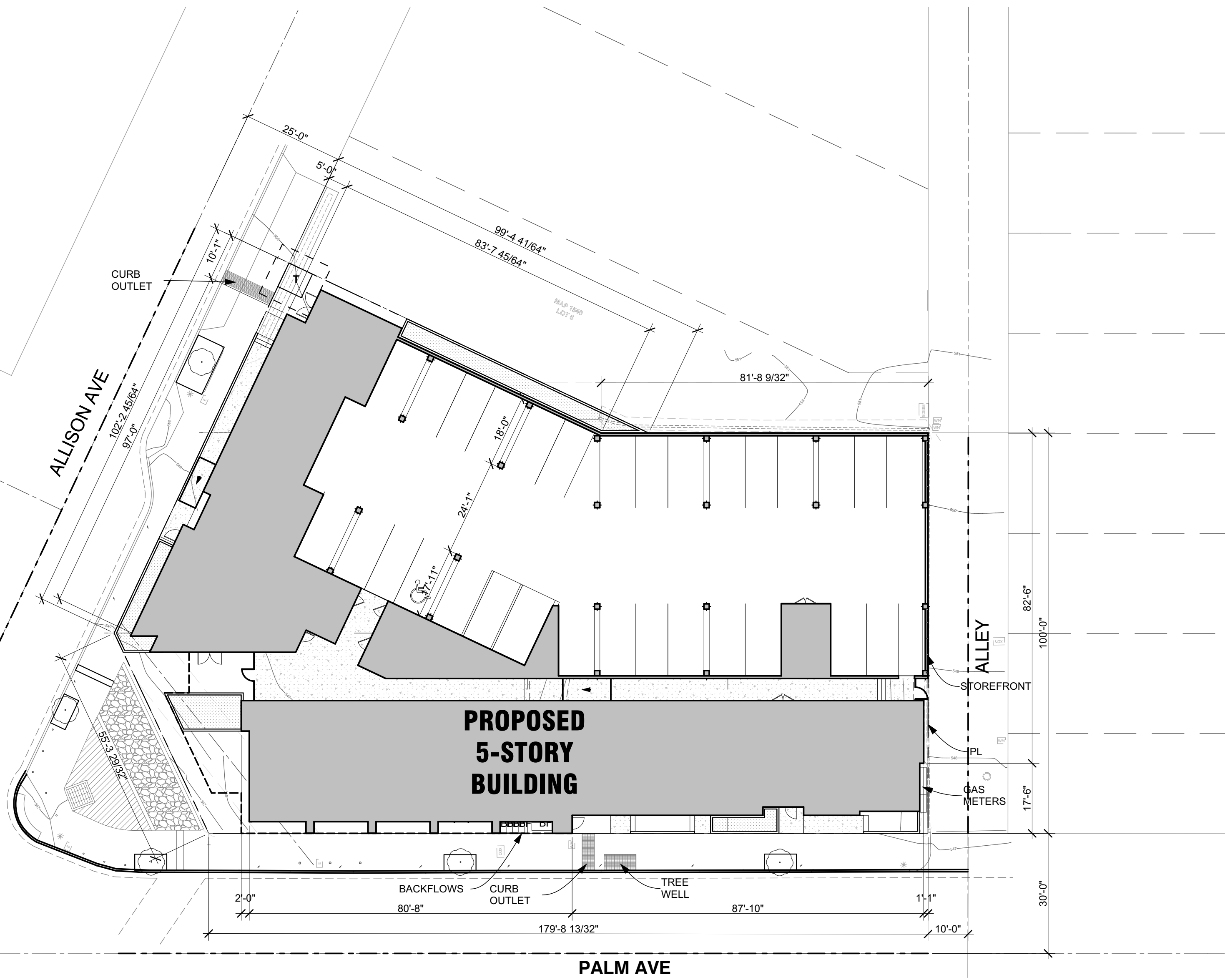
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CONCEPT GRADING PLAN

NAJARS ENGINEERING, INC.
10769 WOODSIDE AVE, #204, SANTEE, CA 92071
PHONE (619) 971-7514 EMAIL: bashar@najars.com



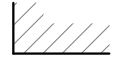




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date

sheet **C2.0**



1 SITE PLAN
SCALE: 1" = 20'

SITE PLAN LEGEND

-  EXISTING BUILDING FOOTPRINT
-  PROPOSED BUILDING FOOTPRINT
-  SECOND FLOOR
-  HARDSCAPE: CONCRETE
-  HARDSCAPE: DECOMPOSED GRANITE
-  HARDSCAPE: PAVERS
-  LANDSCAPE

REFER TO CIVIL PLANS FOR ADDITIONAL SITE AND GRADING INFORMATION

project title

stamp

ARCHITECTURAL SITE PLAN

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08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
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sheet

A1-1

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ELECTRICAL SYMBOLS

- WM1 WALL-MOUNTED (ALCON LIGHTING- ALCON 11247)
- WM2 WALL-MOUNTED (TECH LIGHTING- TLG345586)
- WM3 WALL-MOUNTED (VE- ZEN 11240)

WALL LEGEND (TYPE IA)

- 8" CONCRETE WALL
- 8" CMU WALL
- 6" METAL STUD @ 16" O.C.
- 3 5/8" METAL STUD @ 16" O.C.

LA MESA VILLAGE
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project title

stamp

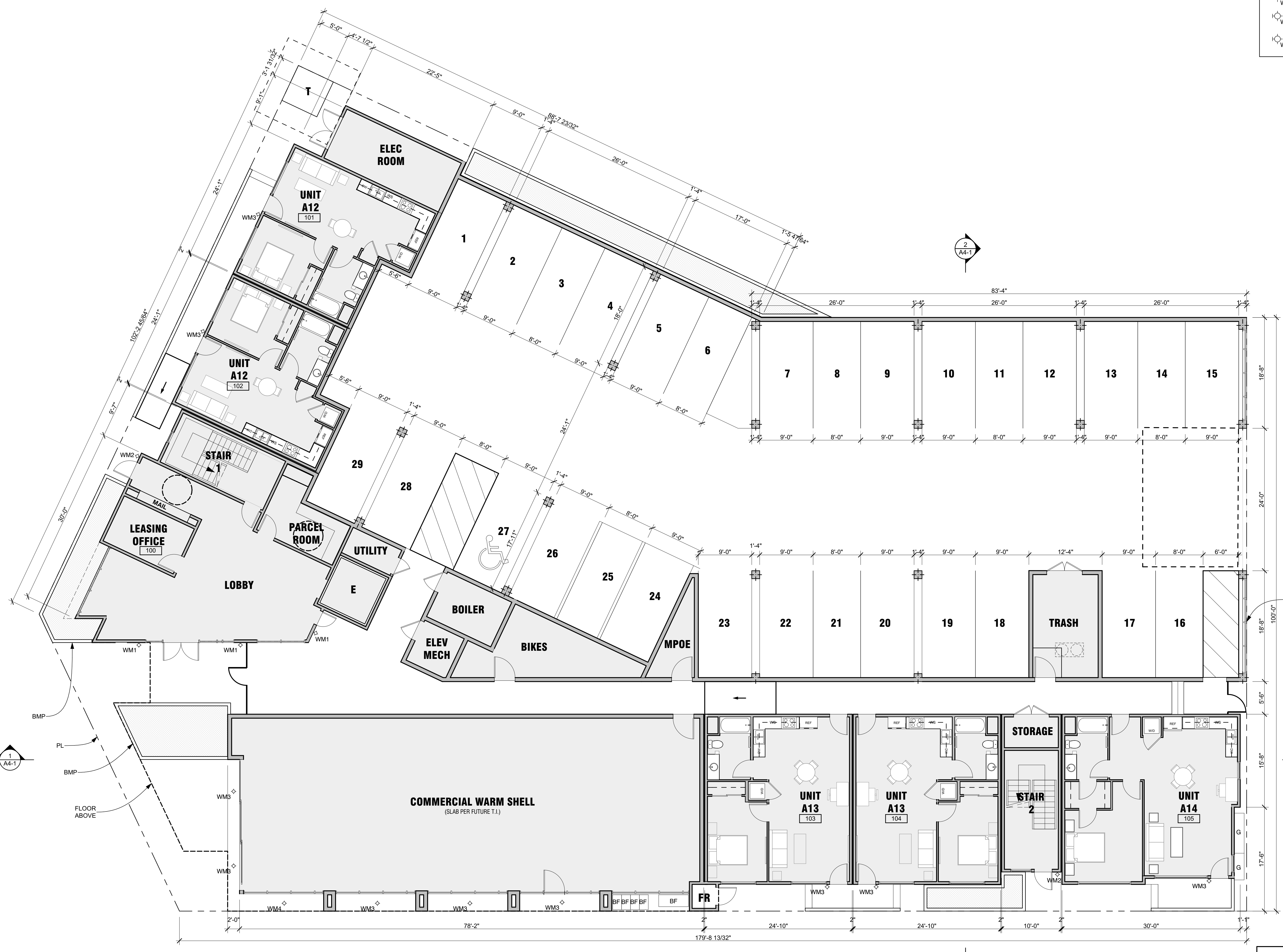
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sd
ARCHITECTS

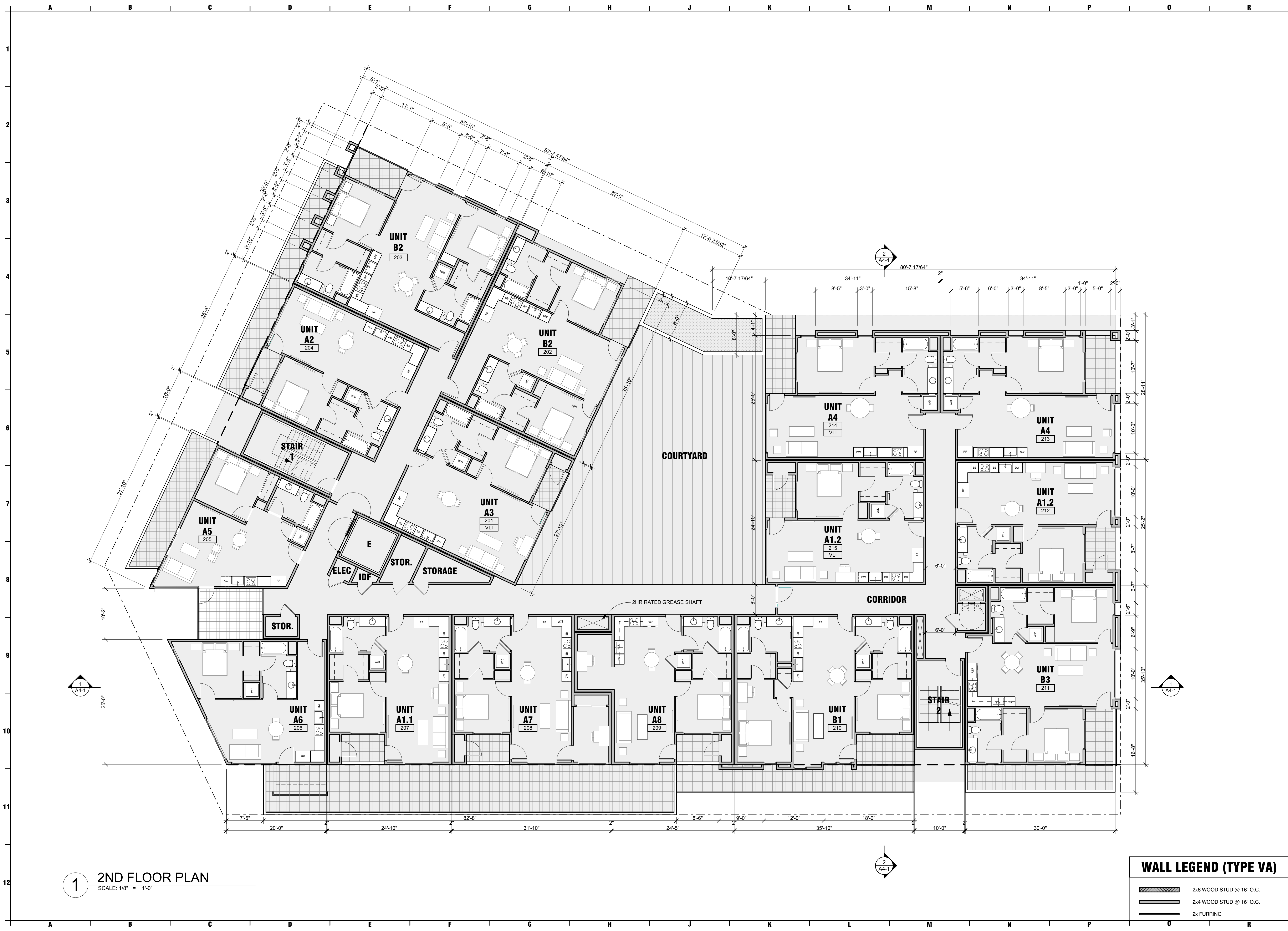
job no. **2036**
date

08/05/2021 PRESUBMITTAL REVIEW
03/21/2022 PRESUBMITTAL REVIEW 2
05/20/2022 PRESUBMITTAL REVIEW 3
09/14/2022 PRESUBMITTAL REVIEW 4

sheet **A2-1**



1 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL LEGEND (TYPE VA)

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

project title

stamp

FLOOR PLAN

job no. **2036**
date

08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

sheet **A2-2**

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1 3RD-4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL LEGEND (TYPE VA)

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

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FLOOR PLAN
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job no. **2036**
date

08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

sheet
A2-3



1 5TH FLOOR
SCALE: 1/8" = 1'-0"

WALL LEGEND (TYPE VA)

	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

project title
LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

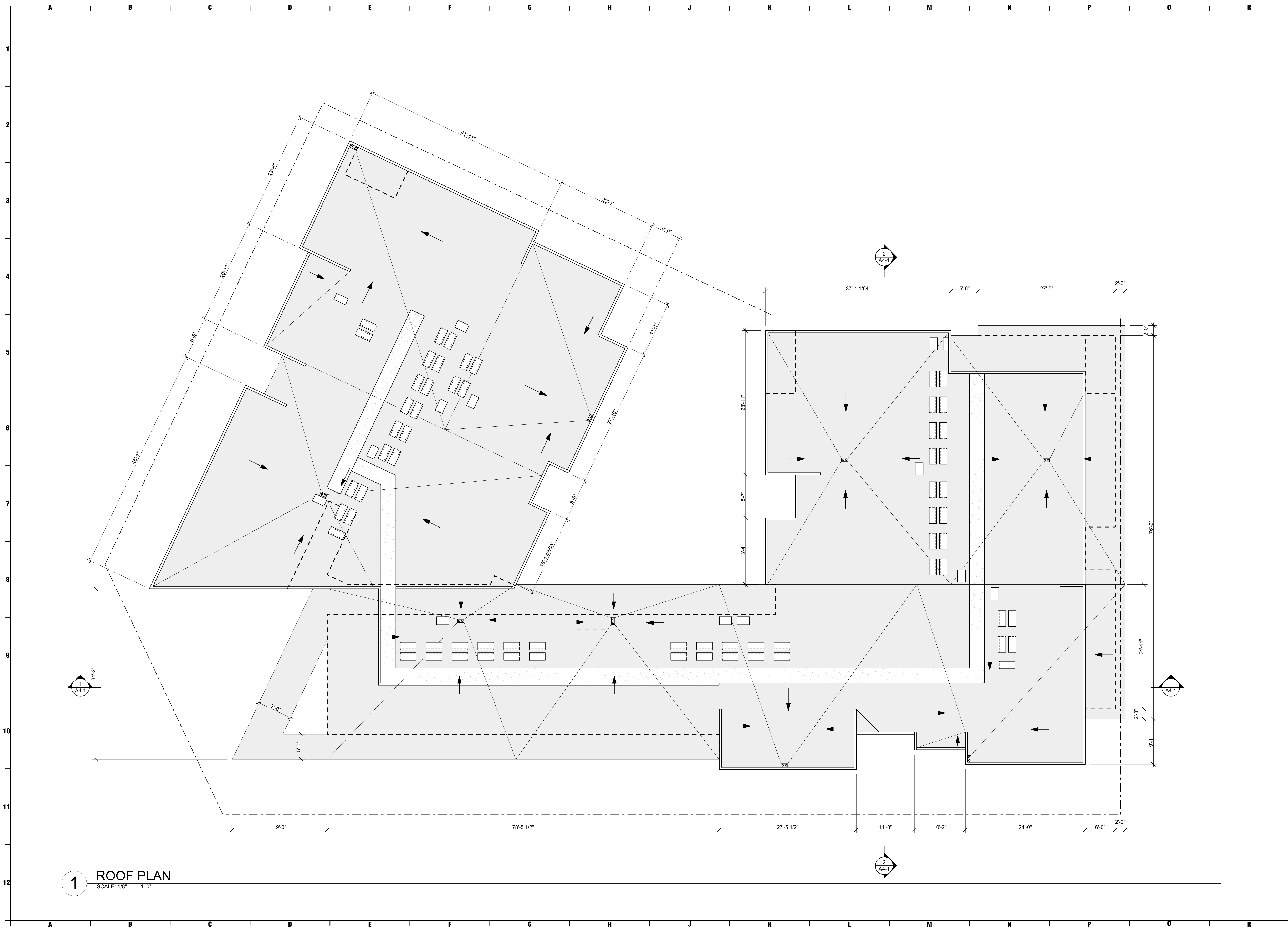
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FLOOR PLAN
sda
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job no.
2036
date

08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

sheet
A2-4



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

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ROOF PLAN
sda
ARCHITECTS

job no.
2036
date

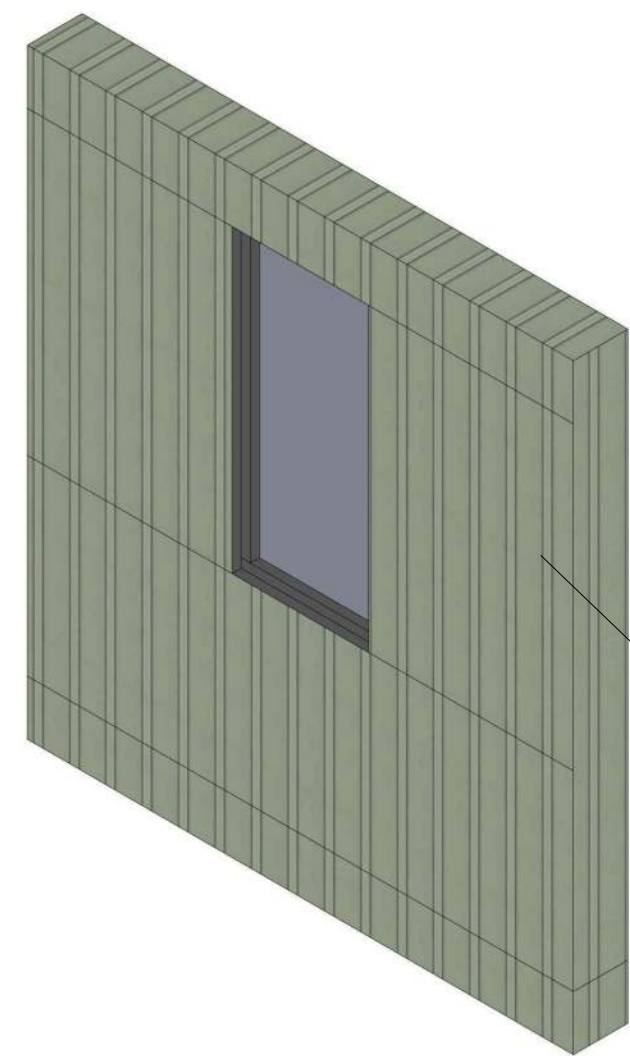
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03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

sheet
A2-5



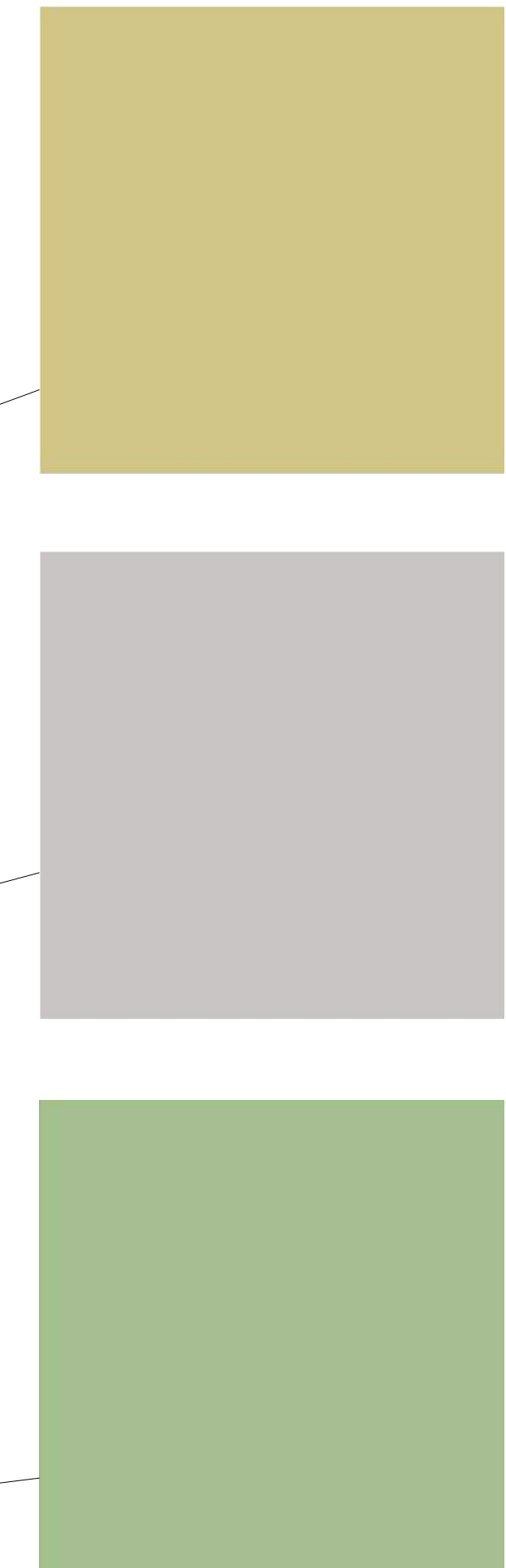
METAL SIDING

MANUF: BRIDGERSTEEL
 MODEL: SNAP BATTEN (1 1/2" x 1 1/2")
 COLOR: HEMLOCK GREEN
 PANEL WIDTHS: 12", 16", 20" IN
 VARIED PATTERN



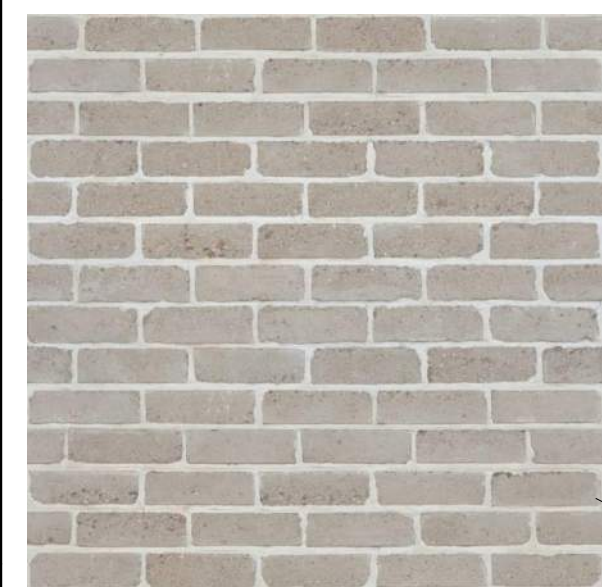
INTEGRAL COLOR STUCCO

MANUF: LA HABRA
 COLOR TO MATCH:
 DUNN EDWARDS 'SOOR APPLE',
 'DOLPHIN TALES' 'ECOLOGICAL'



WOOD SIDING/SOFFIT

MANUF: ALUMABOARD
 COLOR: AMBER BAMBOO
 SIZE: 6"



