

Application for a Conditional Use Permit, (CUP) for a Medical Marijuana Dispensary.

Scope of work to include:

- 1) Remove existing residential unit and driveway
- 2) New 2122 sf. Medical Marijuana Dispensary and retail space
- 3) New 8 lot parking area at upper level
- 4) New elevator, mechanical and trash areas
- 5) New Landscaping

Hours of Operations: 7:00 AM to 9:00 PM, seven days a week

No proposed deviations to building code

Discussion and directions for landowners at 2nd meeting

and a reference to the literature.

BUILDING AREA: 2122 SF

REQUIRED PARKING: 1 / 250

$$2122 / 250 = 8 \text{ SPACES}$$

SPACES PROVIDED = 8 SPACES

PROJECT ADDRESS: 7901 HILLSIDE DRIVE, LA MESA, CALIFORNIA
APPLICANT: WILL SENN (619) 346-0587
LEGAL LOT: LOT 4 OF EVENTIDE, PER MAP 1781. IN THE CITY OF LA
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA. FILED IN THE OFFICE
OF THE COUNTY RECORDER, FEBRUARY 20, 1924.

APN: 470-200-27

OWNER: 7901 HILLSIDE LLC

CONSTRUCTION TYPE: V-B

OCCUPANCY CLASSIFICATION: M

ZONE: C-D-MU

LOT SITE AREA: 5,617 sq ft. 0.129 Ac.

LOT DIMENSIONS: 49.25' x 114.12'

FLOOD AREA (DUPLICATE): 3 123 -- 6

LOOK AREA (BUILDING): 2,122 sq ft

PROPOSED USE: M (Retail/Commercial)

Medical Marijuana Dis

A1	SITE PLAN / ROOF PLAN
A2	MEDICAL MARIJUANA DISPENSARY NOTES
A3.1	LOWER LEVEL FLOOR PLAN
A3.2	UPPER LEVEL FLOOR PLAN
A4	DEMOLITION PLAN / SECURITY FLOOR PLAN / BUILDING CODE
A5.1	EXTERIOR ELEVATIONS
A5.2	PROPOSED ELEVATIONS COLORS
A6	SECTIONS AND TRASH ENCLOSURE PLANS
A7	EXTERIOR COLOR RENDERS
A8	SITE PHOTOS
E1	ELECTRICAL NOTES
E2	SITE PARKING REFLECTIVE CEILING PLAN
E3	LANDSCAPE PLAN
C1	CIVIL EXISTING TOPO
C2	CIVIL GRADING
C3	CONCEPTUAL PERMANENT BMP PLAN

This CIP is subject to all requirements specified under MMCC 24.23

 FINE HYDRANT[illegible]
$$\frac{3/16'' = 1'-0''}{1'-0''}$$

- I. All commercial medical marijuana facilities shall receive a State license within 6 months of the State issuance permit.
- II. Revocation of a permittee's State license shall result in immediate revocation of the permittee's City of La Mesa license.
- III. The site shall be alarmed with a centrally monitored fire and burglar alarm system and monitored by an alarm company licensed by the State of California, per CCR Title 25, Chapter 6, Section 7590.
- IV. At all times the medical marijuana facility is open, the facility shall provide at least one security guard who is licensed, possesses a valid Department of Consumer Affairs "security guard card" and has a valid City of La Mesa Business License.
- V. All commercial medical marijuana facilities shall maintain a minimum of 600 feet radial separation from schools, day care centers, and public safety code 11302.16 (the Path of Travel) separation from sensitive uses is an independent measure).
- VI. Lighting at commercial medical marijuana facilities shall remain illuminated at all times between sunset and sunrise with sufficient intensity to illuminate every portion of the premises including but not limited to parking, any accessory uses and adjoining walkways.
- VII. All records shall be maintained as required at all commercial marijuana facilities and digital storage shall be maintained in accordance with the following:
 - a. All records shall be maintained for a minimum of 90 days after recording. Further, that in the cloud or other off-site method of recordings shall be available for any individual being recorded; that the recording shall be of a sufficient quality to provide identification of any individual being recorded; that the surveillance camera covers every interior area and room and adjacent perimeter areas within a minimum of 50 feet and that the City of La Mesa Police Department or other City authorized department shall have 24-hour remote access to all recordings.
 - b. No consumption of any cannabis product shall be allowed on any of the facility's premises.
 - c. All products shall be tracked, tested, sealed and labeled at a minimum by State MedAlert. Cannabis Regulation Act 2017, Section 26100.
 - d. As it may be produced, that can be ingested by eating or drinking shall have a warning label or sign advising them to not consume.
 - e. All cannabis products that can be ingested by eating or drinking shall have a warning label or sign advising them to not consume.
- VIII. A licensee shall keep accurate records of commercial cannabis activity.
- IX. All records related to all commercial cannabis activity shall be maintained for a minimum of seven years.
- X. The City or its designee may examine the records of licensees and inspect the premises of any licensee as the licensing authority may be authorized by law. The City or its designee shall have access to any licensed facility's records, including but not limited to, all records of sales, purchases, transfers, inventory, and other records supplied during any normal business hours or at any other reasonable time. Licensees shall provide and deliver records to the licensing authority upon request (Business and Professions Code 19272(c)).
- XI. Authorized regulatory staff shall be allowed access to the premises in accordance with State law (Business and Professions Code 19511 (c); 19527 (c)).
- XII. The City or its designee shall maintain a current listing of the names of all City employees currently employed by the City and shall disclose such information for any City officer or authorized official for purposes of determining compliance with local and state medical marijuana employment