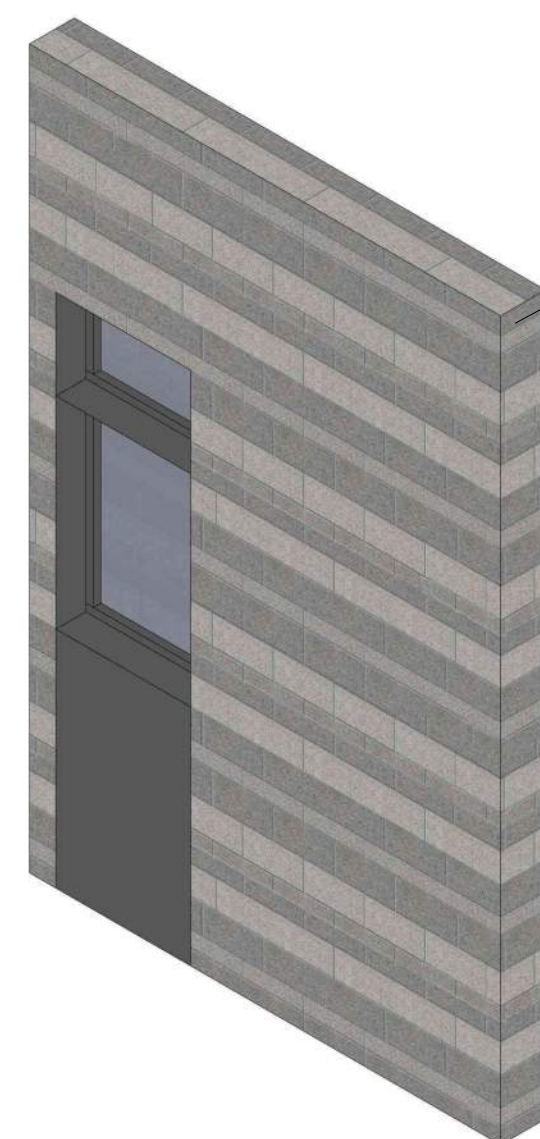
BRICK VENEER

MANUF: BELDEN BRICK
 MODEL: THIN BRICK
 COLOR: ENGLISH GRAY VELOUR
 SIZE: ECONOMO MODULAR (3 5/8" H
 x 7 5/8" L)



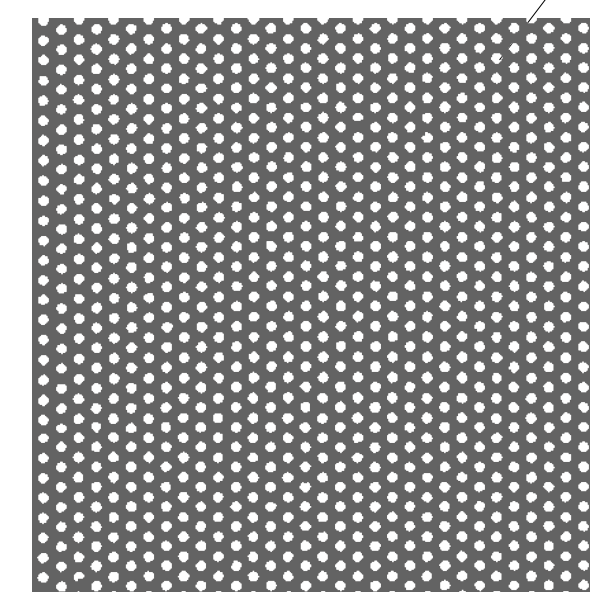
STOREFRONT

COLOR: DARK BRONZE ANODIZED
 ALUMINUM



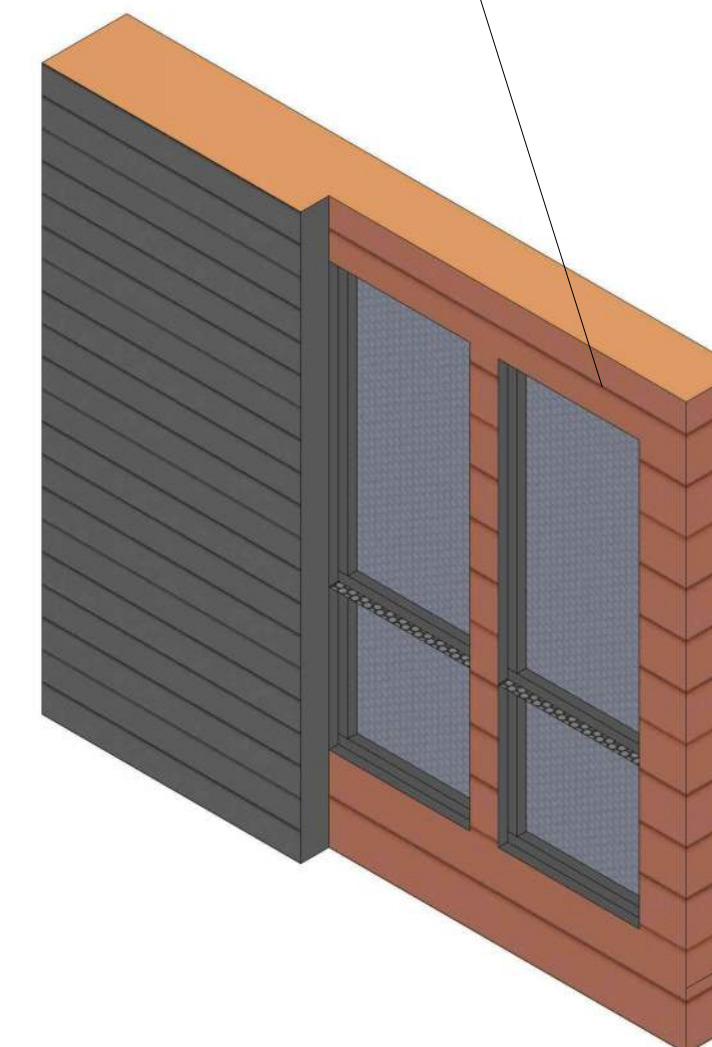
CMU WALL

COLOR: VARIES



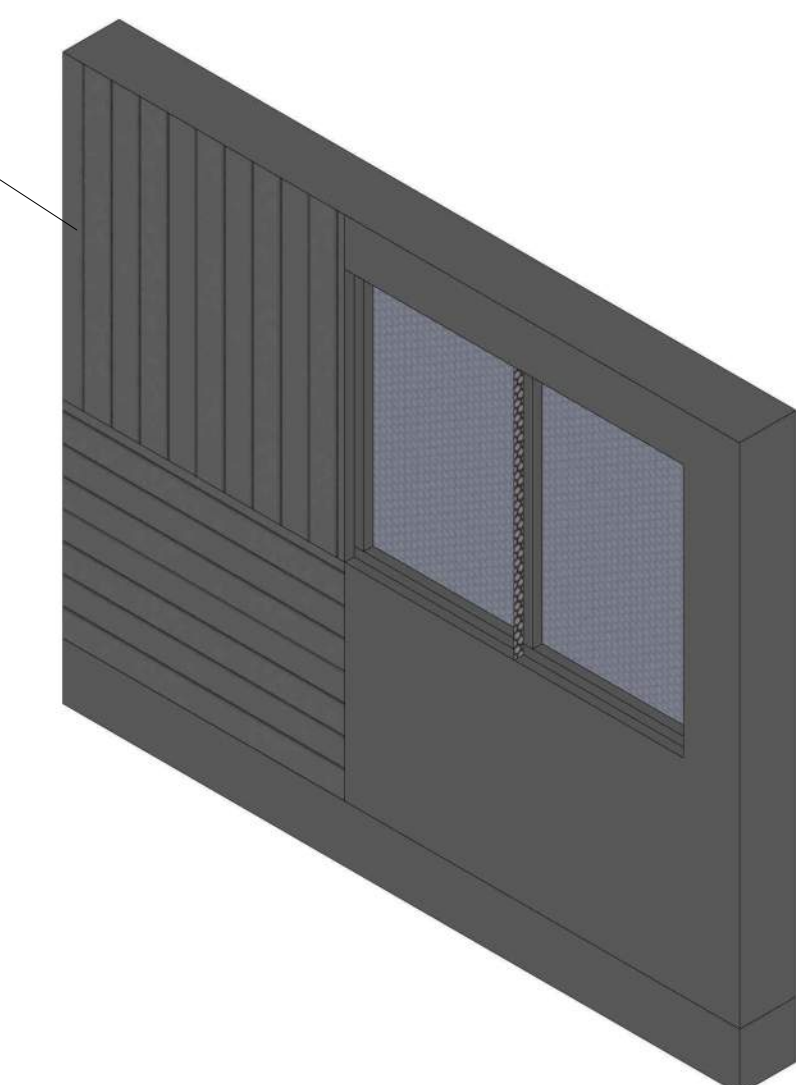
PERFORATED METAL

MANUF: MCNICHOLS
 MODEL: ROUND, STAINLESS STEEL,
 1" ROUND



FIBER CEMENT BOARD

MANUF: JAMES HARDIE
 MODEL: COLONIAL ROUGHSAWN
 COLOR: TERRA COTA



METAL PANELS

MANUF: CERACLAD
 MODEL: CAST STRIPE
 COLOR: DARK GRAY

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MATERIALS BOARD

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job no. 2036

08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

sheet A3-0



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXT. FINISH SCHEDULE			
MARK	ELEMENT	DESCRIPTION	MANUF / COLOR
A	METAL SIDING	SNAP BATTEN	'HEMLOCK GREEN' BRIDGERSTEEL
B	METAL SIDING	CAST STRIPE	DARK GRAY CERACLAD
C	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5507 'SOUR APPLE' DUNN EDWARDS
D	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE1600 'DOLPHIN TALES' DUNN EDWARDS
E	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5719 'ECOLOGICAL' DUNN EDWARDS
F	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE6363 'POINTED ROCK' DUNN EDWARDS
G	FIBER CEMENT SIDING	COLONIAL ROUGHSAWN	'TERRA COTTA' JAMES HARDIE
H	BRICK VENEER	THIN BRICK ECONOMO MODULAR	ENGLISH GRAY VELOUR BELDEN BRICK
I	CMU WALL	RUNNING BOND VARY COLOR BY ROW	BLACK 100 MW & GRAY ORCO BLOCK
J	SOFFIT	6" ALUMABOARD	AMBER BAMBOO
K	STOREFRONT SYSTEM	ANODIZED ALUMINUM	DARK BRONZE
L	GUARDRAIL	PERFORATED METAL	MATCH DE6363 'POINTED ROCK' McNICHOLS
M	GUARDRAIL	PERFORATED METAL	MATCH DE6091 'RED HOOK' McNICHOLS
N	GUARDRAIL	CABLE RAIL	DARK BRONZE W/ STAINLESS STEEL CABLES

project title
LA MESA VILLAGE
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EXTERIOR ELEVATIONS
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job no. **2036**
date

08/05/2021 PRESUBMITTAL REVIEW
03/21/2022 PRESUBMITTAL REVIEW 2
05/20/2022 PRESUBMITTAL REVIEW 3
09/14/2022 PRESUBMITTAL REVIEW 4

sheet **A3-1**



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXT. FINISH SCHEDULE

MARK	ELEMENT	DESCRIPTION	MANUF / COLOR
(A)	METAL SIDING	SNAP BATTEN	'HEMLOCK GREEN' BRIDGERSTEEL
(B)	METAL SIDING	CAST STRIPE	DARK GRAY CERACLAD
(C)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5507 'SOUR APPLE' DUNN EDWARDS
(D)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE1600 'DOLPHIN TALES' DUNN EDWARDS
(E)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5719 'ECOLOGICAL' DUNN EDWARDS
(F)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE6363 'POINTED ROCK' DUNN EDWARDS
(G)	FIBER CEMENT SIDING	COLONIAL ROUGHSAWN	'TERRA COTTA' JAMES HARDIE
(H)	BRICK VENEER	THIN BRICK ECONOMO MODULAR RUNNING BOND VARY COLOR BY ROW	ENGLISH GRAY VELOUR BELDEN BRICK BLACK 100 MW & GRAY ORCO BLOCK
(J)	SOFFIT	6" ALUMABOARD	AMBER BAMBOO
(K)	STOREFRONT SYSTEM	ANODIZED ALUMINUM	DARK BRONZE
(L)	GUARDRAIL	PERFORATED METAL	MATCH DE6363 'POINTED ROCK' McNICHOLS
(M)	GUARDRAIL	PERFORATED METAL	MATCH DE6091 'RED HOOK' McNICHOLS
(N)	GUARDRAIL	CABLE RAIL	DARK BRONZE W/ STAINLESS STEEL CABLES

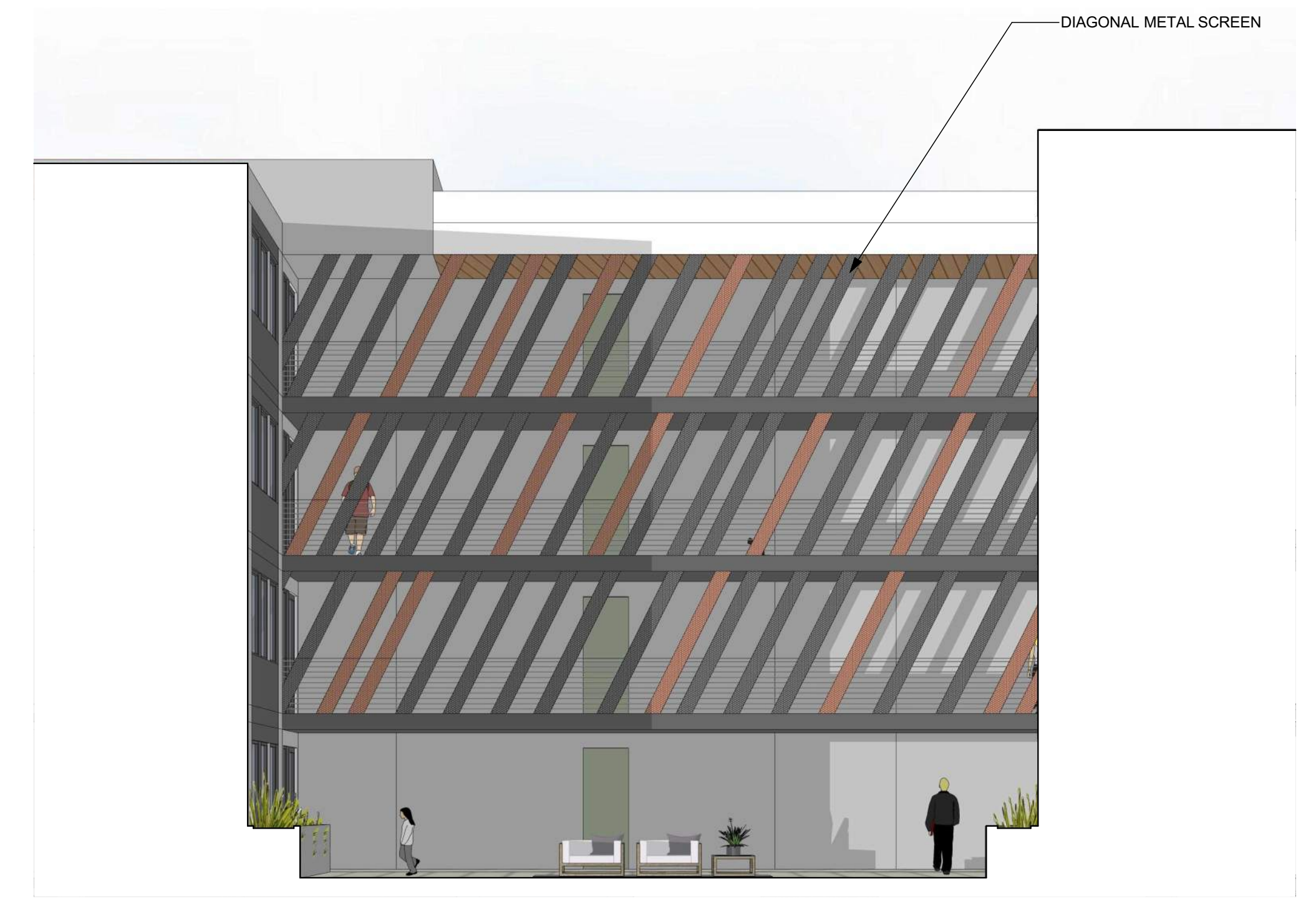
project title
LA MESA VILLAGE
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job no. **2036**
date
08/05/2021 PRESUBMITTAL REVIEW
03/21/2022 PRESUBMITTAL REVIEW 2
05/20/2022 PRESUBMITTAL REVIEW 3
09/14/2022 PRESUBMITTAL REVIEW 4
sheet **A3-2**



3 NORTH COURTYARD
SCALE: 1/8" = 1'-0"



2 EAST COURTYARD
SCALE: 1/8" = 1'-0"



1 SOUTH COURTYARD
SCALE: 1/8" = 1'-0"

EXT. FINISH SCHEDULE			
MARK	ELEMENT	DESCRIPTION	MANUF / COLOR
(A)	METAL SIDING	SNAP BATTEN	'HEMLOCK GREEN' BRIDGERSTEEL
(B)	METAL SIDING	CAST STRIPE	DARK GRAY CERACLAD
(C)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5507 'SOUR APPLE' DUNN EDWARDS
(D)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE1600 'DOLPHIN TALES' DUNN EDWARDS
(E)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5719 'ECOLOGICAL' DUNN EDWARDS
(F)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE6363 'POINTED ROCK' DUNN EDWARDS
(G)	FIBER CEMENT SIDING	COLONIAL ROUGHSAWN	'TERRA COTTA' JAMES HARDIE
(H)	BRICK VENEER	THIN BRICK ECONOMO MODULAR RUNNING BOND VARY COLOR BY ROW	ENGLISH GRAY VELOUR BELDEN BRICK BLACK 100 MW & GRAY ORCO BLOCK
(J)	SOFFIT	6" ALUMABOARD	AMBER BAMBOO
(K)	STOREFRONT SYSTEM	ANODIZED ALUMINUM	DARK BRONZE
(L)	GUARDRAIL	PERFORATED METAL	MATCH DE6363 'POINTED ROCK' McNICHOLS
(M)	GUARDRAIL	PERFORATED METAL	MATCH DE6091 'RED HOOK' McNICHOLS
(N)	GUARDRAIL	CABLE RAIL	DARK BRONZE W/ STAINLESS STEEL CABLES

project title
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COURTYARD ELEVATIONS
sda ARCHITECTS

job no.
2036

date
08/05/2021
PRESUBMITTAL REVIEW
03/21/2022
PRESUBMITTAL REVIEW 2
05/20/2022
PRESUBMITTAL REVIEW 3
09/14/2022
PRESUBMITTAL REVIEW 4

sheet
A3-3



NORTH PERSPECTIVE



NORTHWEST PERSPECTIVE



WEST PERSPECTIVE



SOUTHWEST PERSPECTIVE

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EXTERIOR PERSPECTIVES
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job no.
2036

date

08/05/2021
 PRESUBMITTAL REVIEW

03/21/2022
 PRESUBMITTAL REVIEW 2

05/20/2022
 PRESUBMITTAL REVIEW 3

09/14/2022
 PRESUBMITTAL REVIEW 4

sheet
A3-4



SOUTH PERSPECTIVE



EAST PERSPECTIVE



NORTHEAST PERSPECTIVE



RESIDENTIAL A LONG ALLISON



RESIDENTIAL A LONG PALM



COMMERCIAL CORNER



COMMERCIAL FRONT

project title

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EXTERIOR PERSPECTIVES

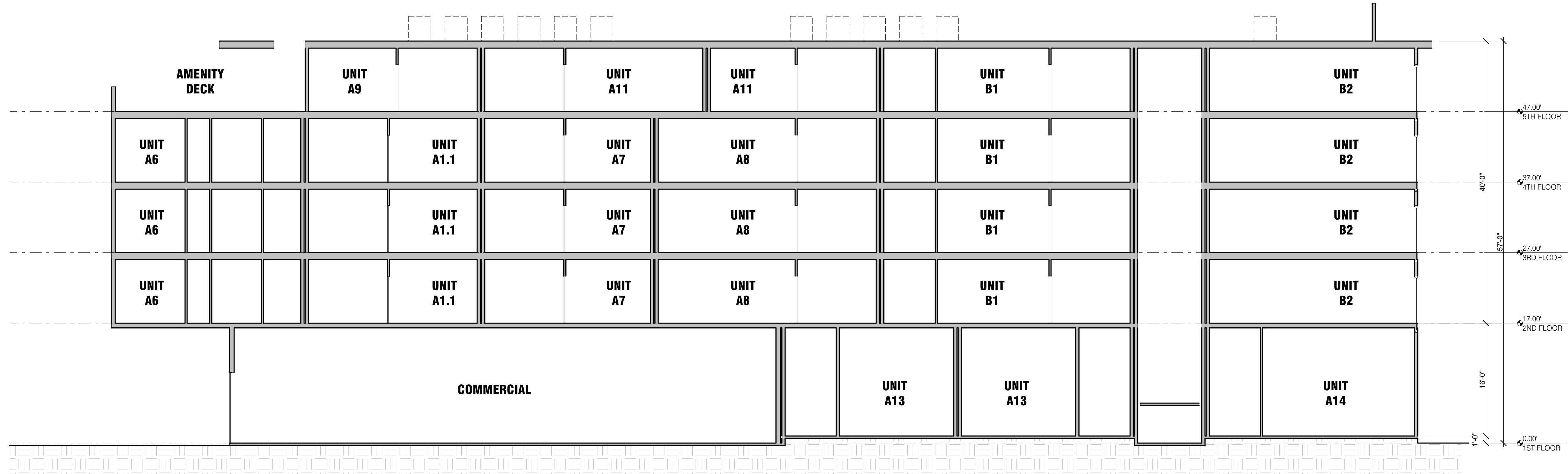
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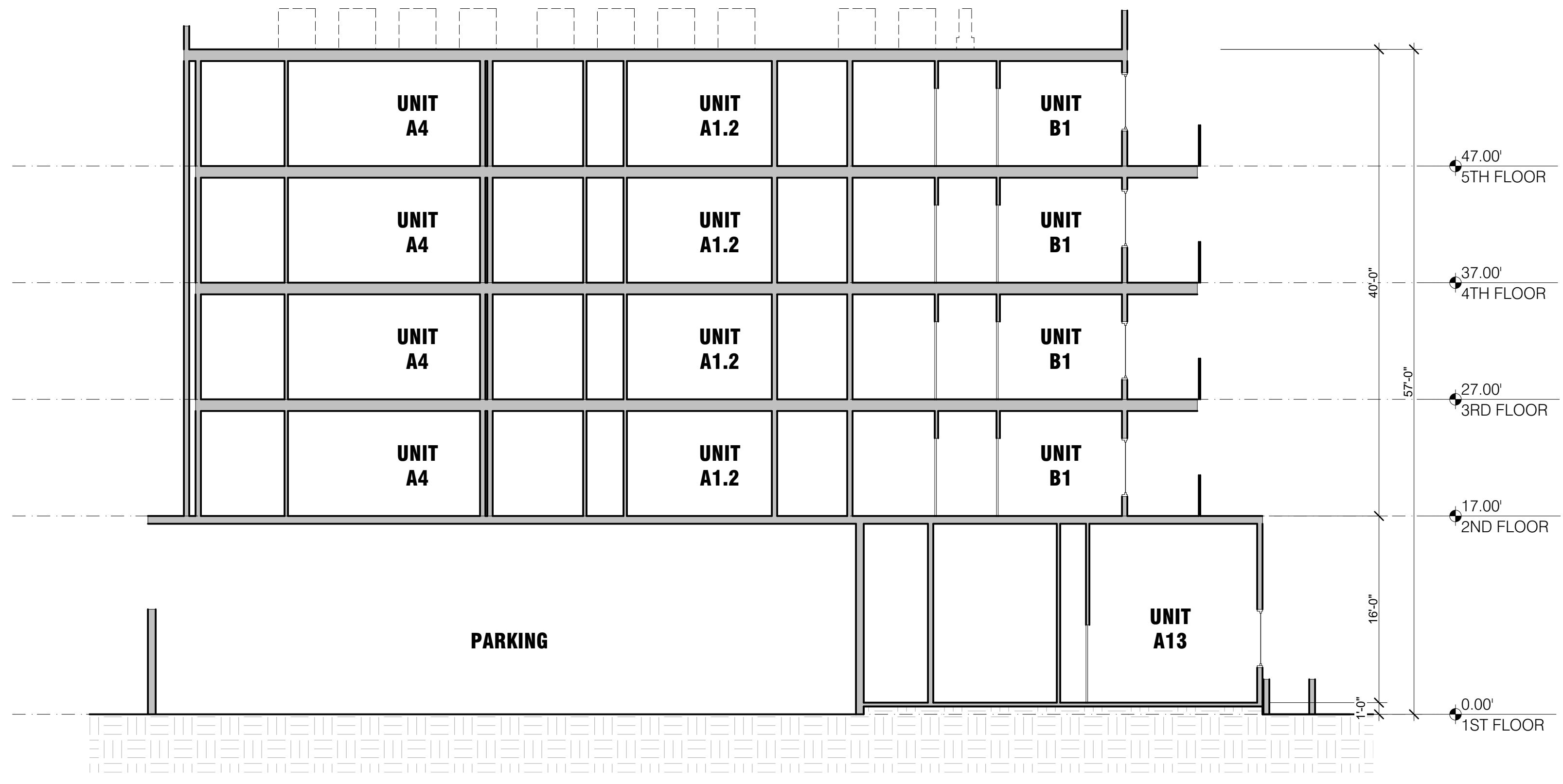
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2036
 date