31. The project shall implement and maintain CPTED principles as illustrated on Exhibit "A" or as required by any Conditional Use Permit.
32. Any activities associated with the business shall be conducted indoors.
33. All new rotary mechanical equipment shall be screened from view from the street and adjacent properties.
34. A building permit application shall be submitted to the building department for review and if a change in use occupancy load is required. The construction shall be completed in compliance with an approved building permit.
35. Business operations shall not commence unless all required approvals, inspections and licenses have been obtained.
36. Site landscape shall be consistent with the Water Conservation Ordinance and Landscape requirements of the underlying zone.
37. The applicant shall maintain the project in good condition and repair. Maintenance of the property and the responsibility for such maintenance shall be that of the owner of record and/or the occupant, separately or jointly, and either or both may be cited for any violation on the building side.
38. All yards and other open spaces around buildings shall be kept free of waste, litter, junk, or storage of any material; provided, where outside storage is a permitted use or is a nonconforming use, such storage shall be done in an orderly manner. Packing boxes, lumber, dirt and other debris accumulated in vestibules, doorways or the adjoining sidewalks or outside commercial buildings and visible from public or private streets shall be prohibited.
39. All approved landscaped areas shall be properly maintained by regular watering, mowing, pruning, fertilizing, clearing of weeds and debris, the removal and replacement of dead or diseased plants and trees, and the repair and replacement of damaged landscape elements, such as trees, shrubs, plants, and lawn.
40. All driveways and parking areas shall be graded, hard surfaced, and maintained in accordance with standards established by the City Council resolution.
41. All fences and structures shall be kept in good condition. All building materials and architectural features shall be kept in good condition, both structurally and aesthetically. Awnings and other features constructed of materials subject to weathering and deterioration shall be replaced when they are worn, faded, excessively stained, or otherwise in poor condition. All building and exterior finishes and architectural features shall be maintained to avoid the appearance of deterioration or disaster from excessive weathering, paint chipping or peeling, excessive cracks, broken windows or doors, or other conditions that represent lack of proper property maintenance.
42. Attractive nuisances dangerous to children, including but not limited to abandoned and broken equipment, iceboxes, refrigerators, and unprotected and/or hazardous pools, ponds and excavations are prohibited.
43. The following requirements shall be accomplished at no cost to the City in connection with development (see exception LMMC2.14.06.04BHLA & B):
44. If the building site has frontage on a public street which is substantially with respect to either width or improvements as prescribed in the Street Standards Resolution or General Plan, then land needed for widening of such said substantially street shall be granted to the city and needed street improvements specified in such resolution shall be made to the satisfaction of the city engineer. Such improvement shall include but is not limited to: repaving of the street right-of-way by grading, resurfacing or other methods; construction of retaining walls; and other improvements as determined by the city engineer to be necessary, together with the preparation of engineering plans for all improvements.
45. All public utility services shall be underground.
46. Fire access, fire hydrants, water service, and other fire protection facilities shall be provided in accordance with current L.A. Mesa fire standards.
47. All fire access, fire hydrants, water service, and other fire protection facilities shall be provided in accordance with current L.A. Mesa fire standards.
48. On-site and off-site drainage shall be provided for to the satisfaction of the city engineer.
49. Payment for the Maintenance Report shall be submitted to the City no later than 60 days in advance of the required annual Maintenance Report due date. The annual Maintenance Report due date is the anniversary date of the effective date of the Conditional Use Permit.
50. The business shall be subject to future local taxes. If a local tax is implemented, a payment schedule may be established.
51. Fees are non-refundable and shall be consistent with the Fee Schedule. The Fee Schedule is updated on an annual basis.
52. All points of ingress, egress and parking shall comply with ADA regulations. Additional requirements may apply based on the existing conditions and proposed improvements.
53. The site and business shall conform to the approved Conditional Use Permit and associated Exhibit "A" and approved building plans for any tenant improvements including any changes to electrical, plumbing or mechanical systems prior to conducting business.
54. All signs shall be maintained in good condition and shall be replaced as necessary by a primary caregiver or a licensed attendant (signage) or a licensed sign contractor.
55. At least two (2) employees shall be on the premises during business hours.
56. A copy of the Medical Marijuana Dispensary Permit/License shall be displayed inside the facility in a place visible to the public.
57. Any entrance to the dispensing area and any storage areas including restrooms shall be locked at all times and under the control of the dispensary employees with current and valid employee permits.
58. No consumption of food allowed.
59. No sales or consumption of any alcohol or tobacco products allowed on premises.
60. Logos visible to the public are prohibited.
61. The maximum size of outdoor signage visible to the public and shall conform to LMMC Title 15 in addition to the restrictions on this ordinance.
62. Signs may be illuminated subject to obtaining a Building Permit.
63. The dispensary shall post and maintain professional quality sign consistent with LMMC Title 15 and Chapter 24.23 facing the parking lot(s) that read "No loitering, no littering, no littering violations subject to arrest" in English and Spanish.
64. The operation of the business shall comply with State e-Licensing outlined in California Business and Professions Code Division 4, Chapter 3.5 as amended and any other applicable laws or regulations.
65. The dispensary are prohibited from advertising the dispensary's services in any way that is not limited to packaging standards and requirements, such as retail sales purposes only.
66. Approval of the Conditional Use Permit is for a five (5) year term.
67. Performance entertainment as defined by the Code of Section 24.100.1 is prohibited.
68. Provide proof of a bond to cover the costs of destruction of medical cannabis or medical cannabis products if a dispensary is a violator of licensing requirements pursuant to applicable law.
69. Dispensaries shall comply with the most recent adopted California Fire Codes and Standards.