08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

sheet
A3-5



1 BUILDING SECTION 1
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"

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LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

stamp

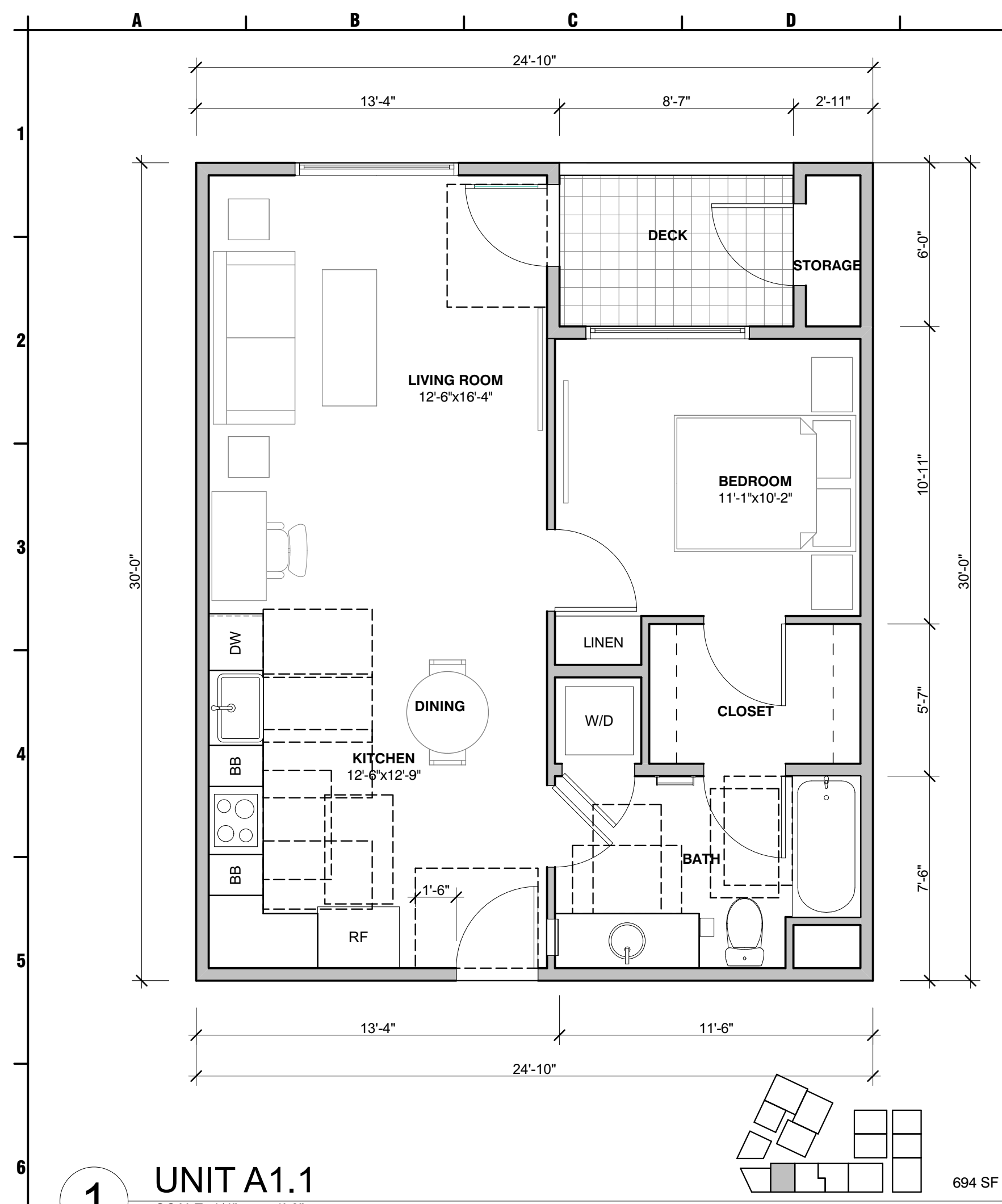
BUILDING SECTIONS
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job no.
2036

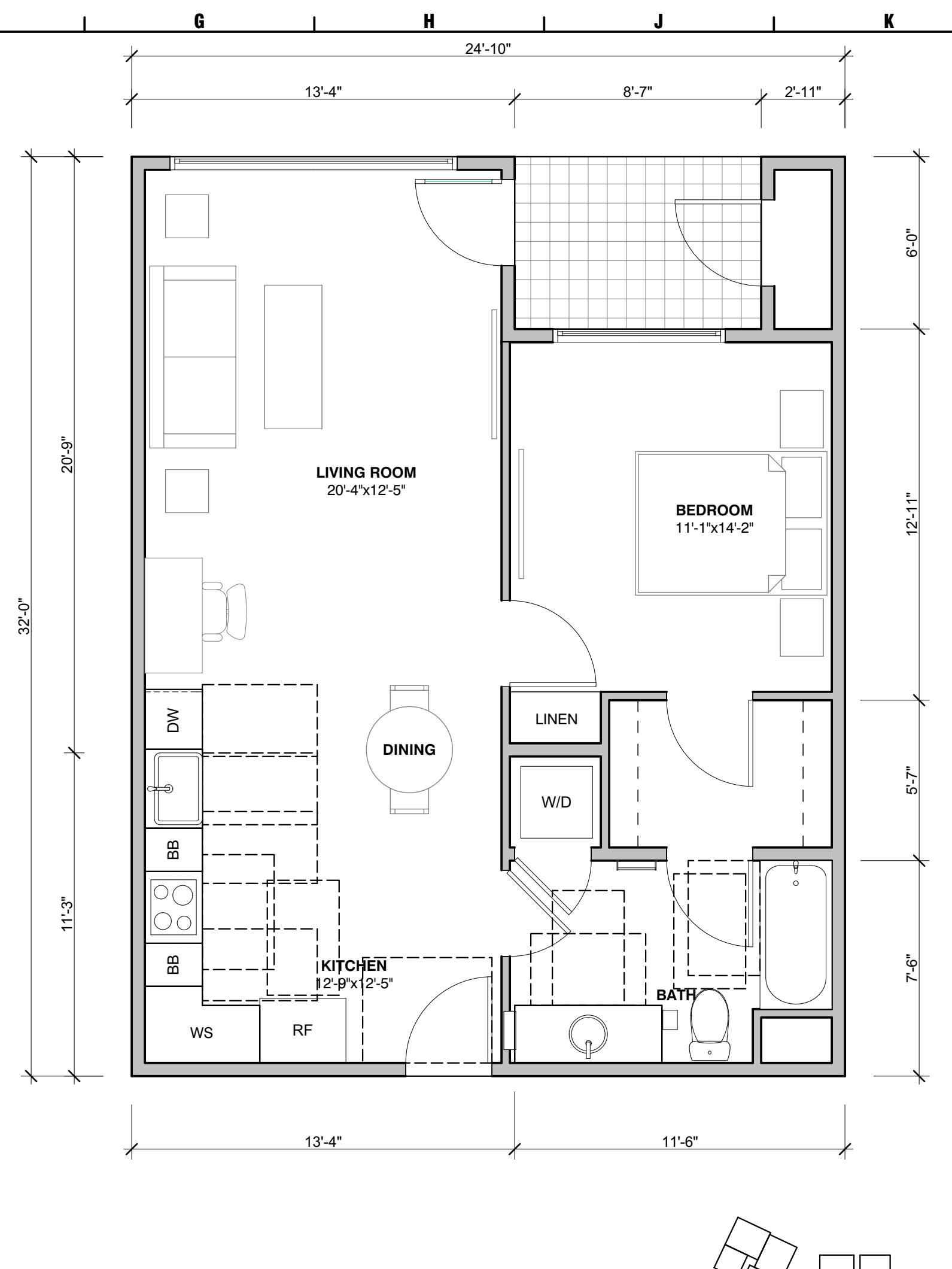
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03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

sheet
A4-1



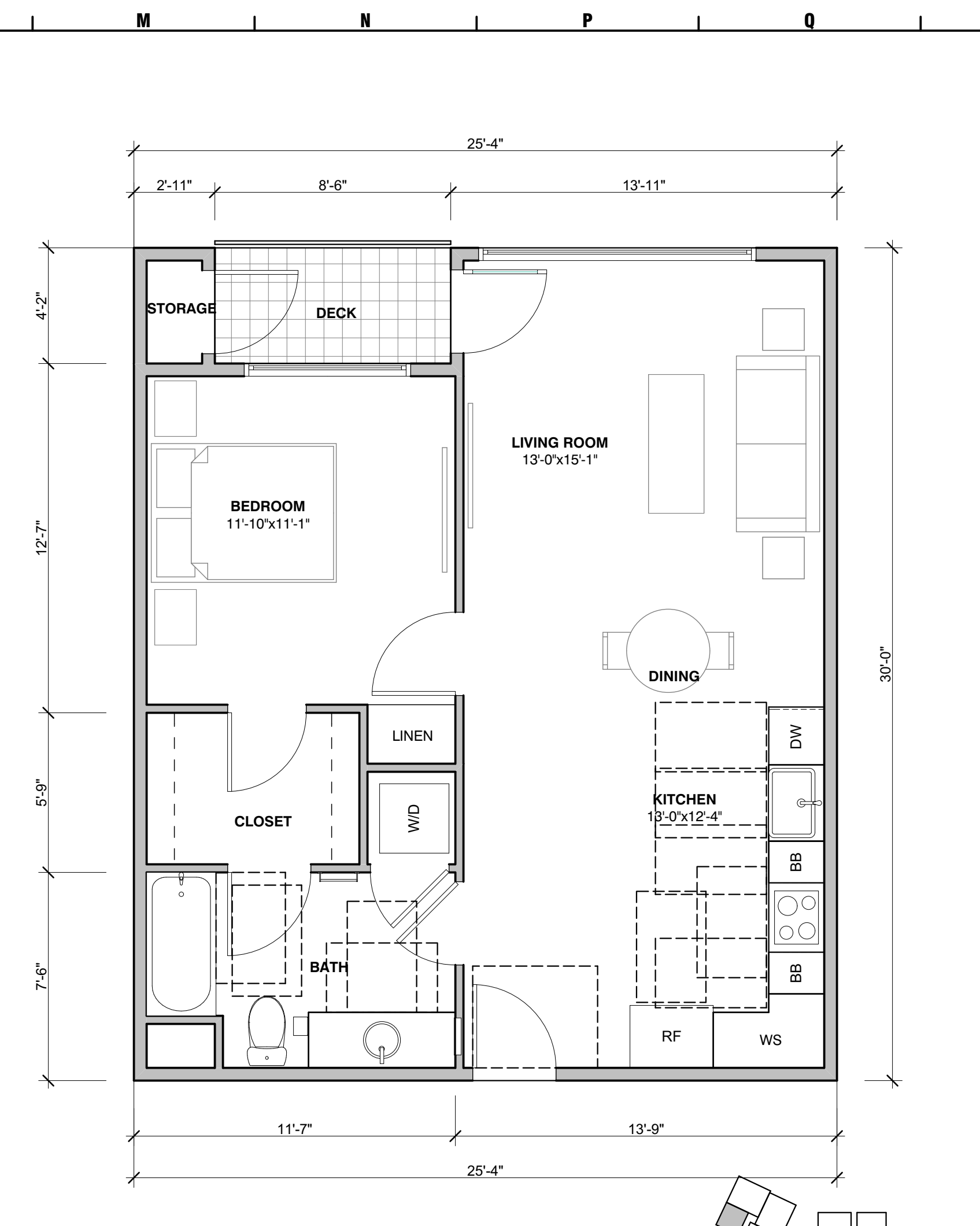
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694 SF



2 UNIT A1.2
SCALE: 1/4" = 1'-0"

743 SF



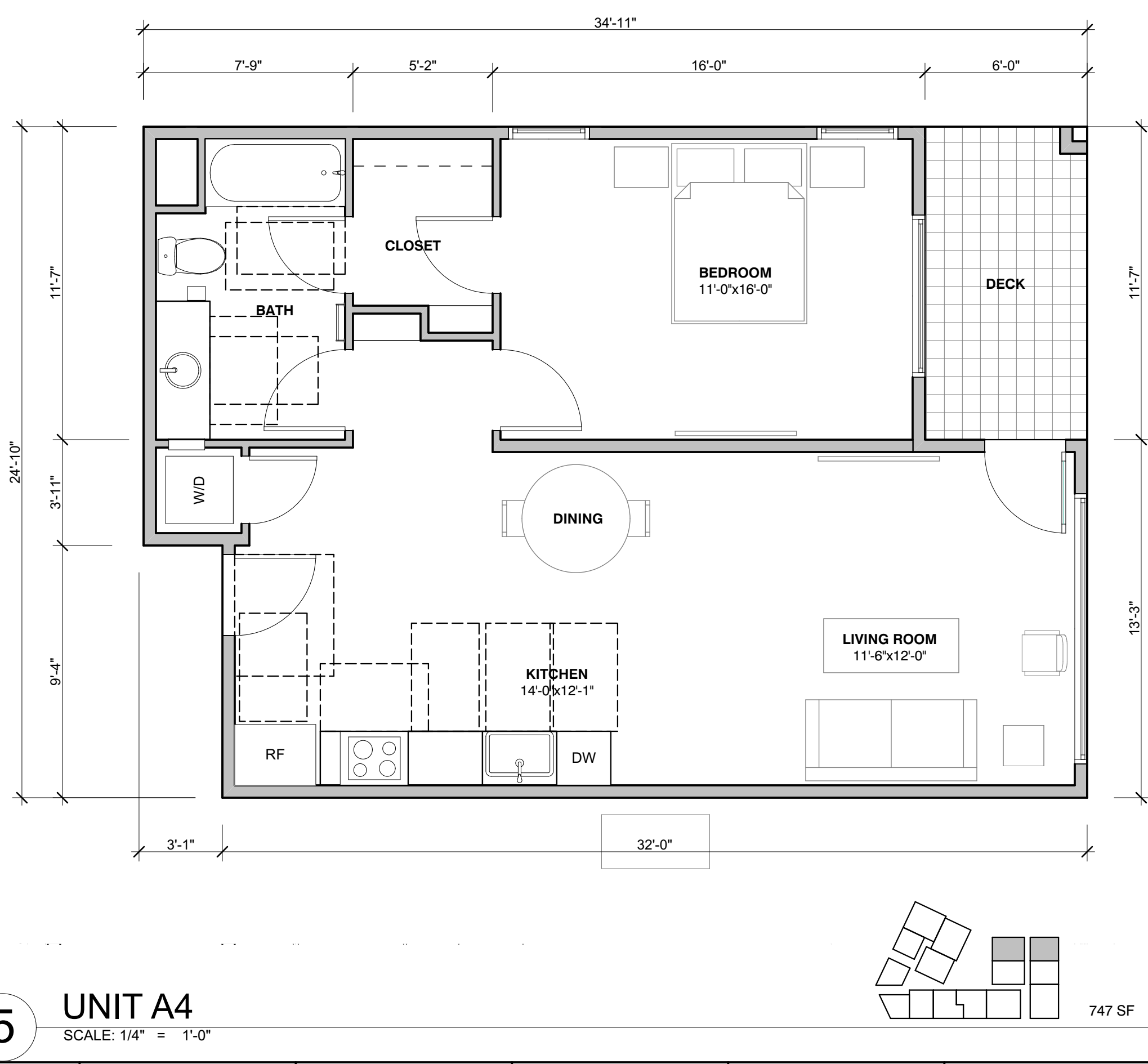
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725 SF



4 UNIT A3
SCALE: 1/4" = 1'-0"

800 SF



5 UNIT A4
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747 SF

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LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

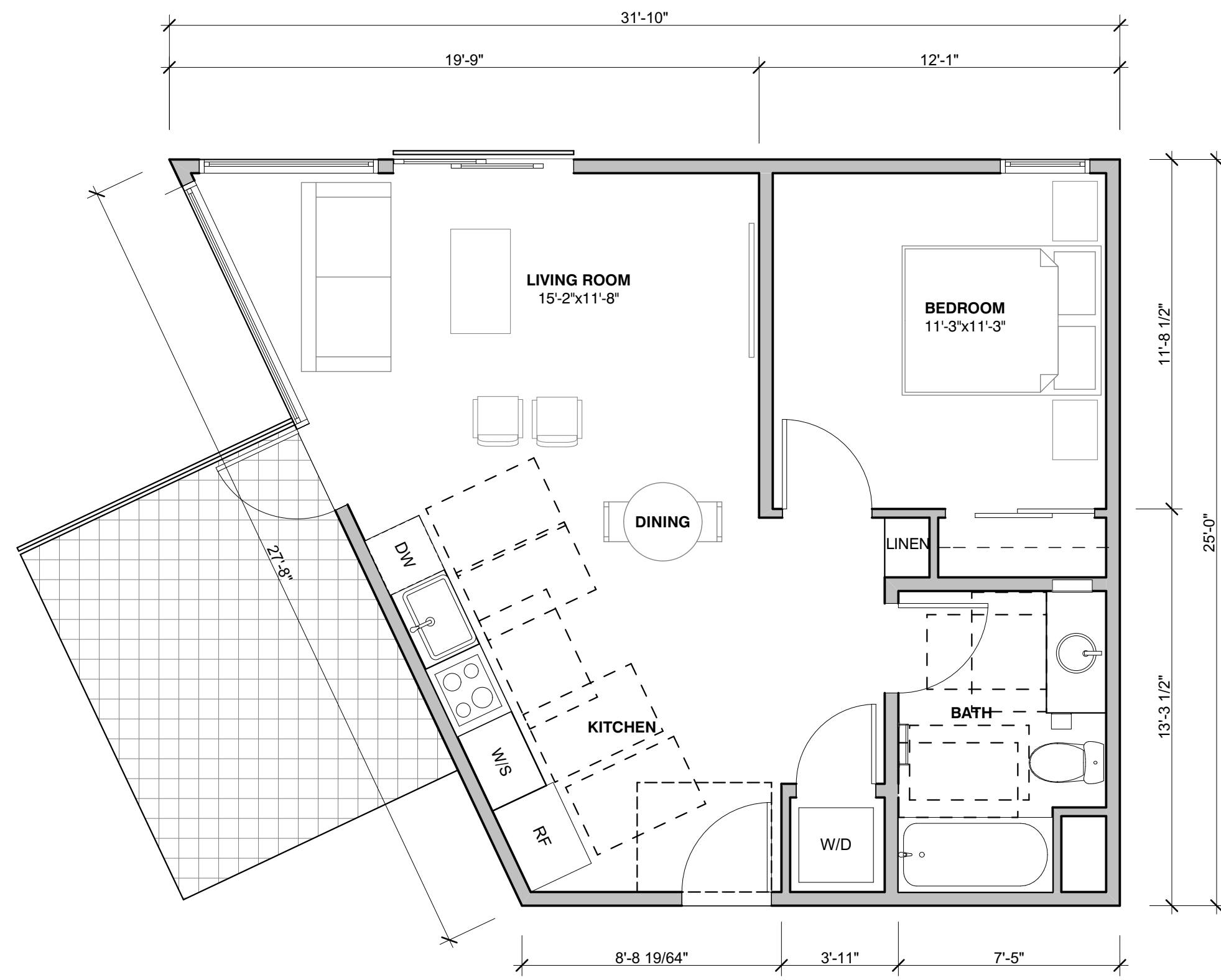
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UNIT PLANS
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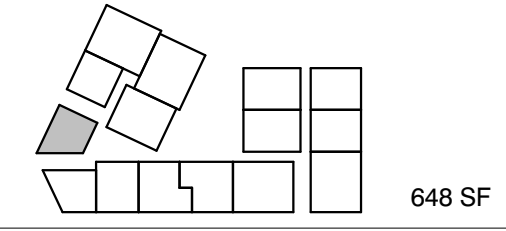
job no.
2036
date

08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
09/14/2022	PRESUBMITTAL REVIEW 4

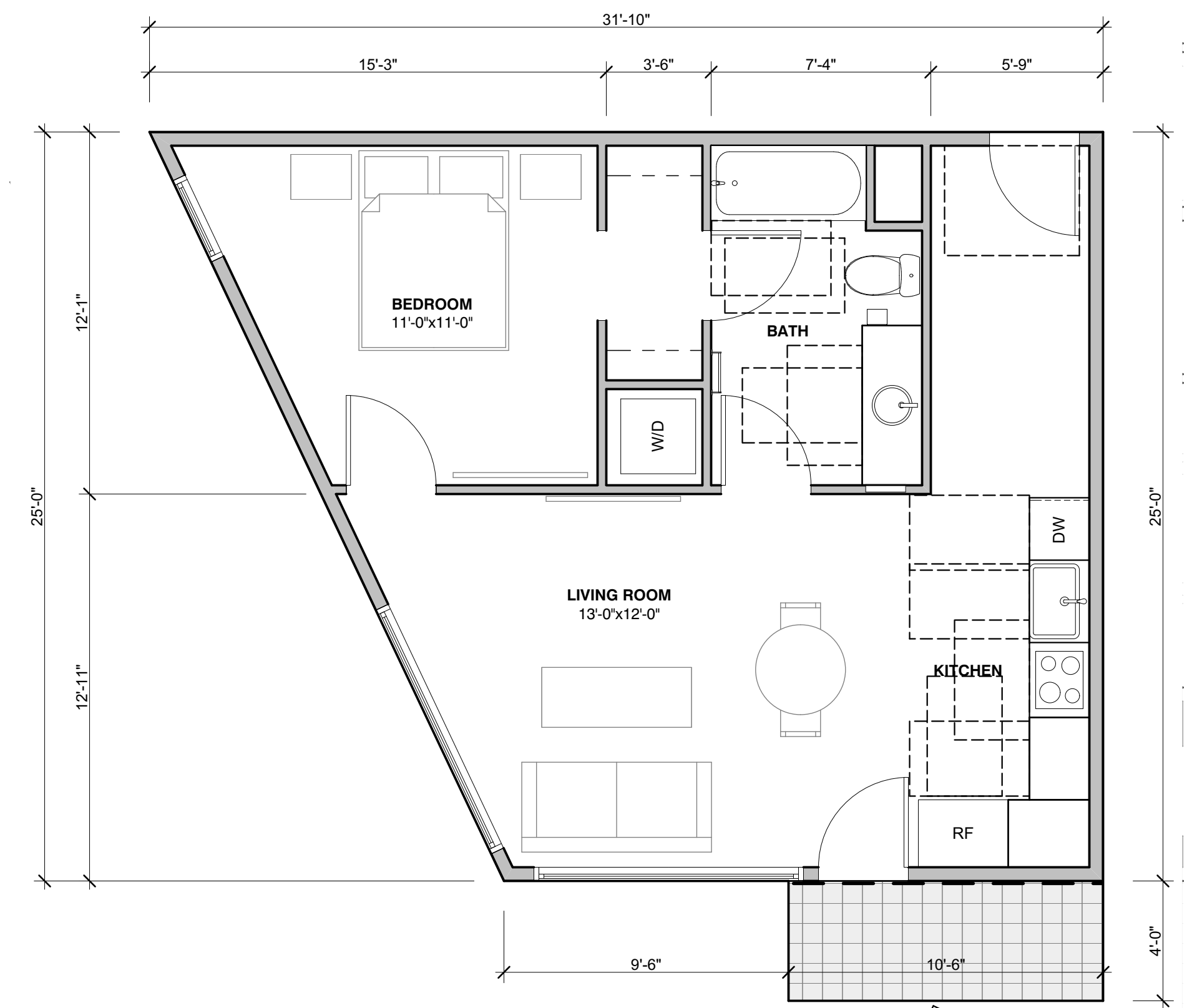
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A6-1