Dispensaries
Dispensaries shall be permitted with a Conditional Use Permit in General Commercial (C), Light Industrial and Commercial Services (CM) and Industrial Services and Manufacturing (M) zones subject to the following restrictions and regulations.

- Dispensaries**
- Dispensaries shall be permitted with a Conditional Use Permit in General Commercial (C), Light Industrial and Commercial Service (CM) and Industrial Services and Manufacturing (M) zones subject to the following restrictions and regulations.
- a) Dispensaries shall maintain the following minimum separation between sites, as measured by path of travel:
- 1) 1,000 feet from City designated licensed childcare centers, playgrounds, minor-oriented facilities, other dispensaries, or schools. For purposes of this section, school means any public or private institution of learning providing instruction in kindergarten or grades 1 to 12, inclusive, but does not include any private school in which education is primarily conducted in private homes;
- b) Consultations by medical professionals shall not be permitted at a dispensary.
- c) Lighting shall be provided to illuminate the interior of the dispensary, reduce, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be installed or oriented so as to deflect light away from the street and be shielded at the dispensary which include eyerole cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours.
 - d) Signs shall be posted on the outside of the dispensary and shall only contain the name of the business, limited to two colors.
 - e) The name and emergency contact phone number of an operator or manager shall be posted in a location from outside of the dispensary in character size at least two feet in height.
 - f) The dispensary shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.
 - g) The use of vending machines which allow access to medical marijuana except by a responsible person, is prohibited for the purpose of this Section. A vending machine is any device which allows access to medical marijuana without a human intermediary.
 - h) Applicants for Conditional Use Permit for cannabis manufacturing must provide written proof that the building owner and management conduct cannabis manufacturing activity on the premises.
 - i) A Conditional Use Permit for a dispensary site shall expire no later than five (5) years from the date of issuance.
 - j) The City may charge a reasonable fee for application for a Conditional Use Permit for a dispensary site, as well as a reasonable amount for maintaining the dispensary. See Conditional Use Permit. Such fees shall be established by the City planning department.
 - k) A Conditional Use Permit for a dispensary site may be revoked or suspended due to legitimate licensing complaints, noise complaints, upon City confirmation of the smell or loitering nuisances, or non-compliance with the Conditional Use Permit, or noncompliance with other applicable state or local regulation. The licensee shall have a reasonable opportunity and time to cure the compliance or possible non-compliance as defined in this section before being subject to revocation or suspension.
 - l) The applicant must meet any additional standard criteria and fulfill any additional standard requirements typically associated with the Conditional Use Permit process. The applicant shall submit an application at a reasonable price and at the same level of review equivalent to other land use projects requiring a conditional use permit.
 - m) Rules, regulations and local permitting requirements imposed on a Dispensary by the City shall conform to the State licensing requirements for a Dispensary, as set forth by the California Business and Professions Code, Division 8, Section 2.5.

ADA NOTES

THE PROJECT WILL COMPLY WITH ALL APPLICABLE DISABLED ACCESSIBILITY REGULATIONS AS CONTAINED IN CHAPTERS 11B, TITLE 24 CALIFORNIA BUILDING CODE

- 1 EMERGENCY EXIT ONLY - ALARMED GATE
- 2 ACCESSIBLE ELEVATOR
- 3 3'-0" ACCESSIBLE DOOR
- 4 ACCESSIBLE COUNTER AT CHECK IN
- 5 ACCESSIBLE COUNTER AT DISPENSARY
- 6 ACCESSIBLE RESTROOMS