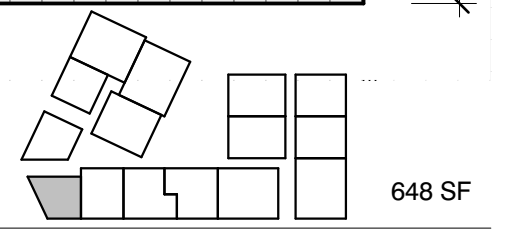
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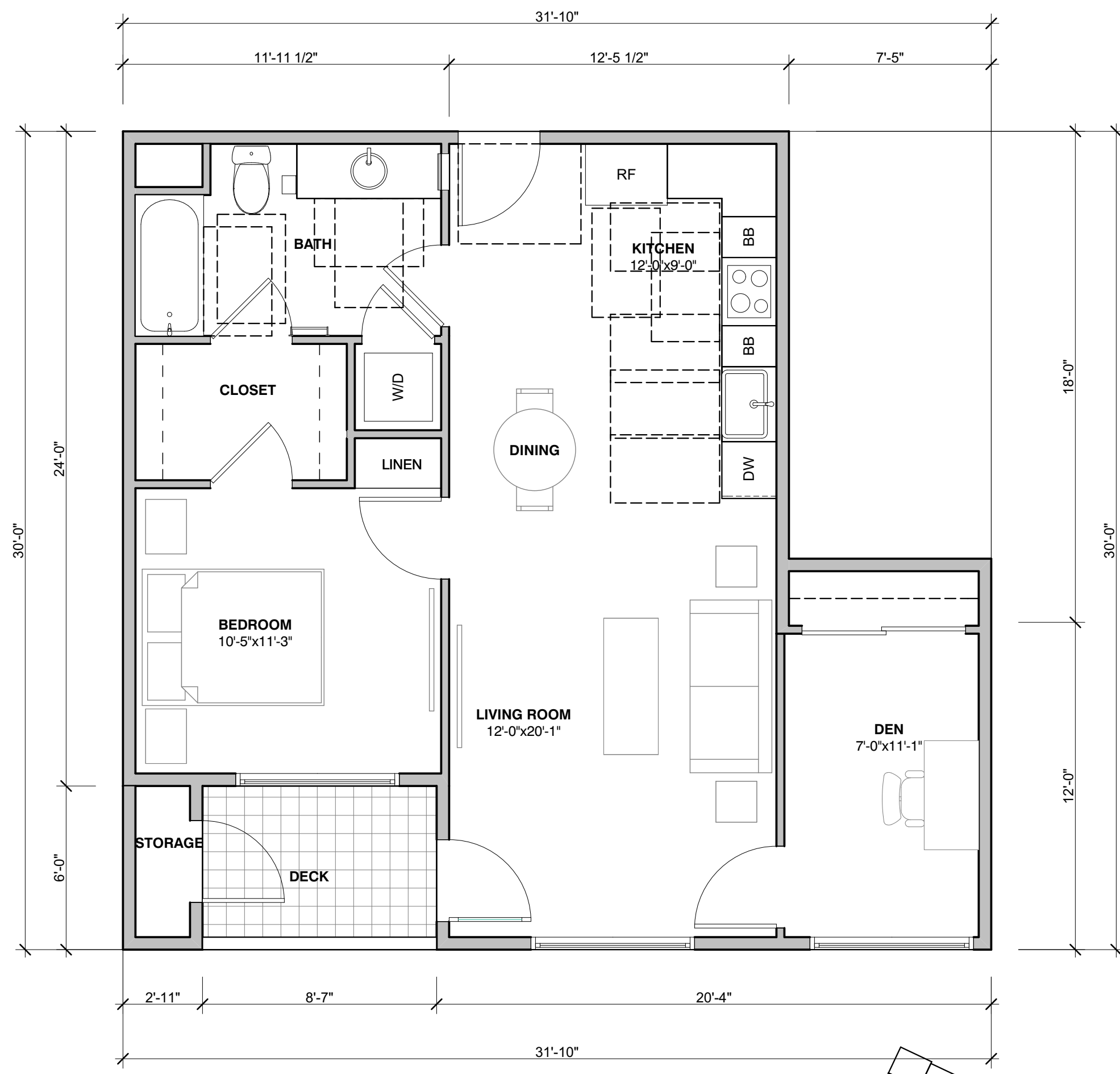
648 SF



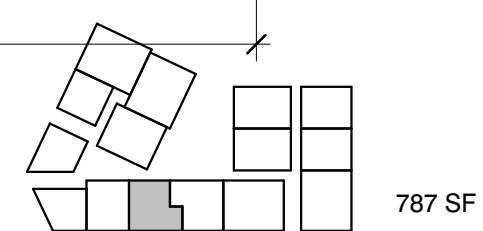
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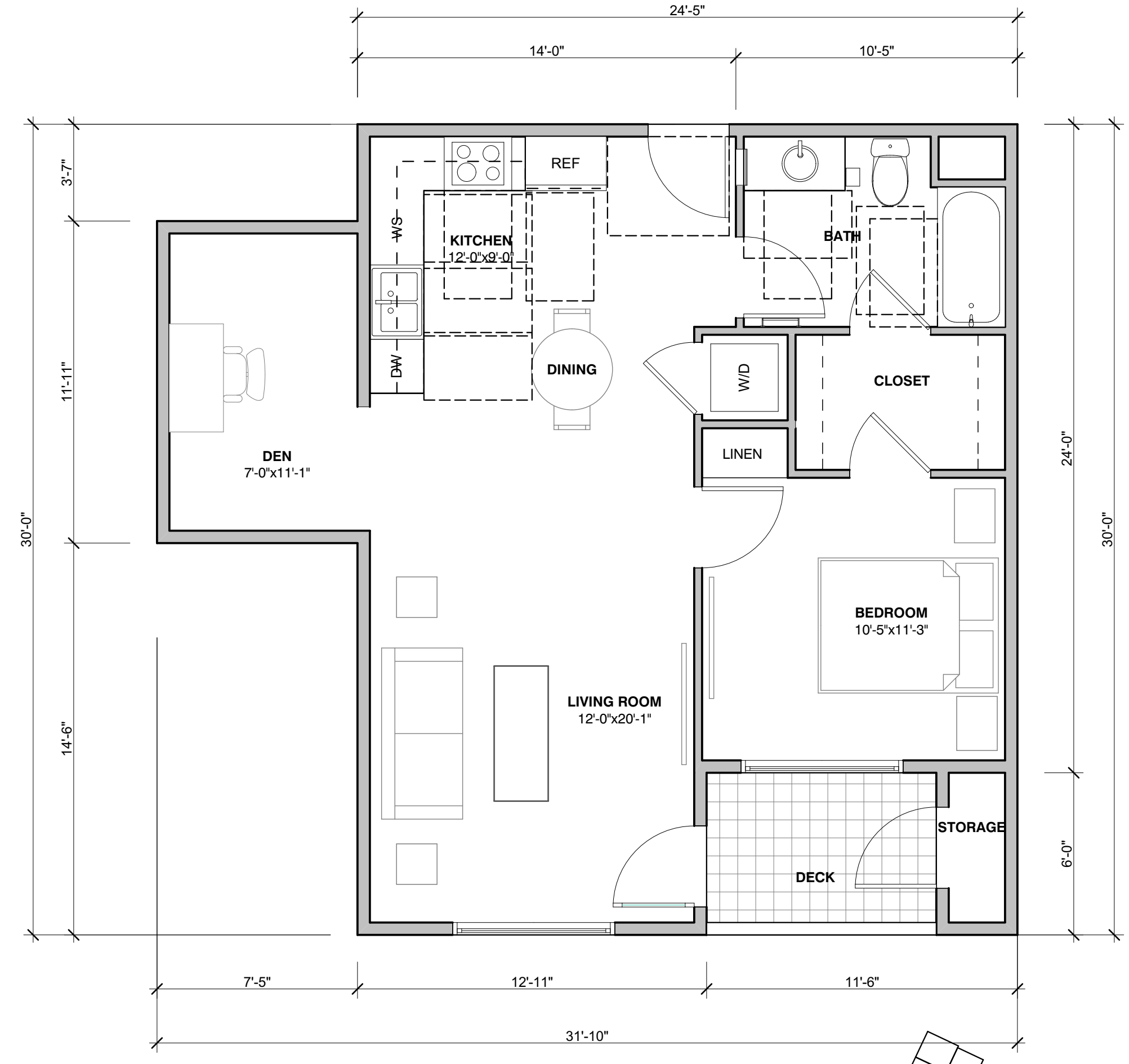
648 SF



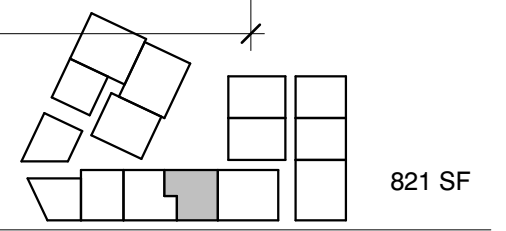
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787 SF



4 UNIT A8
SCALE: 1/4" = 1'-0"



821 SF

LA MESA VILLAGE
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project title

stamp

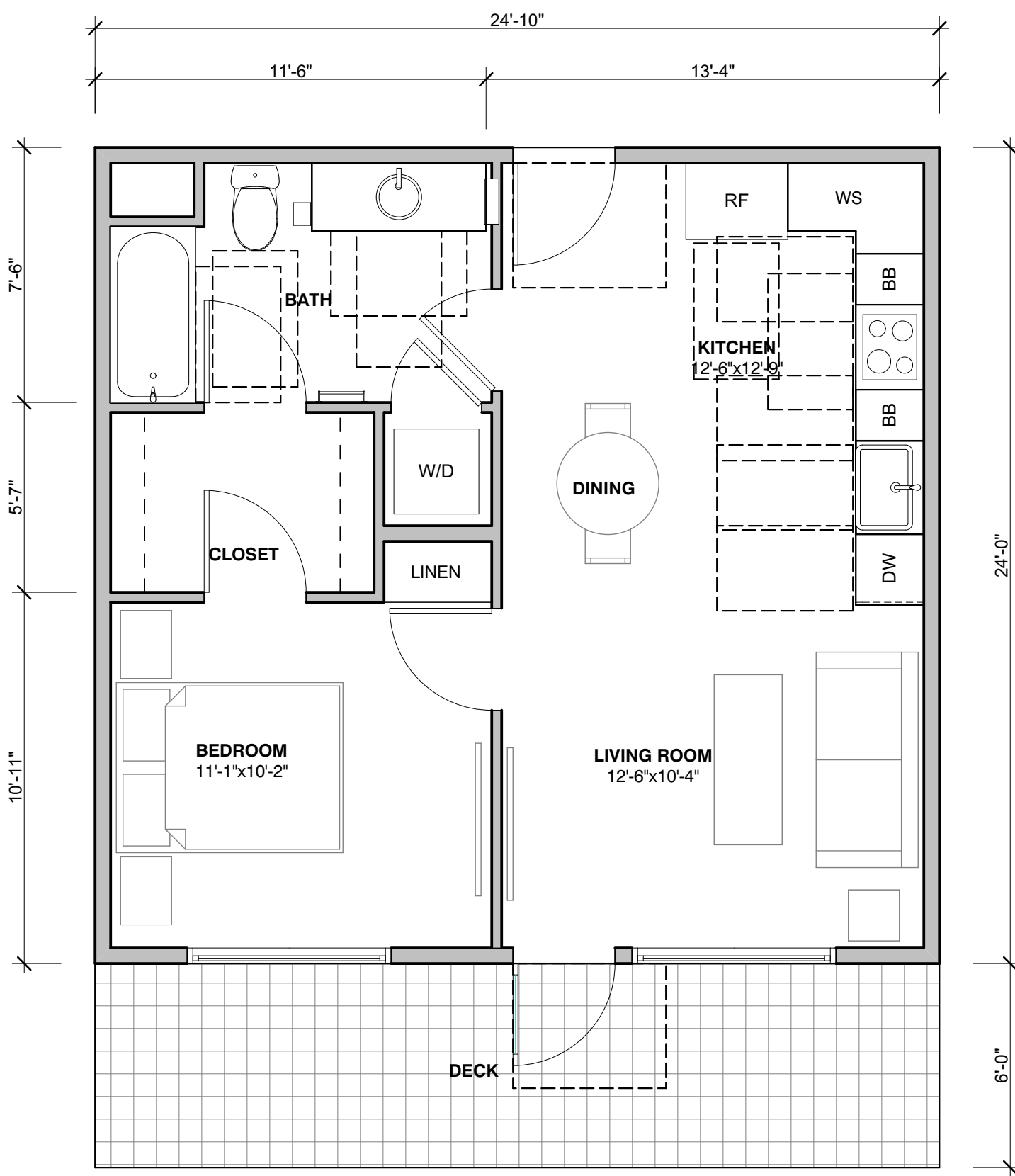
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UNIT PLANS
sda
ARCHITECTS

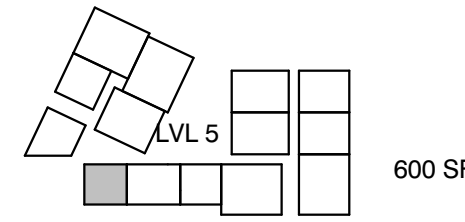
job no. **2036**
date

08/05/2021	PRESUBMITTAL REVIEW
03/21/2022	PRESUBMITTAL REVIEW 2
05/20/2022	PRESUBMITTAL REVIEW 3
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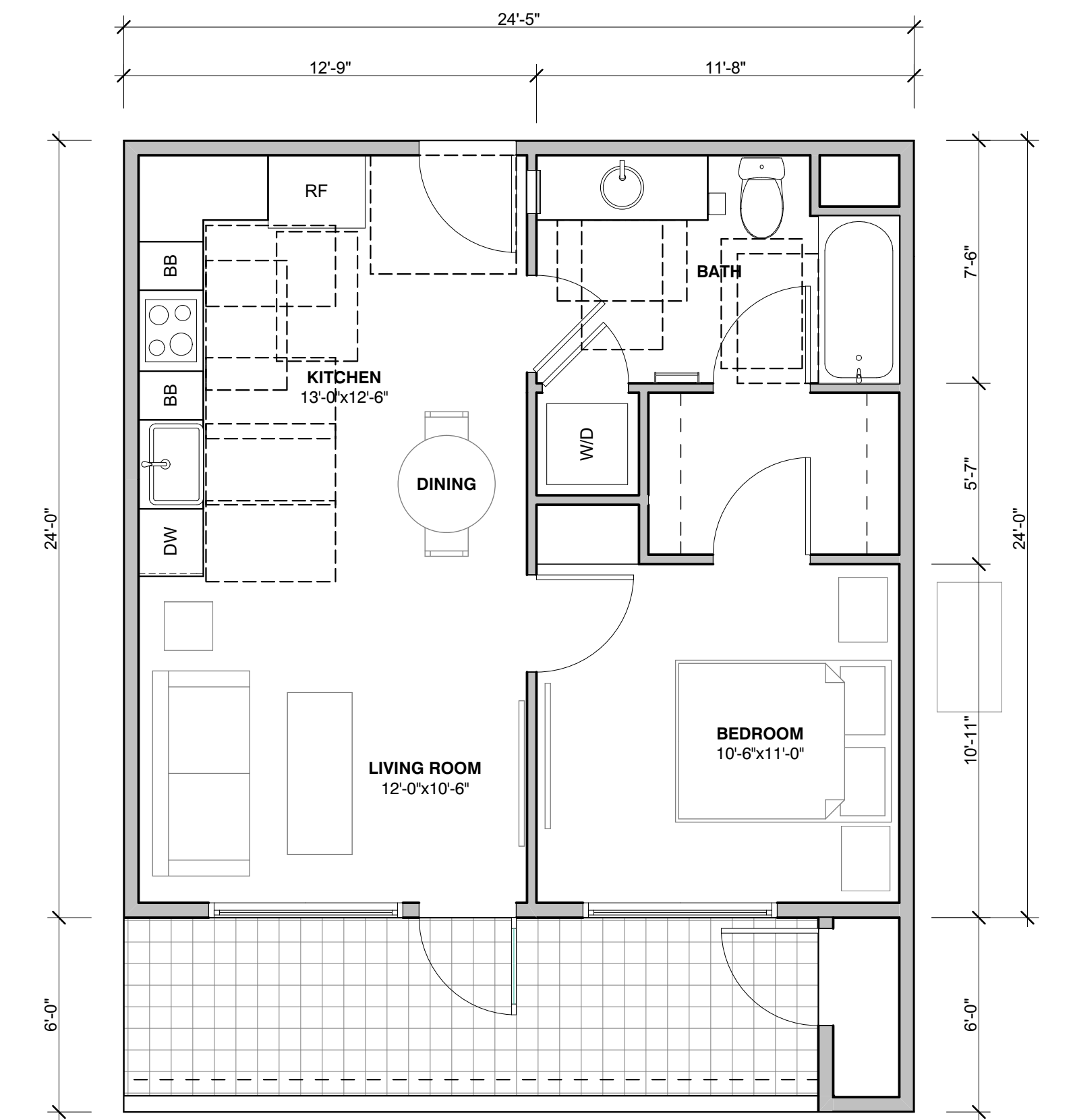
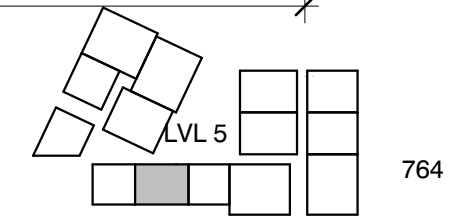
sheet **A6-2**



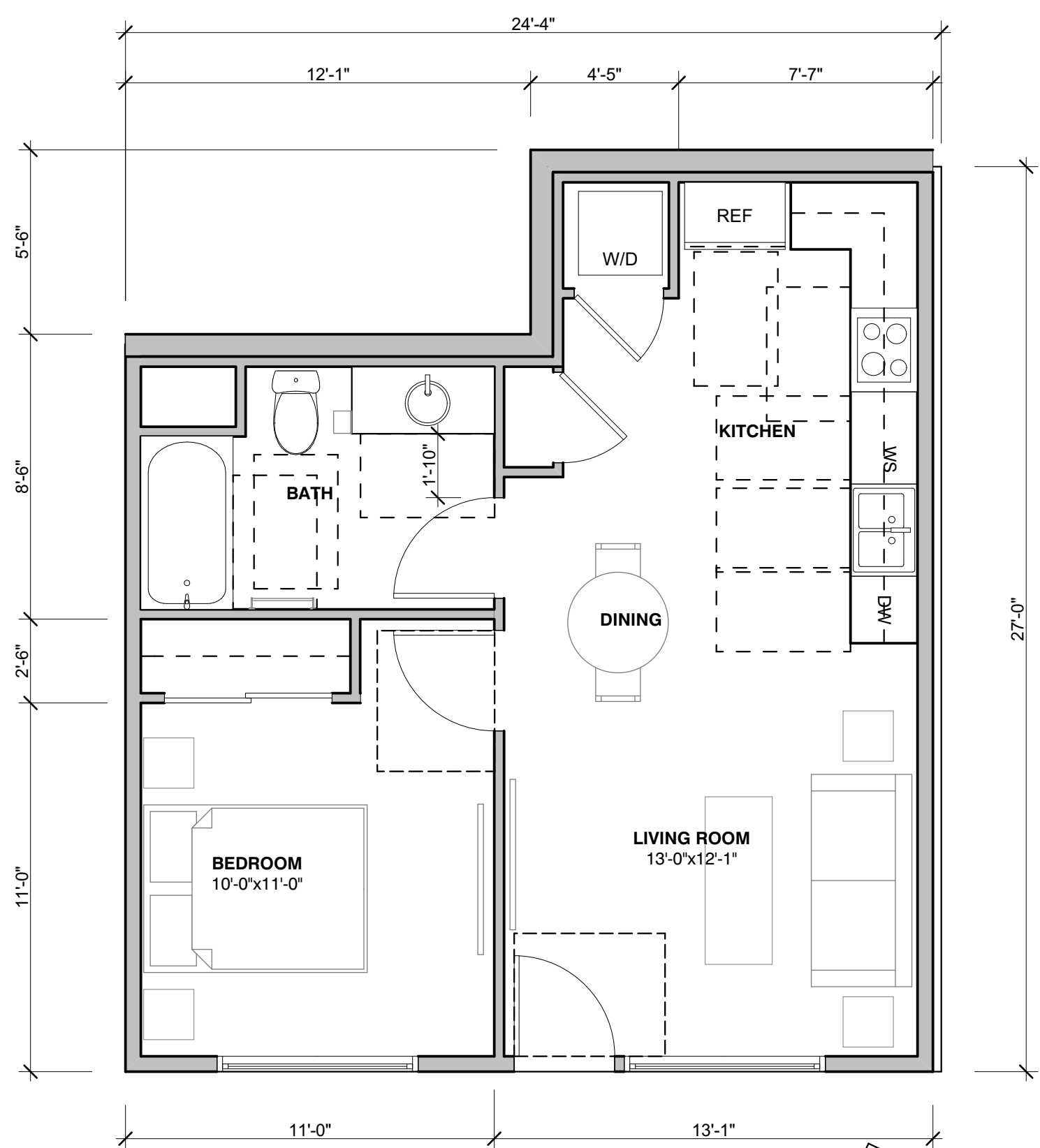
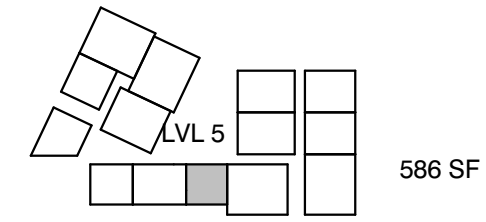
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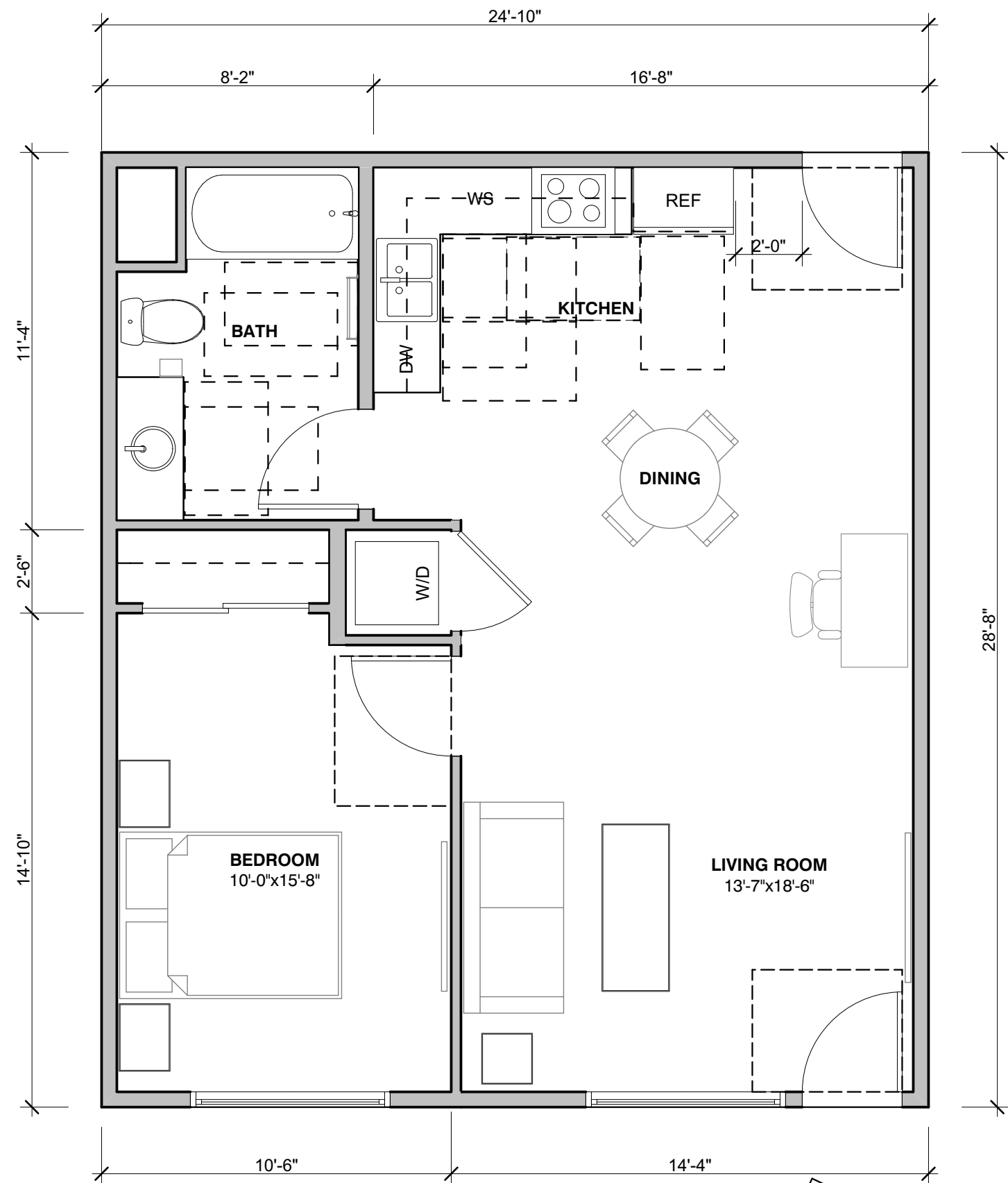
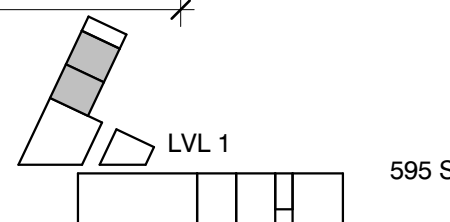
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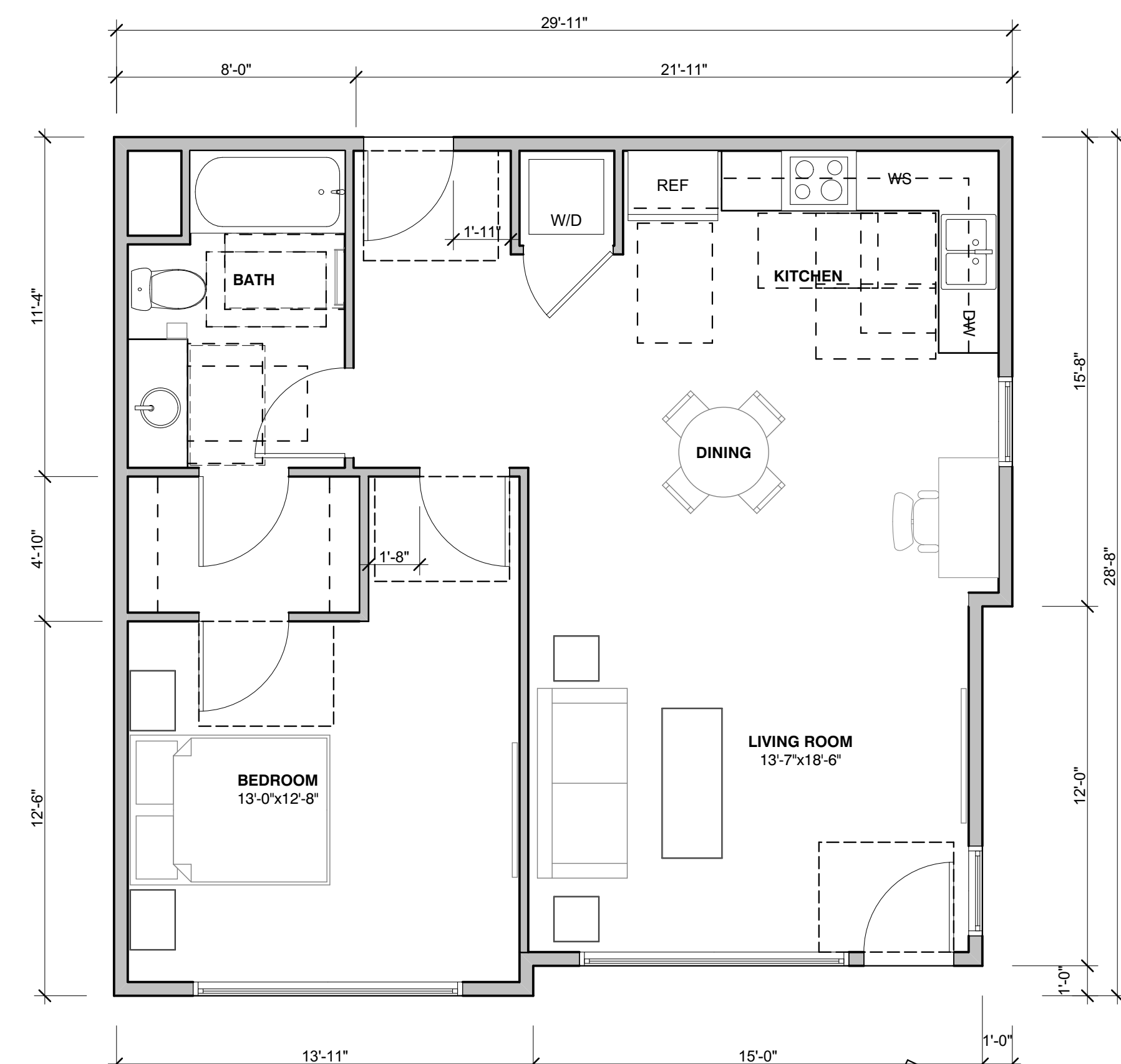
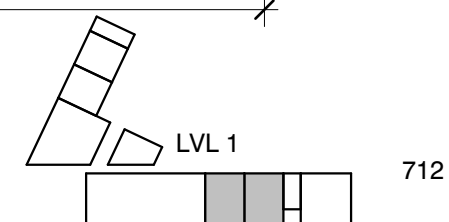
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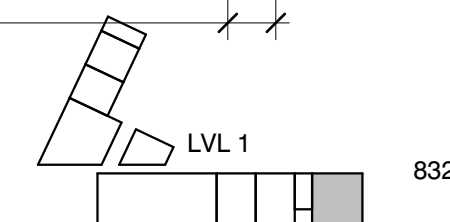
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2 UNIT 13
SCALE: 1/4" = 1'-0"



3 UNIT 14
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LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

project title

stamp

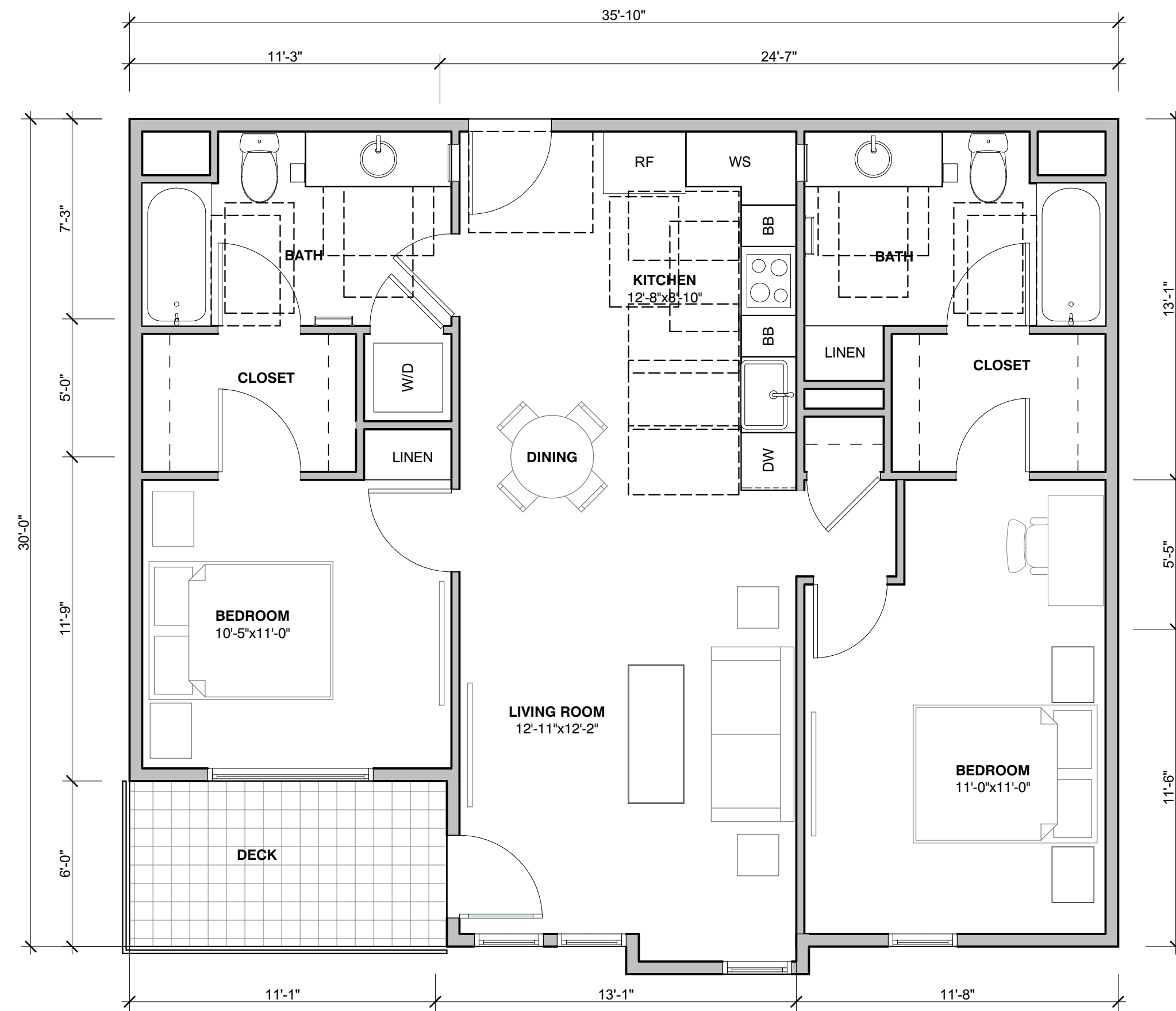
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

UNIT PLANS
sda
ARCHITECTS

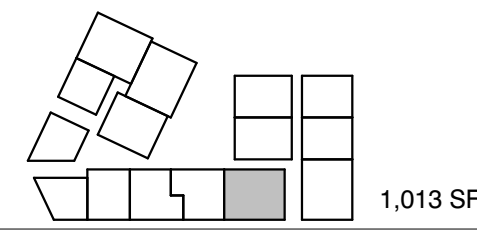
job no. **2036**
date

08/05/2021 PRESUBMITTAL REVIEW
03/21/2022 PRESUBMITTAL REVIEW 2
05/20/2022 PRESUBMITTAL REVIEW 3
09/14/2022 PRESUBMITTAL REVIEW 4

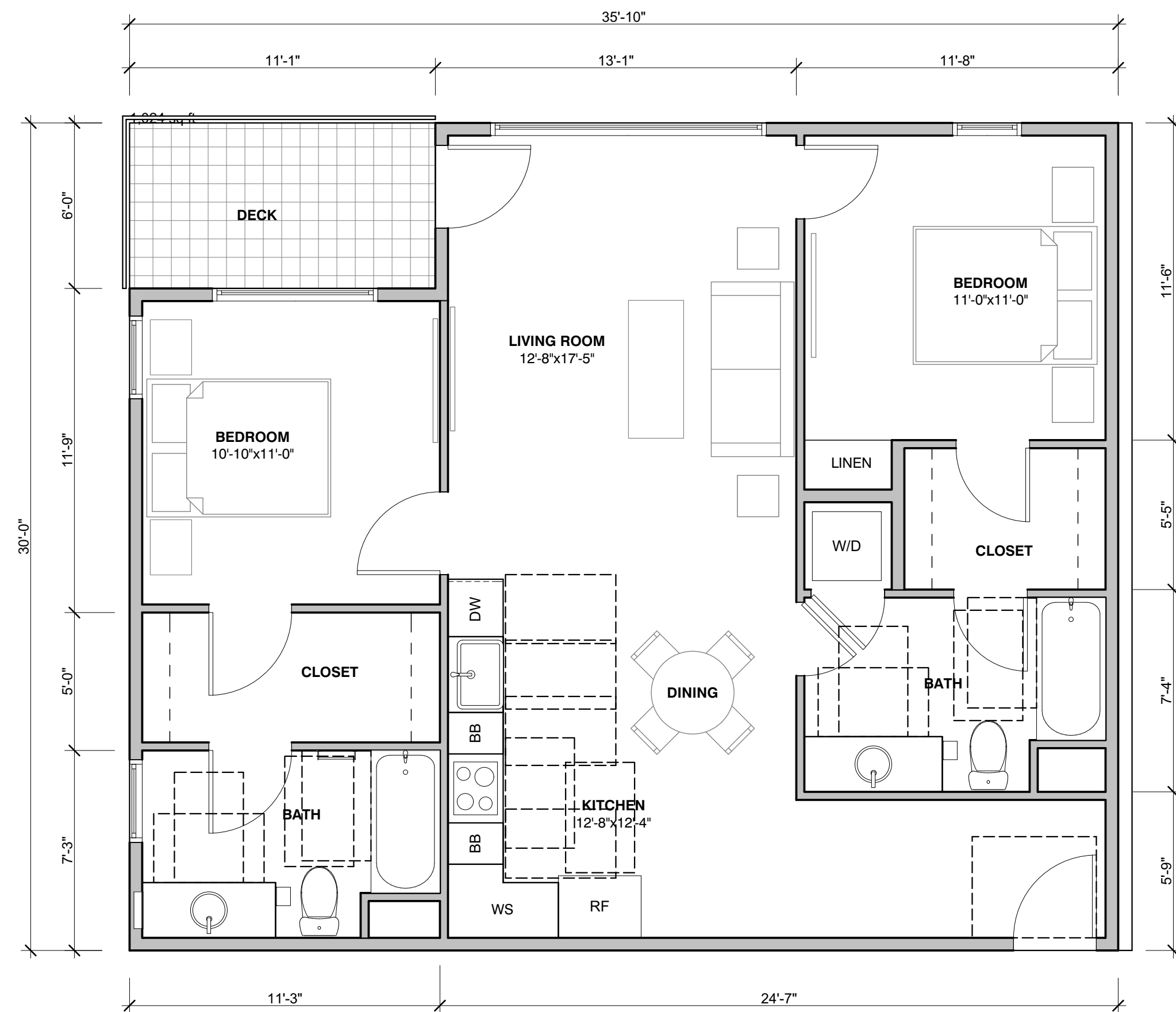
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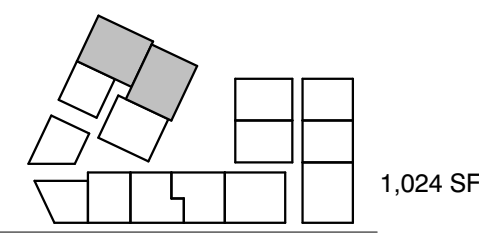
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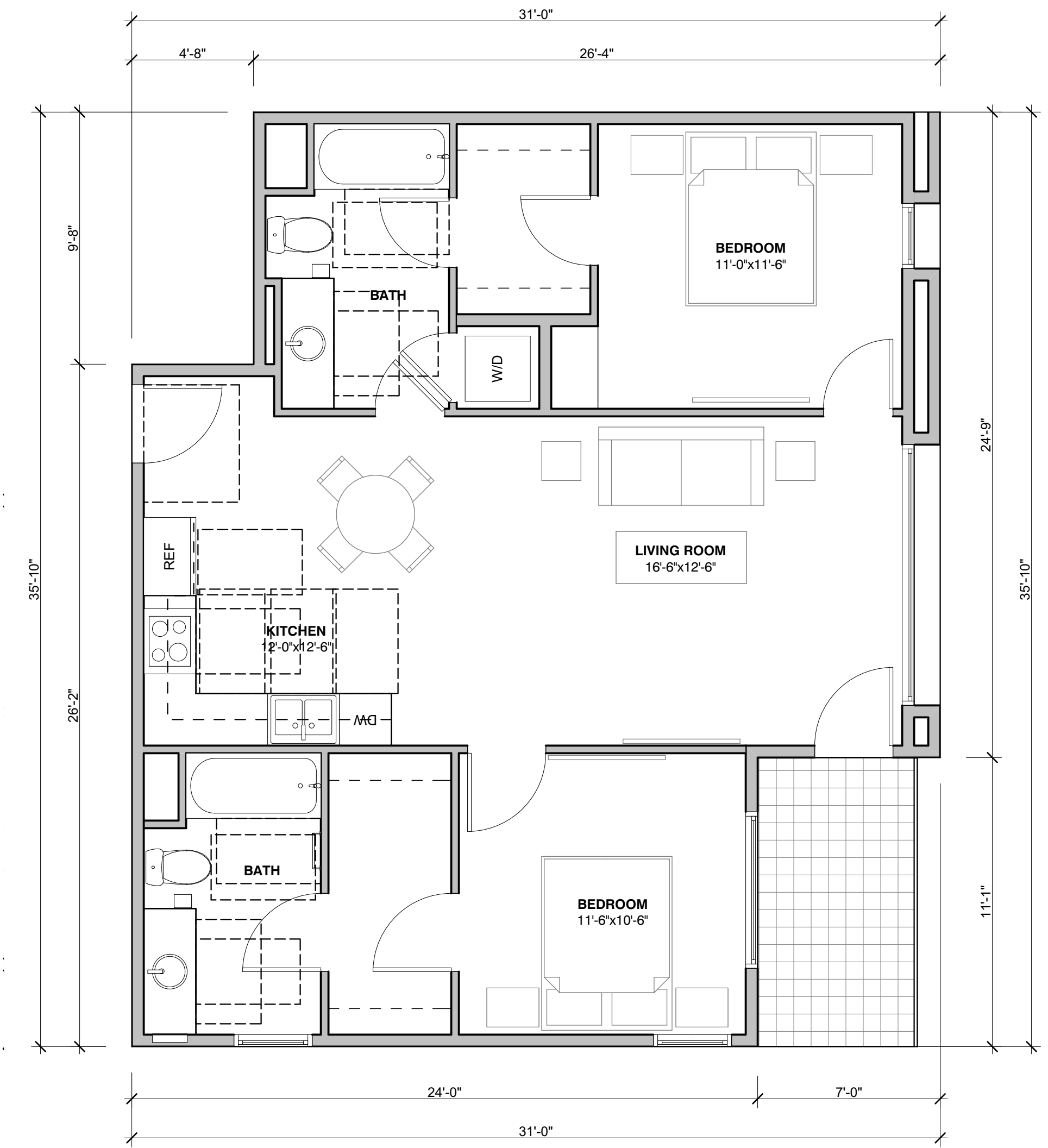
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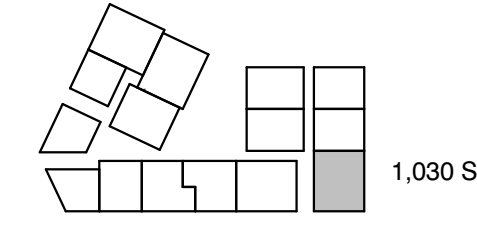
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SCALE: 1/4" = 1'-0"



1,024 SF



3 UNIT B3
SCALE: 1/4" = 1'-0"



1,030 SF

stamp

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UNIT PLANS
sd
ARCHITECTS

job no.
2036

08/05/2021	PRESUBMITTAL REVIEW
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09/14/2022	PRESUBMITTAL REVIEW 4

LA MESA VILLAGE

LANDSCAPE CONCEPT PLANS

4757 PALM AVE, LA MESA, CA 91942

LA MESA VILLAGE

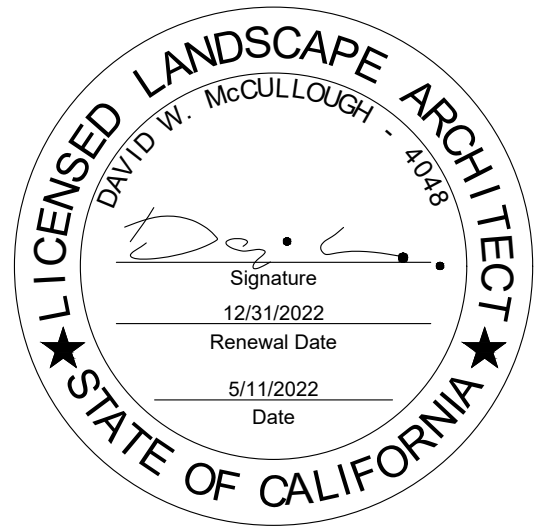
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619.296.3150



GENERAL NOTES:

THE FOLLOWING GENERAL NOTES ARE PROVIDED BY THE LANDSCAPE ARCHITECT WITH THE INTENTION OF PROVIDING OVERALL DIRECTIONS FOR THE CONTRACTOR. THE CITY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT.

1. CONTRACTOR SHALL COORDINATE LANDSCAPE WORK WITH THE WORK OF OTHER TRADES AND PROFESSIONS PRESENT ON SITE. CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE THROUGHOUT THE ENTIRE CONSTRUCTION CYCLE.
 - 1.1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF EXISTING AND PROPOSED UTILITIES WITHIN THE PROJECT LIMITS WHICH MAY BE AFFECTED BY INSTALLATION. IMMEDIATELY CONTACT THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IN THE CASE OF A CONFLICT.
2. CONTRACTOR SHALL VERIFY WITH THE LANDSCAPE ARCHITECT / OWNER'S REPRESENTATIVE THAT PLANS IN HAND ARE CURRENT AND APPROVED.
 - 2.1. DO NOT SCALE DRAWINGS
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS AND NOTIFY LANDSCAPE ARCHITECT / OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.
4. ALL WORK CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE WORK. BUILDING CODE REQUIREMENTS

- TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
5. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
 6. THE CONTRACTOR SHALL OBTAIN NECESSARY AND / OR REQUIRED PERMITS AND PAY ALL RELATED FEES AND / OR TAXES REQUIRED TO INSTALL THE WORK ON THESE PLANS.
 7. THE CONTRACTOR SHALL BE APPROPRIATELY LICENSED AS REQUIRED BY THE STATE IN WHICH THE WORK IS TO TAKE PLACE.
 8. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
 9. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN; THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND HIS ENGINEERS SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND HIS ENGINEERS DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES, WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND HIS ENGINEERS, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED TO, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE GENERAL CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

10. A PROTECTION FENCE SHALL BE CONSTRUCTED AND MAINTAINED DURING CONSTRUCTION CONFORMING TO THE REQUIREMENTS OF THE BUILDING CODE.
11. MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION AS REQUIRED BY APPLICABLE REGULATIONS.
12. THE GENERAL CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK AND/OR EQUIPMENT SUPPLIED BY THE OWNER.
14. PROVIDE FACILITIES FOR THE PHYSICALLY HANDICAPPED IN ACCORDANCE WITH C.A.C. TITLE 24 AND AS REQUIRED BY THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
15. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE GENERAL CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.
16. PAVING, MASONRY AND CONCRETE SUBCONTRACTORS ARE TO COORDINATE WITH THE ELECTRICIAN, DRAIN LINE SUBCONTRACTOR AND IRRIGATION SUBCONTRACTOR FOR SLEEVING, PIPING AND/OR CONDUIT INSTALLATION UNDER OR THROUGH HARDSCAPE ELEMENTS.
17. VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.
18. IN THE CASE OF DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS TAKE PRECEDENCE OVER DETAILS, AND DETAILS TAKE PRECEDENCE OVER PLANS.
19. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE PROJECT LANDSCAPE ARCHITECT..
20. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL TRADES ARE PROVIDED WITH CURRENT DRAWINGS AND SPECIFICATIONS APPROVED FOR CONSTRUCTION. DO NOT ALLOW DOCUMENTS NOT APPROVED FOR CONSTRUCTION TO BE USED IF SEEN ON SITE.
21. ALL LOCAL, MUNICIPAL, COUNTY AND STATE

REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF WORK ARE HEREBY INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS TO BE CARRIED OUT BY THE CONTRACTOR.