POLICE NOTES

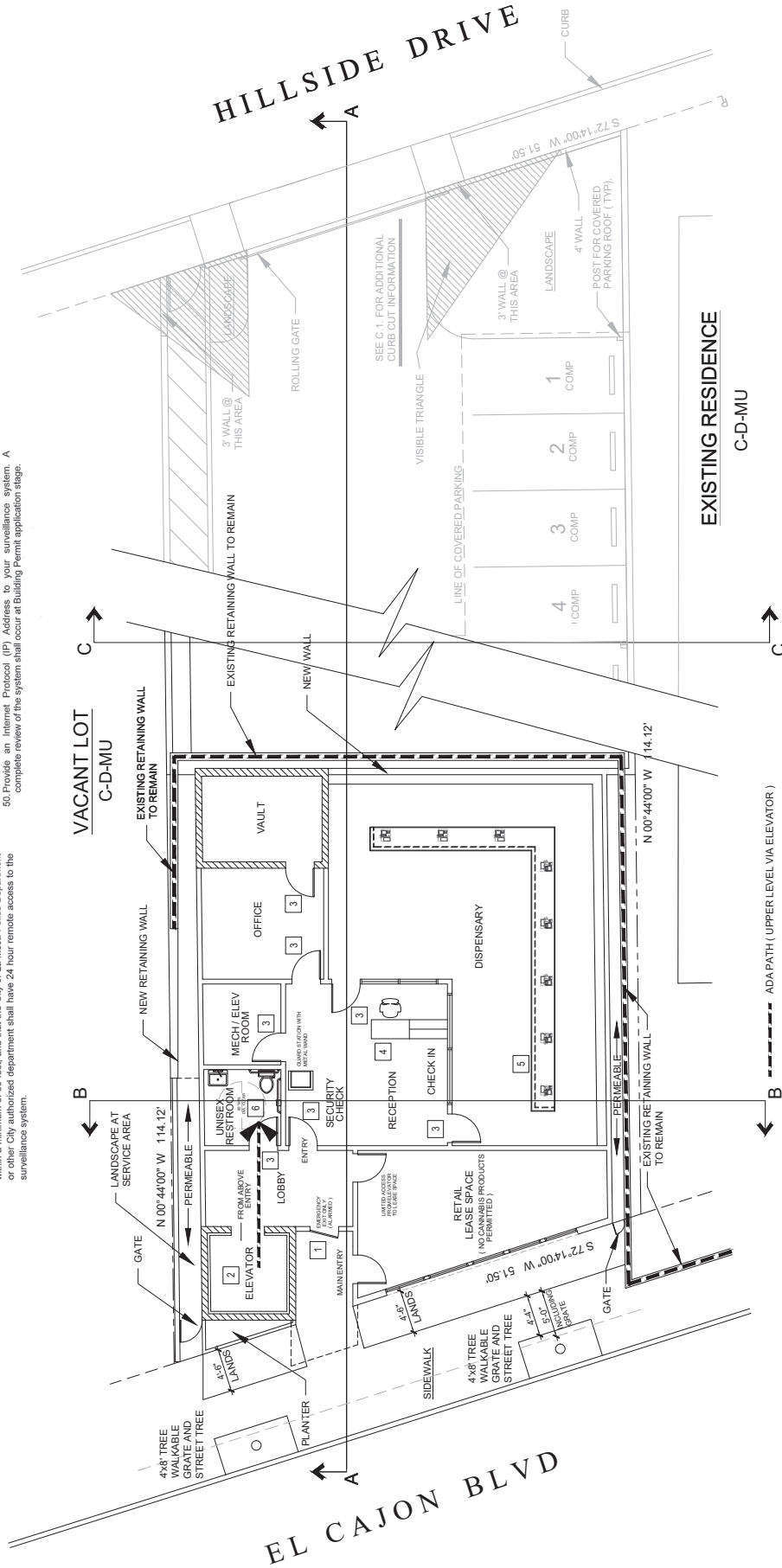
44. Revise the plans to clearly include a description and detailed schematic of the overall facility security. Identify with illustration and notes the proposed security measures to be implemented, including, but not limited to:
- a. Alarm System: Provide a valid alarm Company Operator License.
 - b. The site shall be alarmed with centrally monitored fire and burglary alarm system and monitored by an alarm company licensed by the State of California (B & P Code 7590 et seq.)
 - c. Operable Cameras: Illustrate on the plans the locations where cameras will be placed around the building.
 - d. Show and note on the floor plan that a surveillance camera shall be placed at face level to capture recording of every individual coming and going from the business for identification purposes.
 - e. Show and note on the floor plan that a surveillance camera shall be placed at face level to capture recording of every individual coming and going from the business for identification purposes.
 - f. Add a note that states that "24-hour fixed camera video surveillance shall be available for 90 days after recording. The recording shall be of a sufficient quality to provide identification of any individual being recorded; that the surveillance covers every interior area and room and adjacent perimeter area within a minimum of 50 feet; and that the City of La Mesa Police Department or other City authorized department shall have 24 hour remote access to the surveillance system."

45. Site Lighting
- The property shall be well lit at night to prevent tollering and eliminate hiding places. Lighting should be consistent to reduce contrast between shadows and illuminated areas.
46. Building lighting shall:
- a. illuminate building numbers
 - b. illuminate building accesses
 - c. illuminate front and back areas
47. Parking area shall be well lit with uniformity throughout the property.
48. Landscape design and maintenance shall implement applicable CPTED principles. A note shall be added to the landscape plan that states:
- a. Trees shall be at least 8 feet above the ground and bushes shall be trimmed to less than 3 feet to allow for natural surveillance of the property.
 - b. Landscape shall not obstruct the view of any windows, doorway, security cameras and light.
49. Provide evidence of a California State Licensed Security Guard contracted for the business.
50. Provide an Internet Protocol (IP) Address to your surveillance system. A complete review of the system shall occur at Building Permit application stage.

FIRE NOTES

37. Dispensaries shall comply with the most recent adopted California Fire Codes
38. A fire inspection is required prior to a certificate of occupancy or business license being issued. The applicant shall ensure the dispensary is set up and ready for operation prior to the fire inspection.
39. The applicant shall provide a letter indicating any hazardous materials to be used or stored on site for the dispensary. This does not include normal business cleaning materials, however, they must be in a limited quantity.
40. The applicant shall provide a letter detailing the security provisions for the

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LOWER LEVEL FLOOR PLAN / ADA

3/16" = 1'-0"

C-D-MU

EXISTING RESIDENCE

ADA PATH (UPPER LEVEL VIA ELEVATOR)



REVISIONS

NO.	DESCRIPTION	DATE

PROJECT: La Mesa
DATE: 10-10-19
DRAWN: LUSTREZ
SHEET NUMBER: 1
TOTAL SHEETS: 1
A3.1
FLOOR PLANS

SEAL
HARRISON
BERNET
ARCHITECTS
EXP. 5/2/81
STATE OF CALIF.

URBN LEAF LA MESA INC.
7901 HILLSIDE DRIVE MMD
MEDICAL MARJUANNA DISPENSARY
APPLICANT: WILLIE SENN 619-346-0567

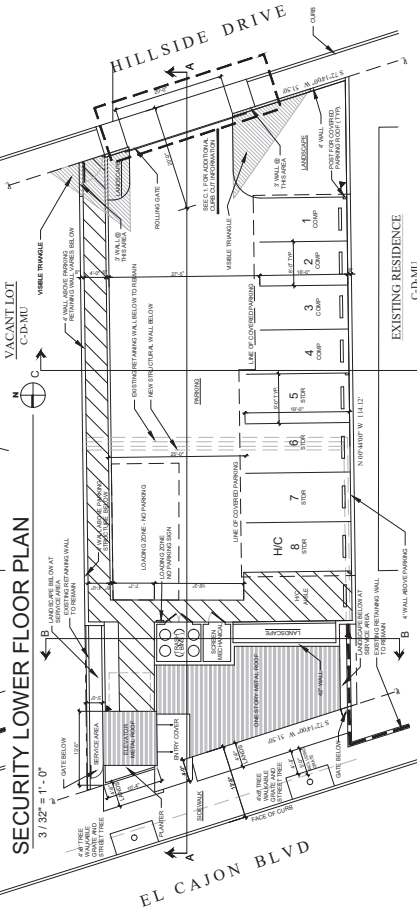
2031 Second Ave., San Diego, CA 92101 619/237-9433 fax 619/237-9499
A Professional Corporation
Scott Bernert Architects

SECURITY NOTES:

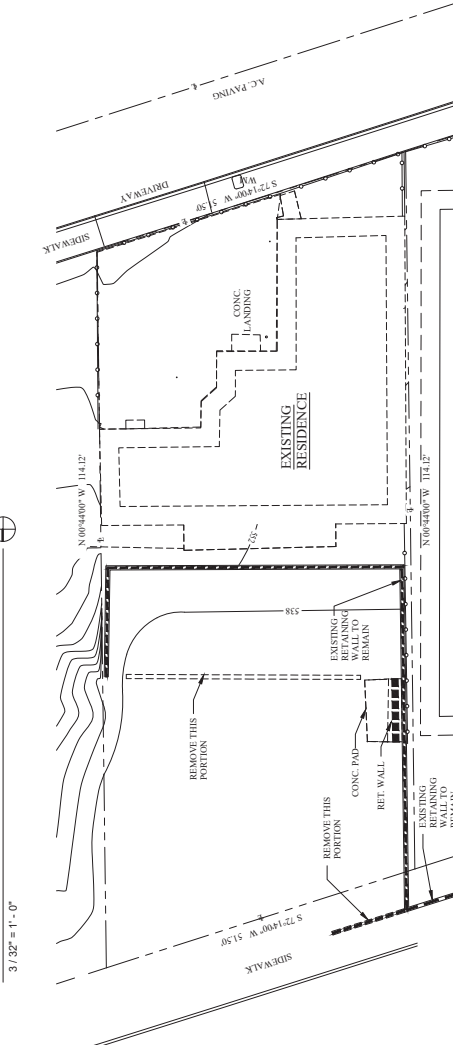
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C) Operable Cameras: Illustrate on the plans the locations where cameras will be placed around the building.
D) and E) Show and note on the floor plan that a surveillance camera shall be placed at face level to capture recording of every individual coming and going from the business for identification purposes.
F) 24-hour fixed camera video surveillance shall be available for 90 days after recording. The recording shall be of a sufficient quality to provide identification of any individual being recorded, that the surveillance covers the entire perimeter of the building, including the parking area, a minimum of 50 feet, and the City of La Mesa Police Department or other City authorized department shall have 24 hour remote access to the surveillance system.

1 SURVEILLANCE CAMERA PLACED AT FACE LEVEL TO CAPTURE ALL INDIVIDUALS COMING AND GOING

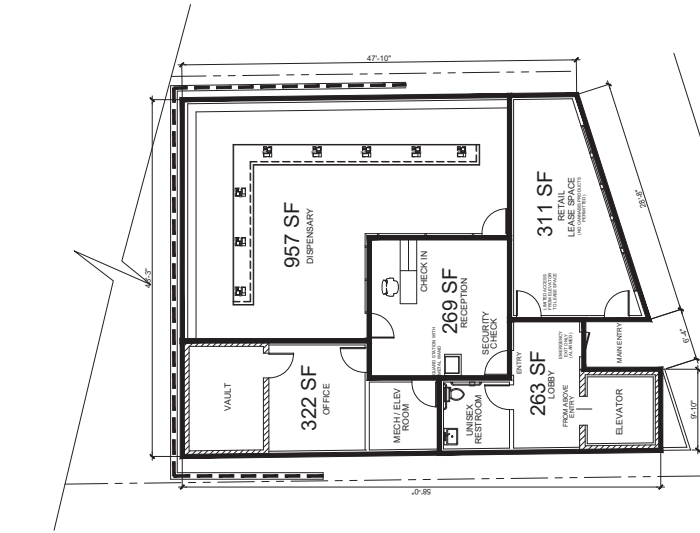
SECURITY LOWER FLOOR PLAN



SECURITY UPPER FLOOR PLAN



DEMOLITION FLOOR PLAN



EL CAJON BLVD

GROSS FLOOR AREA ANALYSIS

NTS

BUILDING CODE DATA

ZONE C-D-MU
BUILDING TYPE VB
ALLOWED AREA 9,000 SF
AREA OF BUILDING 2,122 SF
OCCUPANCY B-1
SETBACKS PERMITTED 0' @ BUILDING SEPARATION B-M NONE REQUIRED

PROPOSED: FRONT 0' SIDE 5' REAR 5'

EXISTING ANALYSIS

BUILDING: PROPOSED MEDICAL MARIJUANA DISPENSARY AND RETAIL SPACE
M USE 1537 SF / 60 = 26 OCCUPANTS
B USE 885 SF / 100 = 6 OCCUPANTS
TOTAL = 32 OCCUPANTS