LANDSCAPE NOTES:

ALL LANDSCAPE AND IRRIGATION PLANS SHALL CONFORM TO APPLICABLE MUNICIPAL AND REGIONAL DESIGN CODE, LANDSCAPE REGULATIONS, STREETSCAPE MANUALS, OR LANDSCAPE STANDARDS.

1. ALL LANDSCAPE AREAS NOT CONTAINING TREES SHALL HAVE A MINIMUM FINISHED DIMENSION OF 3 FEET (WIDTH) MEASURED FROM THE INSIDE FACE OF PAVEMENT.
2. EACH TREE SHALL BE PLANTED IN AN AIR AND WATER-PERMEABLE PLANTING AREA OF AT LEAST 40 SQUARE FEET WITH A MINIMUM FINISHED DIMENSION (WIDTH) OF 5 FEET MEASURED FROM THE INSIDE FACE OF PAVEMENT. THE PLANTING AREA SHALL BE UNENCUMBERED BY UTILITIES.
3. ALL IRRIGATION DESIGN AND INSTALLATION SHALL CONFORM MUNICIPAL AND REGIONAL STANDARDS AS WELL AS INDUSTRY BEST PRACTICES.
4. ANY CHANGES TO THE STREETSCAPE, SITE AND/OR LANDSCAPE PLANS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTAL TO THE APPLICABLE MUNICIPAL OR REGIONAL REVIEW / APPROVAL AGENCY.
5. ANY DISCREPANCY OR CONFLICTS IN DIMENSIONS, LANDSCAPE AREAS, OR MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE

MINIMUM TREE SEPARATION DISTANCE:

- IMPROVEMENT
- | | |
|--|---------------------------------|
| TRAFFIC SIGNALS (STOP SIGN) | MINIMUM DISTANCE TO STREET TREE |
| UNDERGROUND UTILITY LINES | 20 FEET |
| ABOVE GROUND UTILITY STRUCTURES | 5 FEET (10' FOR SEWER) |
| DRIVEWAY (ENTRIES) | 10 FEET |
| INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) | 10 FEET |
| SEWER LINES | 25 FEET |
| | 10 FEET |

CONTRACTOR SHALL REPAIR AND REPLACE ALL EXISTING LANDSCAPE, IRRIGATION, AND ANY EXISTING IMPROVEMENTS DISPLACED OR DAMAGED AS A RESULT OF PERFORMING THE WORK OF THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER. EXISTING LANDSCAPE AND IRRIGATION SHALL BE EXTENDED IN-KIND INTO AREAS LEFT VACANT BY DEMOLITION AT NO ADDITIONAL COST TO THE OWNER.

OWNERS, LANDSCAPE ARCHITECT, AND THE AFFECTED DISCIPLINES IMMEDIATELY.

6. TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET WITHIN 8 YEARS OF PLANTING.
7. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY TO BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC SEWER FACILITIES OR IN THE PUBLIC EASEMENT.

PUBLIC RIGHT OF WAY:

ANY EXISTING CONCRETE STAMPS ON EXISTING RIGHT OF WAY CONCRETE SHALL BE PRESERVED/PROTECTED IN PLACE. ANY NEW OR REPLACEMENT OF SIDEWALK WILL MAINTAIN THE SAME WIDTH, TEXTURE, SCORING PATTERN, COLOR AND MATERIAL OF THE EXISTING OR BE IN SUBSTANTIAL CONFORMANCE WITH THE HISTORIC DESIGN OF SIDEWALKS OF ADJACENT PROPERTIES.

Sheet List Table	
Sheet Number	Sheet Title
L-1.00	COVER SHEET
L-2.00	CONSTRUCTION PLAN L1
L-2.01	CONSTRUCTION PLAN L2
L-2.03	CONSTRUCTION PLAN ROOF DECK
L3.00	IRRIGATION PLAN L1
L-3.01	IRRIGATION PLAN L2
L-3.02	IRRIGATION PLAN ROOF DECK
L-4.00	PLANTING PLAN L1
L-4.01	PLANTING PLAN L2
L-4.02	PLANTING PLAN ROOF DECK
L-5.00	RENDER VIEWS

SCOPE OF WORK
<ul style="list-style-type: none"> - CONSTRUCTION OF A NEW 5 STORY MIXED USE BUILDING INCLUDING A GROUND FLOOR COMMERCIAL SPACE, (5) LIVE/WORK UNITS, (59) RESIDENTIAL APARTMENTS, COVERED PARKING GARAGE - ASSOCIATED LANDSCAPING IMPROVEMENTS ON SITE AND WITHIN THE RIGHT OF WAY

VICINITY MAP



SUBMITTALS | REVISIONS

No.	Description	Date
XX	1st Submittal	XXX.XX.2X

Issue Date	Project Number
03/21/2022	22127

COVER SHEET

L-1.00

LA MESA VILLAGE

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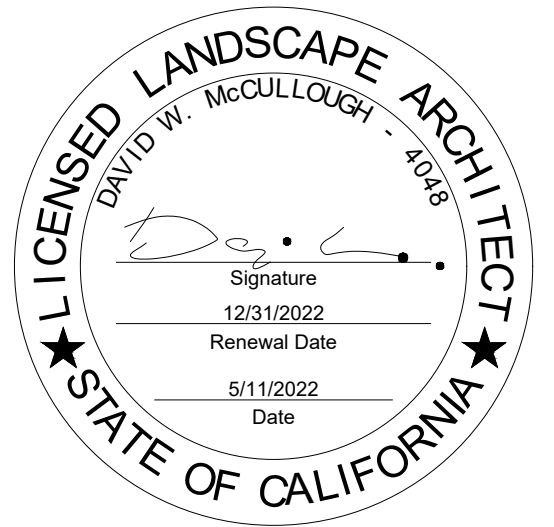
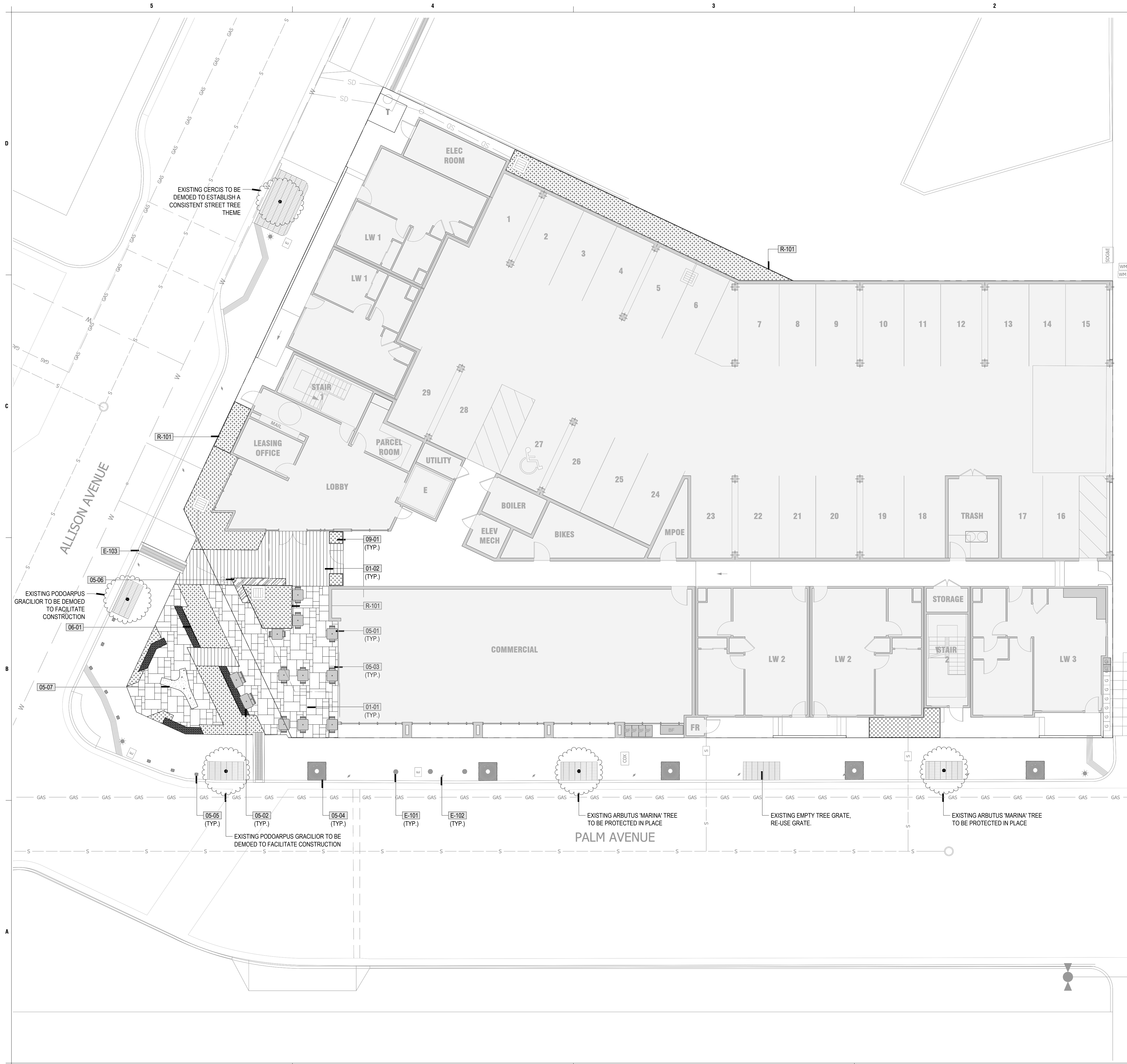
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Diego, California 92101 100
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CONSTRUCTION SCHEDULE - L1

SYMBOL	DESCRIPTION	QTY
01 PAVEMENTS, RAMPS, CURBS		
01-01 UNILOCK PAVERS 928 SF		
01-02 WOOD DECKING 350 SF		
05 SITE FURNISHINGS		
05-01 BISTRO TABLE - SQUARE 10		
05-02 BISTRO TABLE - RECTANGLE 2		
05-03 BISTRO CHAIR 24		
05-04 TREE GRATE - SQUARE 5		
05-05 LIGHT BOLLARD 8		
05-06 WOOD BENCH 24 SF		
05-07 TWIG BENCH 85 SF		
06 RAILINGS, BARRIERS, FENCING		
06-01 CORTEN STEEL 18 LF		
09 PLANTING AND LANDSCAPE		
09-01 PLANTING AREA 873 SF		
EXISTING TO REMAIN		
E-101 POST FOR STRING LIGHTS 3		
E-102 PARKING METER 10		
E-103 UNDERDRAIN 2		
REFERENCE SCHEDULE		
R-101 BMP PER CIVIL		



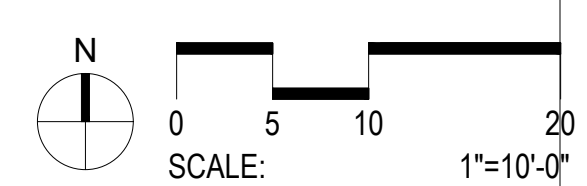
SUBMITTALS | REVISIONS

No.	Description	Date
XX	1st Submittal	XX.XX.XX

Issue Date: 03/21/2022
Project Number: 22127

CONSTRUCTION PLAN L1

L-2.00



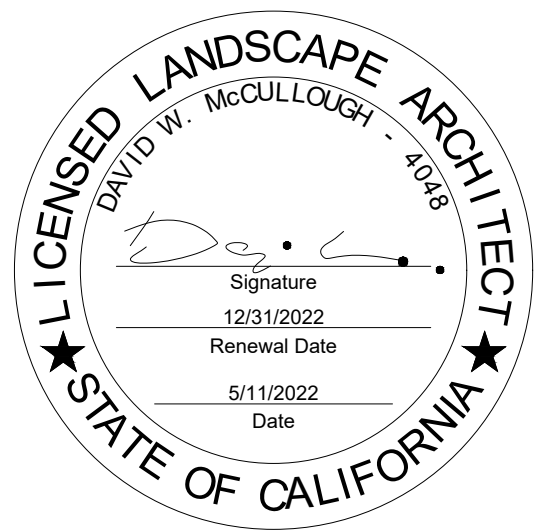
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No.	Description	Date
XX	1st Submittal	XX.XX.2X

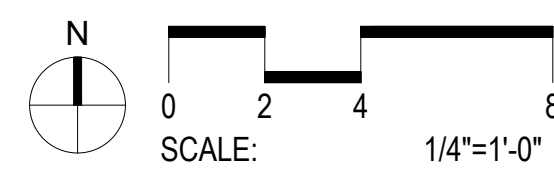
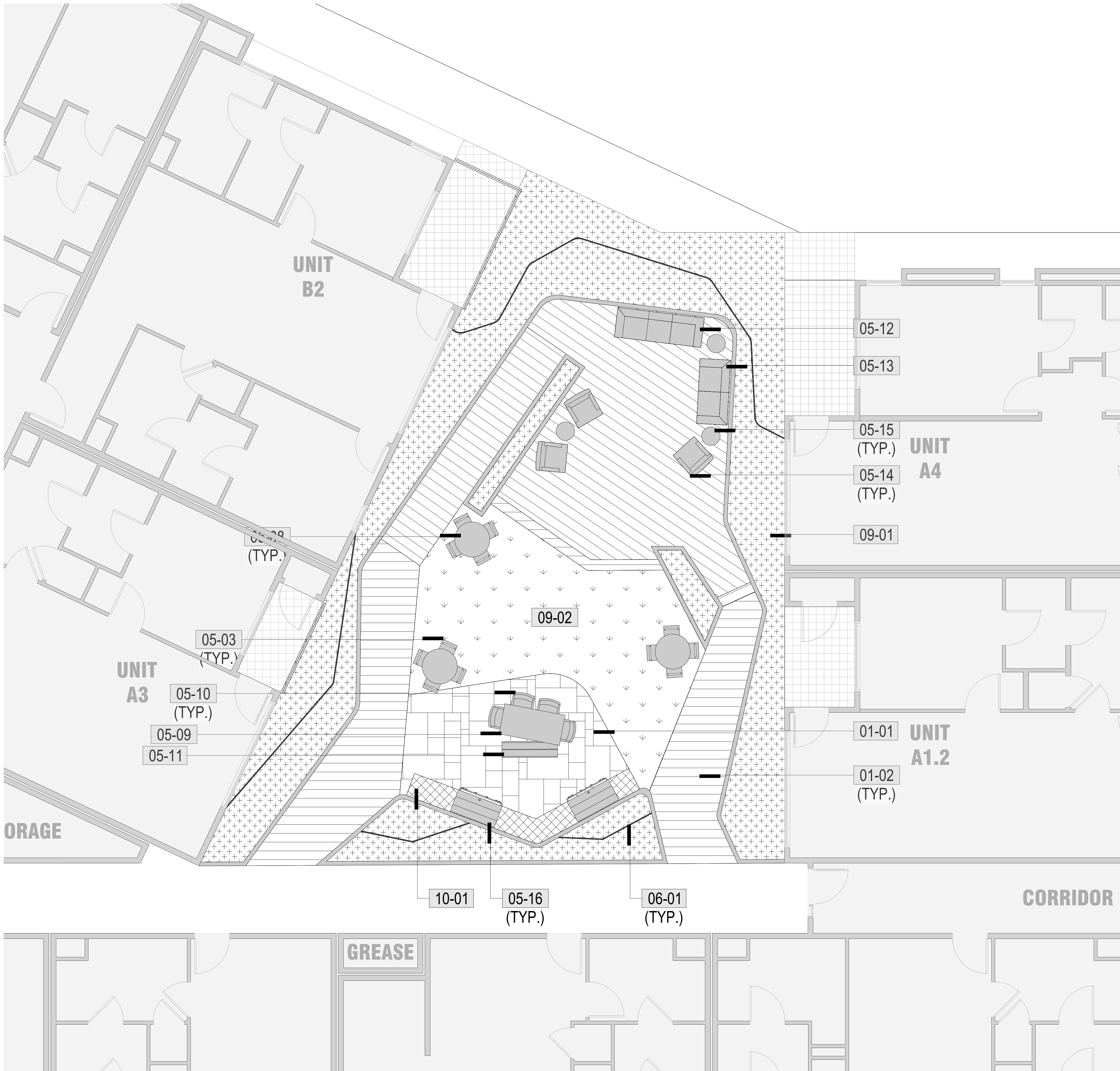
Issue Date	Project Number
03/21/2022	22127

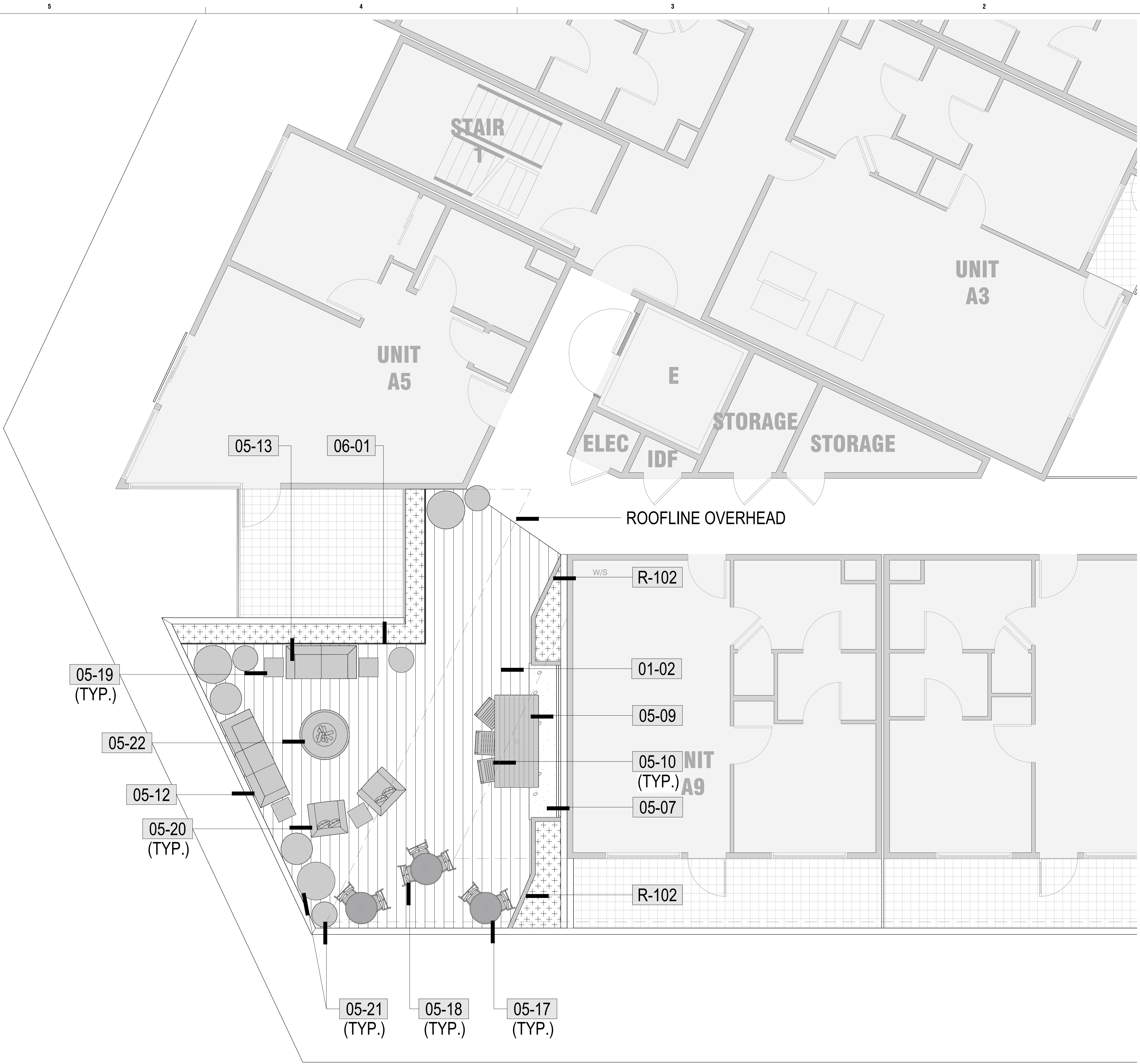
CONSTRUCTION PLAN L2

L-2.01

CONSTRUCTION SCHEDULE - L2

01 PAVEMENTS, RAMPS, CURBS		
SYMBOL	DESCRIPTION	QTY
01-01	UNILOCK PAVERS	169 SF
01-02	WOOD DECKING	717 SF
05 SITE FURNISHINGS		
SYMBOL	DESCRIPTION	QTY
05-03	BISTRO CHAIR	12
05 SITE FURNISHINGS		
SYMBOL	DESCRIPTION	QTY
05-08	BISTRO TABLE - ROUND	3
05-09	DINING TABLE	1
05-10	DINING CHAIR	4
05-11	DINING BENCH	1
05-12	3 SEATER SOFA	1
05-13	2 SEATER SOFA	1
05-14	LOUNGE CHAIR	3
05-15	SIDE TABLE	3
05-16	BBQ GRILL	2
06 RAILINGS, BARRIERS, FENCING		
SYMBOL	DESCRIPTION	QTY
06-01	CORTEN STEEL	87 LF
09 PLANTING AND LANDSCAPE		
SYMBOL	DESCRIPTION	QTY
09-01	PLANTING AREA	720 SF
09-02	ARTIFICIAL TURF	320 SF
10 MISCELLANEOUS ELEMENTS		
SYMBOL	DESCRIPTION	QTY
10-01	COUNTERTOP	42 SF





CONSTRUCTION SCHEDULE - ROOF DECK

01 PAVEMENTS, RAMPS, CURBS		
SYMBOL	DESCRIPTION	QTY
01-01	WOOD DECKING	595 SF
05 SITE FURNISHINGS		
SYMBOL	DESCRIPTION	QTY
05-07	BUILT-IN BENCH	37 SF
05-09	DINING TABLE	1
05-10	DINING CHAIR	3
05-12	3 SEATER SOFA	1
05-13	2 SEATER SOFA	1
05-17	BAR HEIGHT TABLE	3
05-18	BAR HEIGHT STOOL	7
05-19	SQUARE TABLE	4
05-20	ARM CHAIR	2
05-21	PLANTER POTS	9
05-22	FIRE PIT	1
06 RAILINGS, BARRIERS, FENCING		
SYMBOL	DESCRIPTION	QTY
06-01	CORTEN STEEL	31 LF
09 PLANTING AND LANDSCAPE		
SYMBOL	DESCRIPTION	QTY
09-01	PLANTING AREA	77 SF
REFERENCE SCHEDULE		
SYMBOL	DESCRIPTION	QTY
R-102	RAISED PLANTER	

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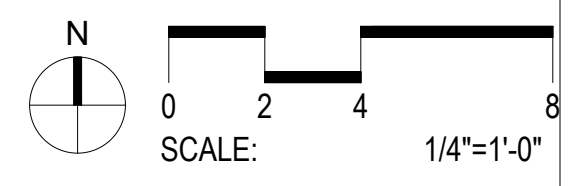


SUBMITTALS | REVISIONS

No.	Description	Date
XX	1st Submittal	XX.XX.XX

Issue Date	Project Number
03/21/2022	22127

CONSTRUCTION PLAN ROOF DECK





IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
[Symbol]	DRIP CONTROL ZONE KIT HUNTER ICZ-101-25. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	4
[Symbol]	PIPE TRANSITION POINT PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	9
[Symbol]	TREE RING - 2 DRIP RINGS HUNTER HDL-09-12. 2 DRIP RINGS @ 12" SPACING FROM TRUNK TO FIRST RING. 30" SPACING FROM TRUNK TO SECOND RING.	15

[Symbol]	AREA TO RECEIVE DRIPLINE DRIPLINE HDL-04-12-CV. HUNTER DRIPLINE W/ 0.4 GPH EMITTERS AT 12" O.C. CHECK VALVE. DARK BROWN TUBING WITH TAN STRIPING. DRIPLINE LATERALS SPACED AT 12" APART. WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.	808.8 L.F.
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
[Symbol]	QUICK COUPLER VALVE HUNTER HQ-33DLRC. YELLOW LOCKING RUBBER COVER, RED BRASS AND STAINLESS STEEL, WITH 3/4" NPT INLET, 2-PIECE BODY.	3
[Symbol]	FULL PORT BRASS BALL VALVE LANDSCAPE PRODUCTS INC. BBV. 1/2", 3/4", 1", 1-1/4", 1-1/2", 2", 2-1/2", 3". SUITABLE FOR A FULL RANGE OF LIQUIDS AND GASES IN RESIDENTIAL AND COMMERCIAL APPLICATIONS.	1

[Symbol]	3" PLASTIC ELECTRIC MASTER VALVE 3" HUNTER ICV-A. ANGLE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	1
[Symbol]	REDUCED PRESSURE BACKFLOW PREVENTER 3/4" FEBCO 825Y	1
[Symbol]	IRRIGATION CONTROLLER HUNTER HCC-1600-M. 16 STATION OUTDOOR WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN & ONE ICM-800 MODULE. COMMERCIAL USE. METAL CABINET.	1

[Symbol]	SOLAR SYNC HUNTER SOLAR-SYNC. SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE. CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS. INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET. WIRED.	1
[Symbol]	FLOW SENSOR HUNTER HC-075-FLOW. 3/4" FLOW METER FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS. ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.	1
[Symbol]	CAP FOR FUTURE USE CAP AT THE MAINLINE OR LATERAL LINE FOR FUTURE USE. THE PRESSURE AND FLOW PROVIDED TO THAT LOCATION ARE INDICATED NEXT TO THE CAP SYMBOL.	2
[Symbol]	WATER METER 3/4"	1

[Symbol]	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	788.4 L.F.
[Symbol]	IRRIGATION MAINLINE: PVC SCHEDULE 40	333.8 L.F.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
[Symbol]	[Symbol]	

[Symbol]	[Symbol]	
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[Symbol]	[Symbol]	
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CRITICAL ANALYSIS

Generated: 2022-03-21 13:20

P.O.C. NUMBER: 01

Water Source Information:

FLOW AVAILABLE
Water Meter Size: 3/4"
Flow Available: 22.5 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 80.00 PSI
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20 ft
Pressure Available: 78.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 14 GPM
Flow Available at POC: 22.5 GPM
Residual Flow Available: 8.5 GPM

Critical Station: 3
Design Pressure: 30 PSI
Friction Loss: 0.29 PSI
Fittings Loss: 0.03 PSI
Elevation Loss: 0 PSI
Loss through Valve: 10 PSI
Pressure Req. at Critical Station: 40.32 PSI
Loss for Fittings: 1.06 PSI
Loss for Main Line: 10.62 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 11.35 PSI
Loss for Master Valve: 1.9 PSI
Loss for Water Meter: 0.5 PSI
Critical Station Pressure at POC: 65.75 PSI
Pressure Available: 78 PSI
Residual Pressure Available: 12.25 PSI

LA MESA VILLAGE

New Construction

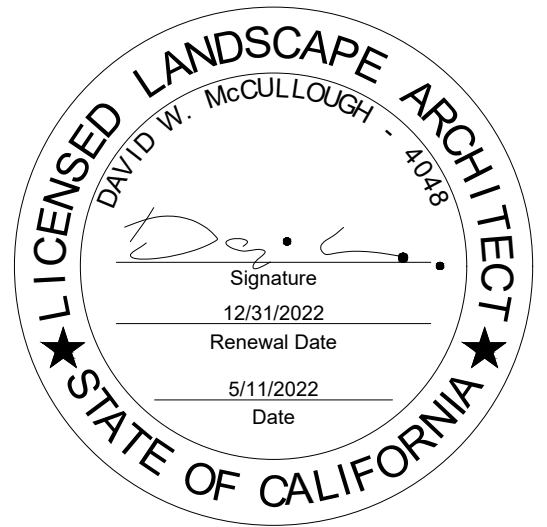
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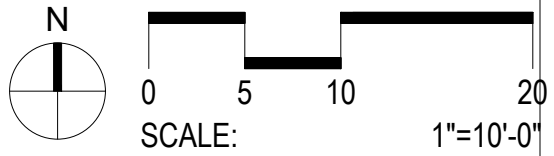
SUBMITTALS | REVISIONS

No.	Description	Date
XX	1st Submittal	XX.XX.XX

Issue Date	Project Number
03/21/2022	22127

IRRIGATION PLAN L1

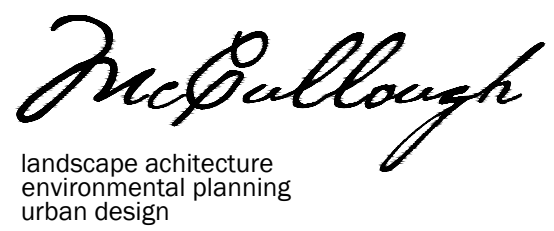
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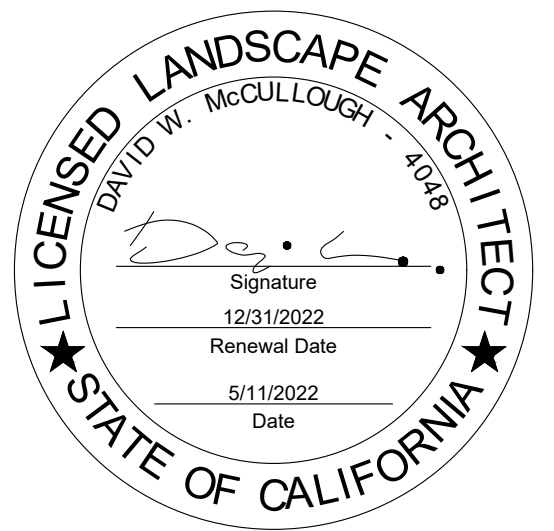
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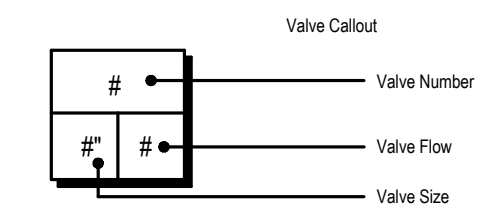
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Issue Date	Project Number
03/21/2022	22127

IRRIGATION PLAN L2

L-3.01

IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	DRIP CONTROL ZONE KIT HUNTER ICZ-101-25. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	2
	PIPE TRANSITION POINT PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	8
	TREE RING - 2 DRIP RINGS HUNTER HDL-09-12. 2 DRIP RINGS @ 12" SPACING FROM TRUNK TO FIRST RING. 30" SPACING FROM TRUNK TO SECOND RING.	7
	AREA TO RECEIVE DRIPLINE DRIPLINE HDL-04-12-CV. HUNTER DRIPLINE W/ 0.4 GPH EMITTERS AT 12" O.C. CHECK VALVE. DARK BROWN TUBING WITH TAN STRIPING. DRIPLINE LATERALS SPACED AT 12" APART. WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.	713.1 L.F.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	QUICK COUPLER VALVE HUNTER HQ-33DLRC. YELLOW LOCKING RUBBER COVER, RED BRASS AND STAINLESS STEEL. WITH 3/4" NPT INLET, 2-PIECE BODY.	1
	POINT OF CONNECTION	1
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	384.0 L.F.
	IRRIGATION MAINLINE: PVC SCHEDULE 40	8.2 L.F.



CRITICAL ANALYSIS

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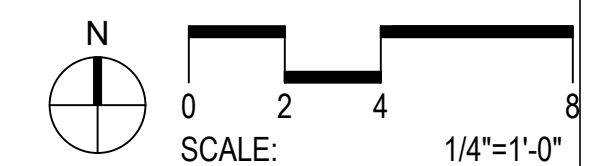
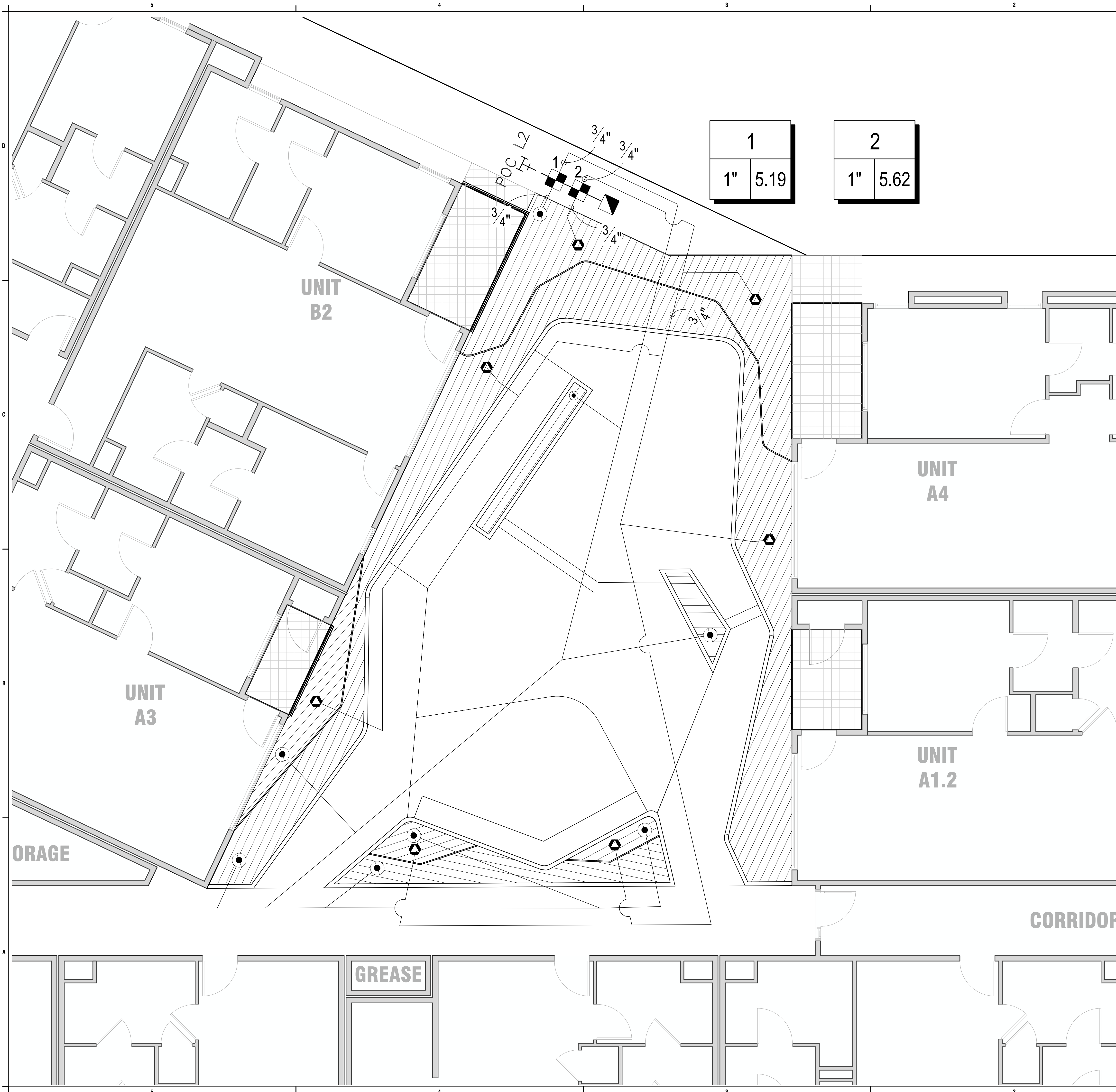
P.O.C. NUMBER: 02
Water Source Information:

FLOW AVAILABLE
Custom Max Flow: 14 GPM
Flow Available: 14 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 42.00 PSI
Pressure Available: 42.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 14 GPM
Flow Available at POC: 14 GPM
Residual Flow Available: 0 GPM

Critical Station: 1
Design Pressure: 30 PSI
Friction Loss: 1.36 PSI
Fittings Loss: 0.14 PSI
Elevation Loss: 0 PSI
Loss through Valve: 10.19 PSI
Pressure Req. at Critical Station: 41.2 PSI
Loss for Fittings: 0 PSI
Loss for Main Line: 0.01 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 0 PSI
Critical Station Pressure at POC: 41.21 PSI
Pressure Available: 42 PSI
Residual Pressure Available: 0.79 PSI



LA MESA VILLAGE

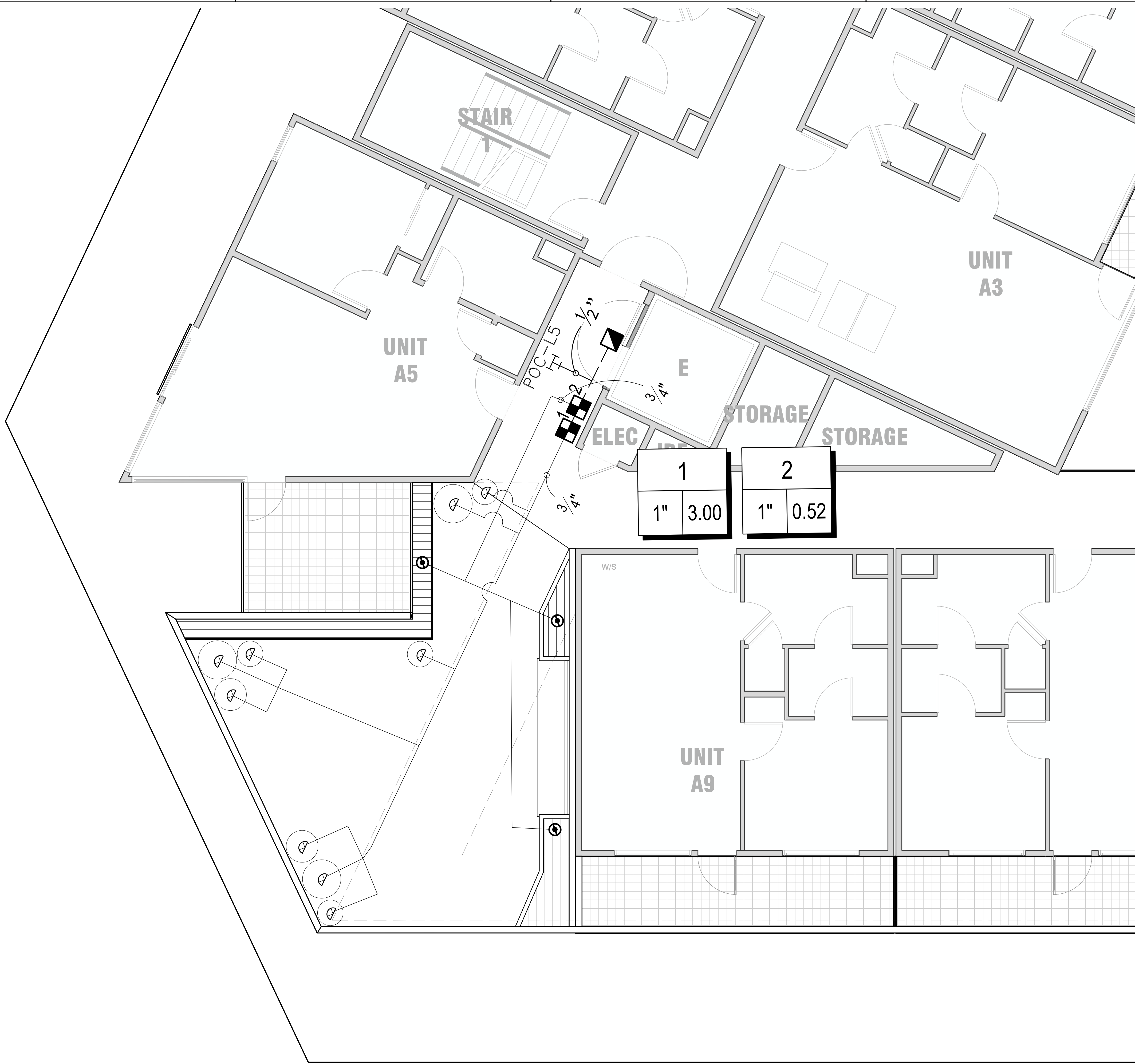
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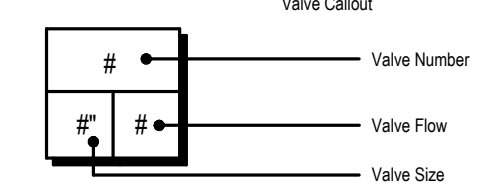


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IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	FLOOD BUBBLER 10 HUNTER PCB, 1/2" FIPT.	9
	DRIP CONTROL ZONE KIT HUNTER ICZ-101-25, 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	2
	PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	3
	AREA TO RECEIVE DRIPLINE DRIPLINE HDL-04-12-CV: HUNTER DRIPLINE W/ 0.4 GPH EMITTERS AT 12" O.C. CHECK VALVE, DARK BROWN TUBING WITH TAN STRIPING. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.	77.2 L.F.
	QUICK COUPLER VALVE HUNTER HQ-33D/LRC, YELLOW LOCKING RUBBER COVER, RED BRASS AND STAINLESS STEEL, WITH 3/4" NPT INLET, 2-PIECE BODY.	1
POC-L5	POINT OF CONNECTION	1
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	144.5 L.F.
	IRRIGATION MAINLINE: PVC SCHEDULE 40	11.3 L.F.



CRITICAL ANALYSIS

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P.O.C. NUMBER: 04
Water Source Information:

FLOW AVAILABLE
Custom Max Flow: 3 GPM
Flow Available: 3 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 41.00 PSI
Pressure Available: 41.00 PSI

DESIGN ANALYSIS
Maximum Station Flow: 3 GPM
Flow Available at POC: 3 GPM
Residual Flow Available: 0 GPM

Critical Station: 2
Design Pressure: 30 PSI
Friction Loss: 0.01 PSI
Fittings Loss: 0 PSI
Elevation Loss: 0 PSI
Loss through Valve: 10 PSI
Pressure Req. at Critical Station: 40.01 PSI
Loss for Fittings: 0 PSI
Loss for Main Line: 0.01 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 0 PSI
Critical Station Pressure at POC: 40.02 PSI
Pressure Available: 41 PSI
Residual Pressure Available: 0.98 PSI

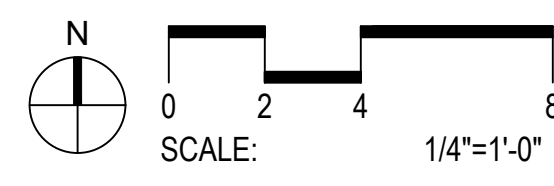


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No.	Description	Date
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Issue Date: 03/21/2022
Project Number: 22127

IRRIGATION PLAN ROOF DECK



L-3.02

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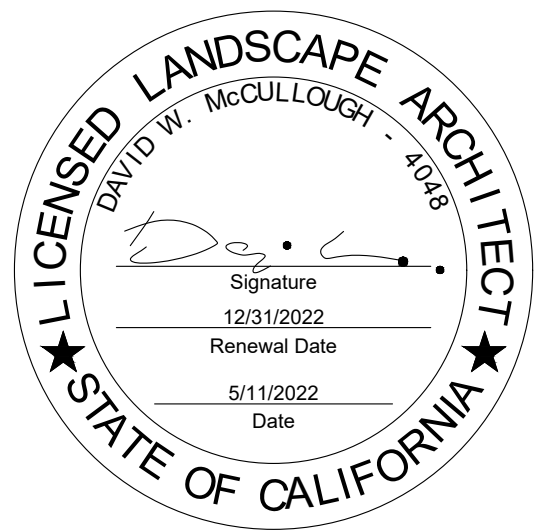
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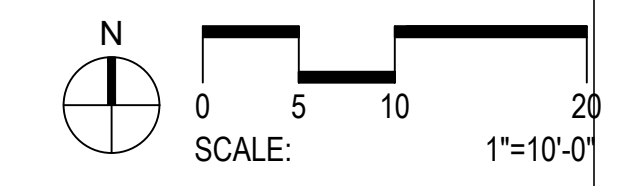
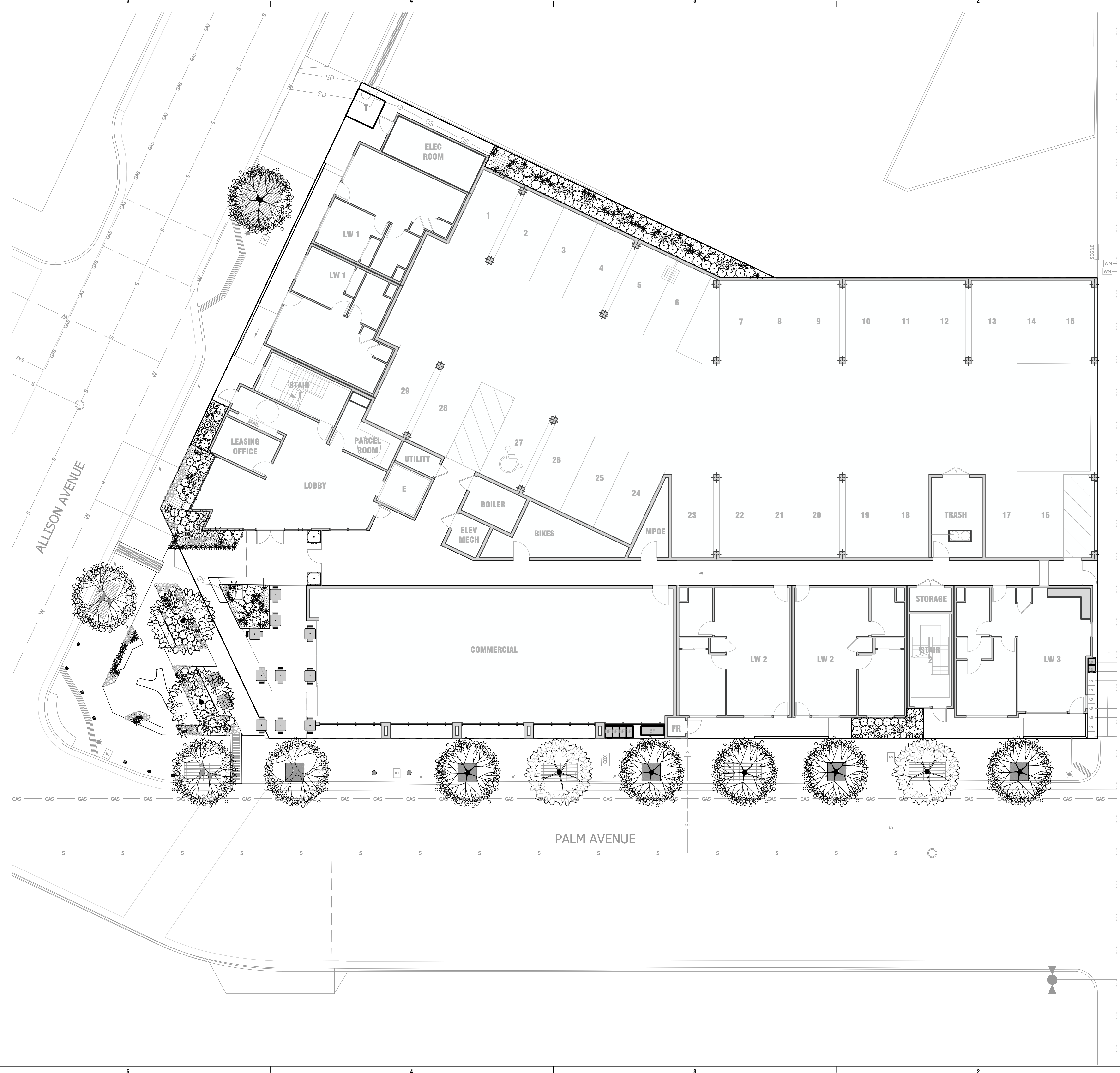
No.	Description	Date
XX	1st Submittal	XX.XX.XX