REQUIRED EXIT LESS THAN 50 OCCUPANTS = 1 EXIT
EXITS PROVIDED = 1 EXIT

BUILDING CODE: EXITING AND OCCUPANCY

NTS

SCOTT BERNET ARCHITECTS
2031 Second Ave., San Diego, CA 92101 619.237.4433 fax 619.237.4498

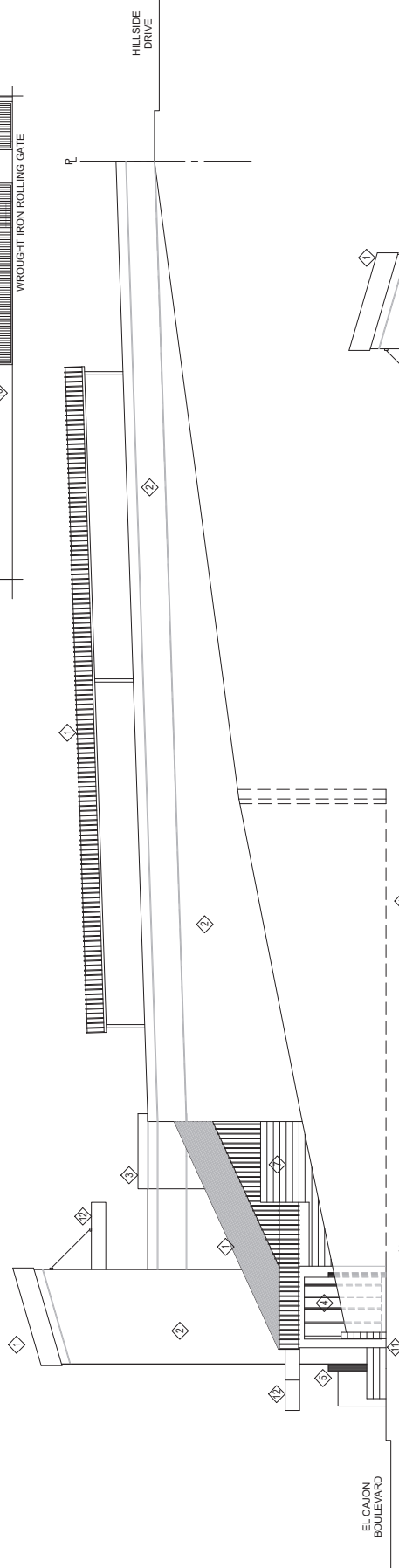
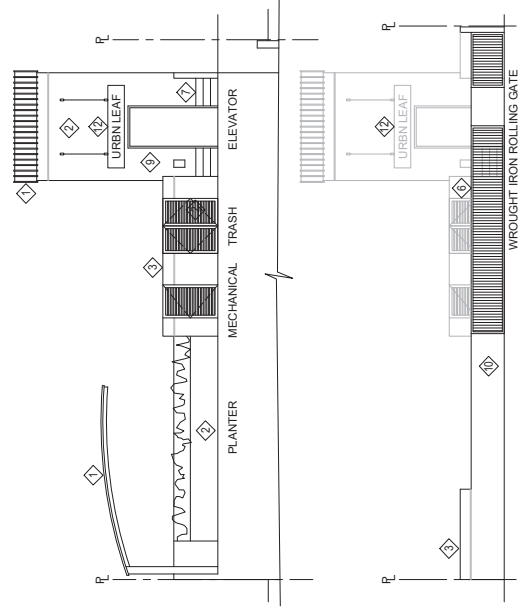
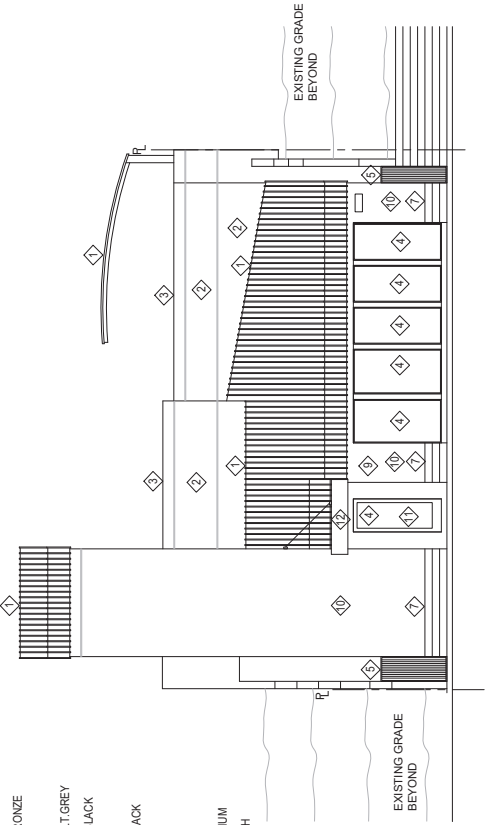
URBN LEAF LA MESA INC.
7901 HILLSIDE DRIVE MMD
MEDICAL MARIJUANA DISPENSARY
APPLICANT: WILLIE SENN 619-346-0567

REVISIONS

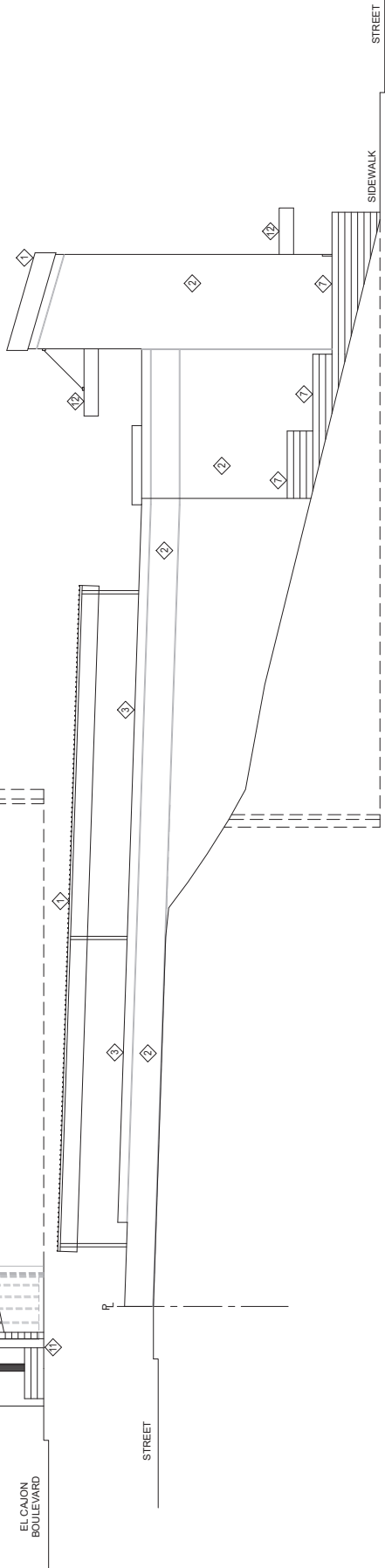
SEAL
HARRISON
BERNET
ARCHITECTS
STATE OF CALIFORNIA
EXPIRES 03/31

PROJECT: LA MESA
DATE: 10-10-19
DRAWN: LUSHEZ
SHEET NUMBER
A4
BUILDING NEW
FLOOR PLAN

- 1 ROOF STANDING SEAM - MEDIUM BRONZE
- 2 STUCCO - MERLEX P-100 WHITE
- 3 ACCENT STUCCO - MERLEX P-1661 LT GREY
- 4 WINDOW / DOOR FRAMES - MATTE BLACK
- 5 GATES - VISTA BLACK # 56
- 6 WROUGHT IRON ROLLING GATE - BLACK
- 7 SPLIT FACE BLOCK
- 8 EXISTING MASONRY WALL PAINT VISTA WHISPER GRAY # 176
- 9 LIGHT FIXTURES - BRUSHED ALUMINUM
- 10 STUCCO - MERLEX P-100 WHITE WITH ANTI GRAFFITI COATING
- 11 EMERGENCY EXIT ONLY (NO PEDESTRIAN ACCESS)
- 12 ALUMINUM CANOPY



EXTERIOR ELEVATIONS COLORS



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URBN LEAF LA MESA INC.
7901 HILLSIDE DRIVE MMD
MEDICAL MARIJUANA DISPENSARY
APPLICANT : WILLIE SENN 619-946-0567

REVISIONS

SEAL OF THE ARCHITECT
HARRISON
BERNET
NO. 10000
EXP. 5/31/21
STATE OF CALIFORNIA

PROJECT: La Mesa
DATE: 10.10.19
DRAWN: LUSTREZ
SHEET NUMBER:
A5.2
PROPOSED
COLORS

SECTIONS

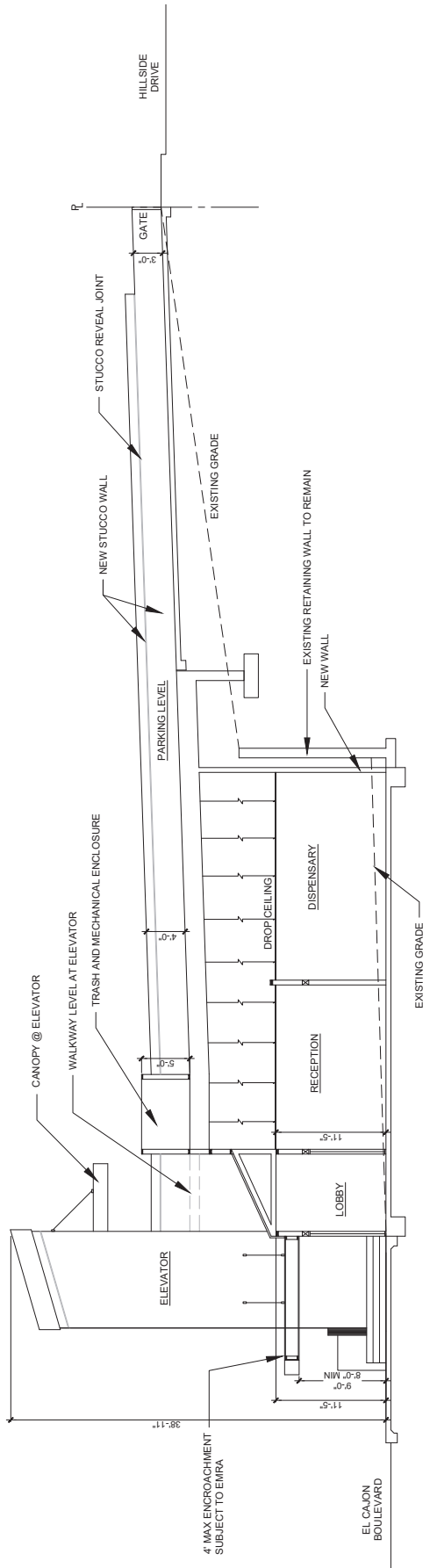
PROJECT: La Mesa
DATE: 10-10-19
DRAWN: LUSTREZ
SHEET NUMBER:
A6
ELEVATIONS