Issue Date	Project Number
03/21/2022	22127

PLANTING PLAN L1

L-4.00

PLANTING SCHEDULE - L1			
TREES	QTY	BOTANICAL / COMMON NAME	CONT
	2	(E) ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE	15 GAL
	6	ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE	15 GAL
	3	KOELREUTERIA BIPINNATA CHINESE FLAME TREE	15 GAL
	2	PLATANUS MEXICANA MEXICAN SYCAMORE	15 GAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	9	AGAVE ATTENUATA 'VARIEGATA' VARIEGATED AGAVE	5 GAL
	23	BOUTELLOJA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	5 GAL
	106	CAREX OSHIMENSIS 'EVERLITE' TM EVERCOLOR EVERLITE JAPANESE SEDGE	5 GAL
	11	DIANELLA CAERULEA 'VARIEGATA' VARIEGATED FLAX LILY	5 GAL
	7	DIANELLA X 'DP401' TM CLARITY BLUE FLAX LILY	5 GAL
	2	FICUS LYRATA FIDDLE LEAF FIG	5 GAL
	45	HESPERALOE PARVIFLORA BRAKELIGHTS RED YUCCA	5 GAL
	16	LEUCOSPERMUM CORDIFOLIUM 'CALIFORNIA SUNSHINE' CALIFORNIA SUNSHINE PINCUSHION	5 GAL
	61	LOMANDRA CONFERTIFOLIA RUBIGINOSA 'SEASCAPE' SEASCAPE MAT RUSH	5 GAL
	23	LOMANDRA LONGIFOLIA 'LM300' BREEZE MAT RUSH	5 GAL
	11	LOMANDRA LONGIFOLIA PLATINUM BEAUTY VARIEGATED DWARF MAT RUSH	5 GAL
	87	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY' BURGUNDY BUNNY DWARF FOUNTAIN GRASS	5 GAL
	29	PITTIOSPORUM TENUIFOLIUM 'SILVER SHEEN' SILVER SHEEN TAWHIWI	5 GAL
	17	SEDUM MORGANIANUM BURRO'S TAIL	5 GAL
	46	SESLERIA AUTUMNALIS AUTUMN MOOR GRASS	5 GAL
	23	STRELITZIA REGINAE 'DWARF' DWARF BIRD OF PARADISE	5 GAL
	15	THYMUS PRAECOX ARCTICUS 'ALBUS' WHITE CREEPING THYME	5 GAL





PLANTING SCHEDULE - L2

TREES	QTY	BOTANICAL / COMMON NAME	CONT
	2	ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE	15 GAL
	5	PLATANUS X ACERIFOLIA LONDON PLANE TREE	15 GAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	10	AGAVE ATTENUATA 'VARIEGATA' VARIEGATED AGAVE	5 GAL
	41	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	5 GAL
	99	CAREX OSHIMENSIS 'EVERLITE'™ EVERCOLOR EVERLITE JAPANESE SEDGE	5 GAL
	35	DIANELLA CAERULEA 'VARIEGATA' VARIEGATED FLAX LILY	5 GAL
	6	DRACAENA TRIFASCIATA SNAKE PLANT	5 GAL
	18	HESPERALOE PARVIFLORA BRAKELIGHTS RED YUCCA	5 GAL
	7	LEUCOSPERMUM CORDIFOLIUM 'CALIFORNIA SUNSHINE' CALIFORNIA SUNSHINE PINCUSHION	5 GAL
	43	LOMANDRA CONFERTIFOLIA RUBIGINOSA 'SEASCAPE' SEASCAPE MAT RUSH	5 GAL
	72	LOMANDRA LONGIFOLIA 'LM300' BREEZE MAT RUSH	5 GAL
	32	LOMANDRA LONGIFOLIA PLATINUM BEAUTY VARIEGATED DWARF MAT RUSH	5 GAL
	4	MONSTERA DELICIOSA SPLIT-LEAF PHILODENDRON	5 GAL
	100	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY' BURGUNDY BUNNY DWARF FOUNTAIN GRASS	5 GAL
	11	STRELITZIA REGINAE 'DWARF' DWARF BIRD OF PARADISE	5 GAL

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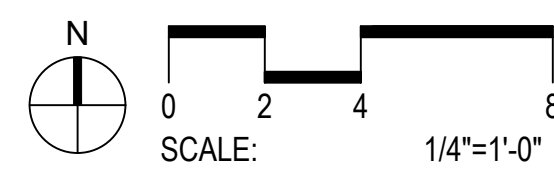
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PLANTING PLAN L2

L-4.01



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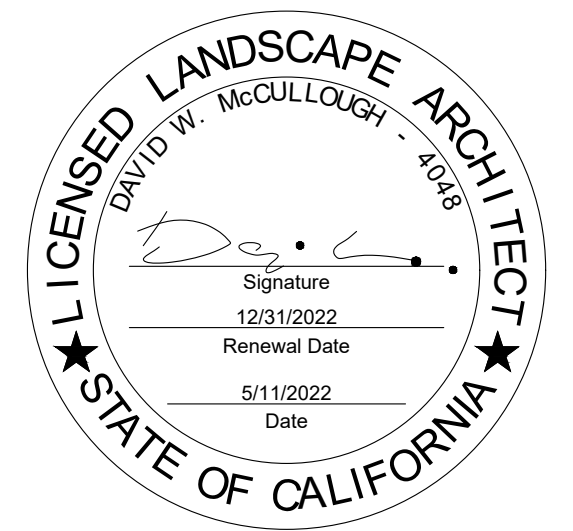
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PLANTING SCHEDULE - ROOF DECK

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	5	DIANELLA CAERULEA 'VARIEGATA' VARIEGATED FLAX LILY	5 GAL
	18	DRACAENA TRIFASCIATA SNAKE PLANT	5 GAL
	1	FICUS LYRATA FIDDLE LEAF FIG	5 GAL
	2	LEUCOSPERMUM CORDIFOLIUM 'CALIFORNIA SUNSHINE' CALIFORNIA SUNSHINE PINCUSHION	5 GAL
	18	LOMANDRA CONFERTIFOLIA RUBIGINOSA 'SEASCAPE' SEASCAPE MAT RUSH	5 GAL
	3	MONSTERA DELICIOSA SPLIT-LEAF PHILODENDRON	5 GAL
	7	PITIOSPORUM TENUIFOLIUM 'SILVER SHEEN' SILVER SHEEN TAWHIHI	5 GAL
	16	SEDUM MORGANIANUM BURRO'S TAIL	5 GAL
	4	STRELITZIA REGINAE 'DWARF' DWARF BIRD OF PARADISE	5 GAL



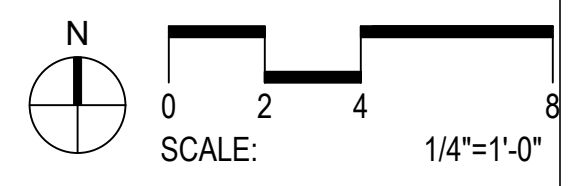
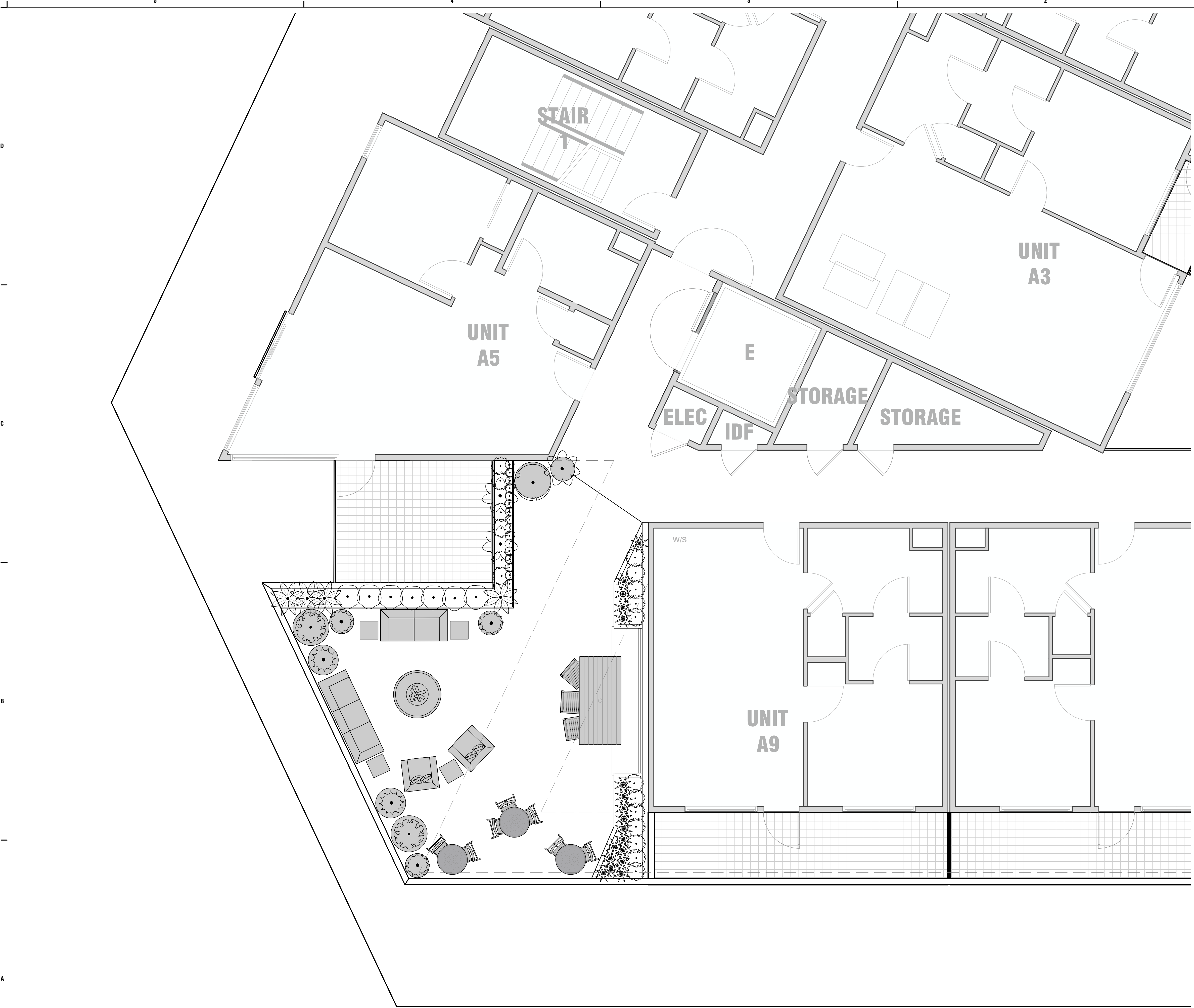
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PLANTING PLAN ROOF DECK

L-4.02





GROUND FLOOR ENTRY PLAZA



GROUND FLOOR ENTRY PLAZA



GROUND FLOOR ENTRY PLAZA

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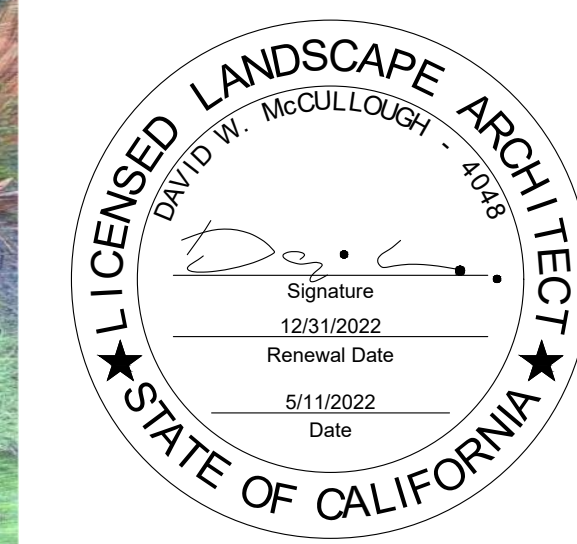
2ND FLOOR COURTYARD



2ND FLOOR COURTYARD



2ND FLOOR COURTYARD



TOP FLOOR AMENITY DECK



TOP FLOOR AMENITY DECK



TOP FLOOR AMENITY DECK

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Issue Date: 03/21/2022
Project Number: 22127

RENDER VIEWS

L-5.00

WM1



SHOP NOW >

Project Name:

Type:

Quantity:

FIXTURE SPECIFICATIONS

INTENDED USE

Featuring a modern design, this aluminum frame fixture with a clear seeded glass shade offers a color select switch capable of switching from 3K/4K/5K temperatures. Our clear seeded glass outdoor wall sconce features a 500 Lumen output suitable for residential and commercial spaces such as entry ways, stairwells, garages, patios and more.

DIMENSIONS

Medium: L 13 3/4" x W 4 3/4" x H 2 1/2"

Large: L 18" x W 4 3/4" x H 2 1/2"

FEATURES

Construction: Aluminum Frame

Lens: Clear Seeded Glass

Finish: Black

Beam Spread: 180° beam angle

Color Temperature Switch: Capable of switching color temperatures from 3000K 4000K 5000K

CRI: 80

Voltage: 120V

Wattage: 11.5 W

Lumen: 500L

Driver: TRIAC dimming from 100% to 10%

CRI: 80 CRI

Life: 50,000 Hours

Operating Temperature: -4°F to 122°F

Listings: cULus certified, Suitable for Wet Location

Warranty: 5 Years Carefree for Parts & Components (Labor Not Included)



Alcon 11247 Architectural Outdoor LED Clear Seeded Lens Wall Sconce

ORDERING INFORMATION Example: (11247-13)

Model	Length
11247	M 13" Tall L 18" Tall



WM2

Lightology

Pitch Single Outdoor Wall Sconce

ITEM NUMBER

TLG345586



BRAND

Tech Lighting

DESCRIPTION

Pitch Single Outdoor Wall Sconce features modern architectural design and significant light output making this LED wall fixture suitable for both indoor and outdoor applications. A die-cast metal body in Black, Silver, Bronze or Charcoal finish with frosted acrylic lens. Includes 26.1 watt LED module, 2700K or 3000K color temperature, 80CRI, 823 net lumens. ADA compliant. ETL listed. Title 24. IP65 for wet locations. Can be mounted for up lighting or down lighting.



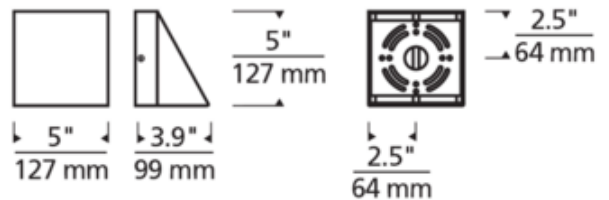
Shown in: Black

SHADE COLOR	N/A
BODY FINISH	Black
WATTAGE	26.1W
DIMMER	Low Voltage Electronic
DIMENSIONS	5"W x 5"H x 3.9"D
LAMP	1 x LED/26.1W/120V LED

Technical Information

LUMINOUS FLUX	823 lumens
LUMENS/WATT	31.53
LAMP COLOR	3000 K
COLOR RENDERING	80 CRI

ITEM NUMBER TLG345586



COMPANY	PROJECT	FIXTURE TYPE	APPROVED BY	DATE

WM3

Project Name: _____ Type: _____ Quantity: _____

VE 11240 Zen Architectural LED 4 Inch Round Cylinder Wall Mount Light Fixture

FIXTURE SPECIFICATIONS

INTENDED USE

The specification grade **Zen Architectural LED 4 Inch Round Cylinder Wall Mount Light Fixture** delivers continuous clean lines and clear wall light to commercial, hospitality and residential exterior wall lighting applications. Our slim profiles and stylish modern wall sconces offer excellent direct and indirect lighting, exceptional performance, and versatility for outdoor structural lighting applications.

PRODUCT FAMILY

SHORT | Dia \varnothing 4" x H 8" x W 5-3/4"

TALL | Dia \varnothing 4" x H 12" x W 5-3/4"

FEATURES

Construction: Die-cast Aluminum

Color Temperature Switching: Capable of switching from 3 color temperatures: 3000K/4000K/5000K

Voltage: 120V AC

Dimming: TRIAC

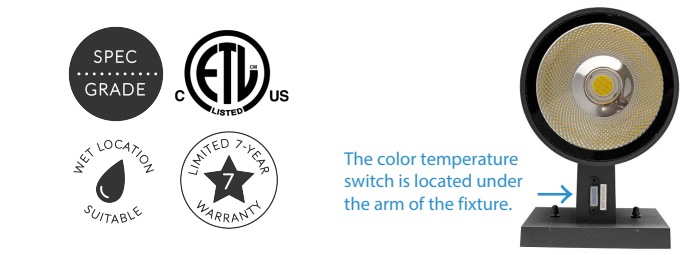
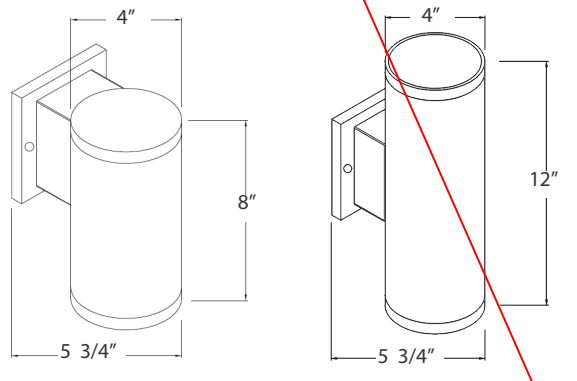
Beam Spread: 45° Flood

CRI: 80

Maximum Ambient Temperature: -68°F to 104°F

Warranty: 7 Years Carefree for Parts & Components (Labor Not Included)

Listings: cETLus Listed, Suitable for Wet Locations, IP44



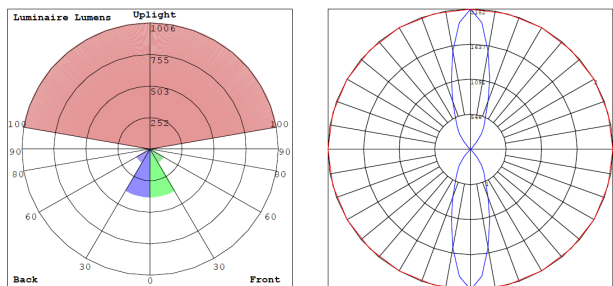
The color temperature switch is located under the arm of the fixture.



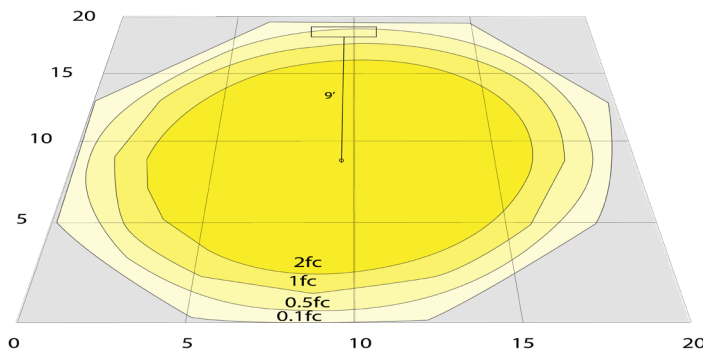
ORDERING INFORMATION Example: (11240-1-BK)

Model	Size Light Direction Wattage Lumens	Finish
11240	1 Short Down Light Only 15W 1200lm	BK Black
Zen	2 Tall Up and Down Light 30W 2400lm	WH White
		BR Bronze
		BN Brushed Nickel

Photometrics: 11240-1 (Downlight)

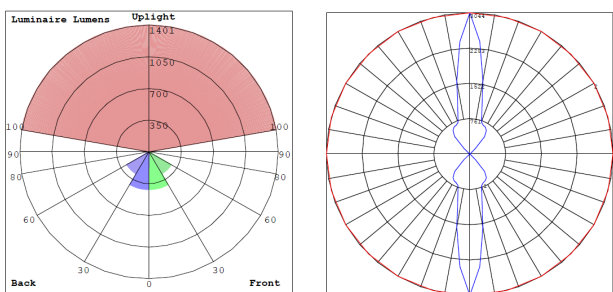


BUG Rating: B1-U5-G0

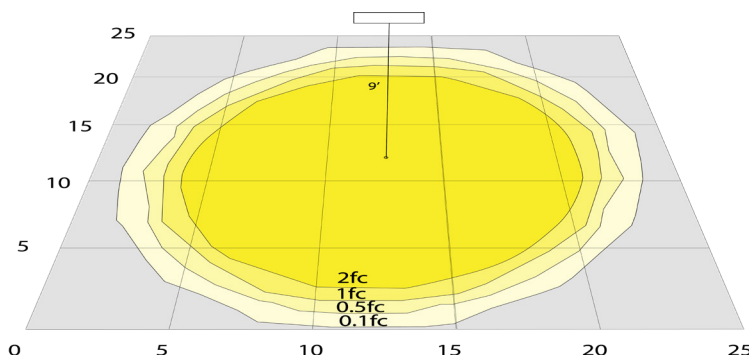


15W 5000K, Area 20'x 20' Mounting Height: 9'

Photometrics: 11240-2 (Up & Down Light)



BUG Rating: B1-U5-G0



30W 5000K Area 25'x 25' Mounting Height: 9'

COLOR TEMPERATURE GUIDE

2700K	3000K	3500K	4000K	5000K
WARM WHITE	SOFT WHITE GLOW	NEUTRAL GLOW	COOL WHITE GLOW	DAYLIGHT GLOW
friendly personal intimate	soft warm pleasing	sociable inviting non-threatening	neat clean efficient	bright cool alert
HOMES LIBRARIES RESTAURANTS	HOMES HOTEL ROOMS LOBBIES RETAIL STORES	EXECUTIVE OFFICES RECEPTION AREAS SUPERMARKETS	OFFICES CLASSROOMS MASS MERCHANDISERS SHOWROOMS	GRAPHICS INDUSTRY HOSPITALS GALLERIES BEAUTY SALONS
X	✓	X	✓	✓

STUCCO COLORS



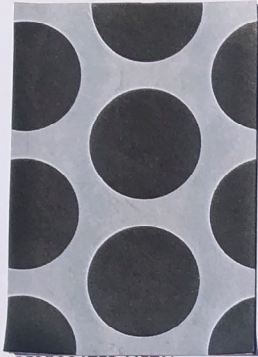
MANUF: DUNN EDWARDS
COLOR: DOLPHIN TALES



MANUF: DUNN EDWARDS
COLOR: SOUR APPLE



MANUF: DUNN EDWARDS
COLOR: ECOLOGICAL



PERFORATED METAL
MANUF: MCNICHOLS
COLOR: 1" ROUND STAINLESS STEEL



STUCCO
MANUF: LA HABRA
FINISH: 20/30 SAND FINISH



METAL SIDING
MANUF: BRIDGERSTEEL
COLOR: HEMLOCK GREEN



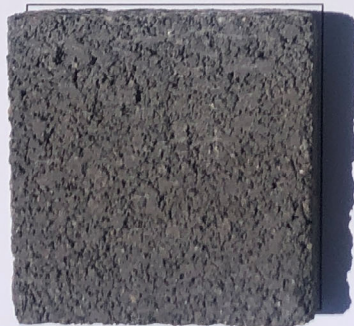
STOREFRONT
MANUF: MILGARD
COLOR: DARK BRONZE



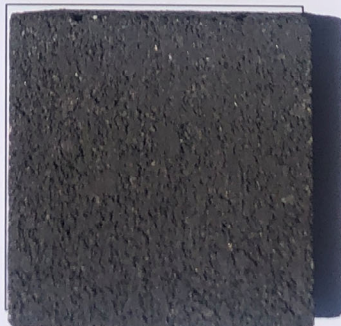
WOOD SIDING / SOFFIT
MANUF: ALUMABOARD
COLOR: AMBER BAMBOO



MANUF: RCP
COLOR: NATURAL PUMICE



MANUF: RCP
COLOR: CHARCOAL



MANUF: RCP
COLOR: ONYX



FIBER CEMENT BOARD
MANUF: JAMES HARDIE
COLOR: TERRA COTA

Carolina Series

#760 MILKY WAY



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