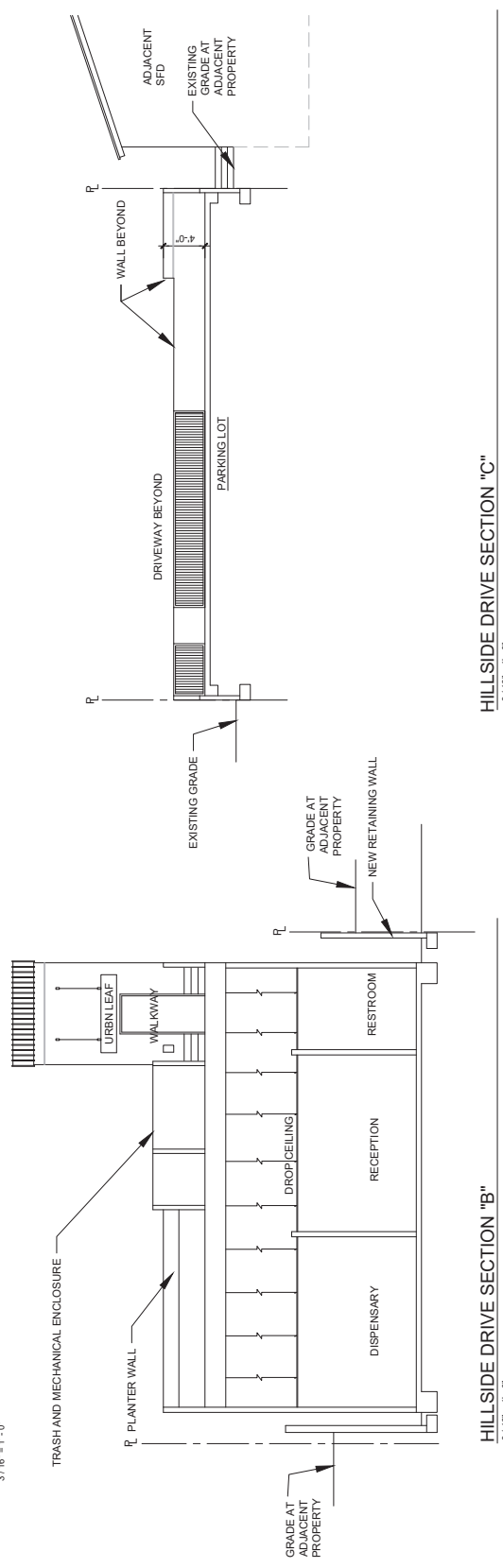
REVISIONS

URBN LEAF LA MESA INC.
7901 HILLSIDE DRIVE MMD
MEDICAL MARIJUANA DISPENSARY
APPLICANT : WILLIE SENN 619-346-0567

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HILLSIDE DRIVE SECTION "A"
3/16" = 1'-0"



HILLSIDE DRIVE SECTION "B"
3/16" = 1'-0"

HILLSIDE DRIVE SECTION "C"
3/16" = 1'-0"

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EXTERIOR COLOR RENDERS

NTS

EXTERIOR COLOR RENDERS

PROJECT: La Mesa

DATE: 10-10-19

DRAWN: LUSTREZ

SHEET NUMBER

A7

RENDERS



REVISIONS									

URBN LEAF LA MESA INC.
7901 HILLSIDE DRIVE MMD
MEDICAL MARIJUANA DISPENSARY
APPLICANT : WILIE SENN 619-346-0567

SCOTT BERNET ARCHITECTS

2031 Second Ave., San Diego, CA 92101 619237-9423 fax 619237-9499

A Professional Corporation



HILL SIDE DRIVE ELEVATION



BIRDS EYE



FRONT ELEVATION FROM EL CAÑON BLVD



ELEVATOR AT PARKING LEVEL



PERSPECTIVE

PROJECT: La Mesa
DATE: 10.10.19
DRAWN: LUIS KEEZ
SHEET NUMBER:
A8
SITE PHOTOS

SEAL OF THE CITY OF VINNIPIT
HARRISON
REGISTERED
PLANNING
NO. C-15770
EXP. 6/30/21

REVISIONS

URBN LEAF LA MESA INC.
7901 HILLSIDE DRIVE MMD
MEDICAL MARIJUANA DISPENSARY
APPLICANT : WILLIE SENN 619-346-0567

Scott Bernet Architects
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SITE PHOTOS

NTS

SITE PHOTOS

HILLSIDE AT GUAVA

HILLSIDE AT SITE LOOKING TOWARD DEAD END

SIDEWALK LOOKING EAST

APARTMENT BUILDING EAST OF SITE ECB

LOOKING WEST AT SITE

SITE

SITE FROM ECB SHOWING EXISTING WALLS

SITE AND ADJACENT HOUSE FROM ECB

DIRECTLY ACROSS ECB

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LUMINAIRE SCHEDULE

GENERAL NOTE:

1. ALL EMERGENCY BATTERY PACKS SHALL BE FURNISHED WITH 90-MIN MINIMUM BACK UP CAPABILITY AND PROVIDE NO LESS THAN 1/3 OF THE FULL LUMEN OUTPUT OF ANY INDIVIDUAL LAMP. TEST SWITCHES TO BE INTEGRAL TO FIXTURE, NOT REMOTE MOUNTED.

SHEET INDEX:	
E1	ELECTRICAL SYMBOLS, LEGEND AND NOTES
E2	SITE PARKING REFLECTIVE CEILING PLAN

GENERAL NOTES:

1. ALL CURRENT CARRYING CONDUCTORS SHALL BE COPPER. INSULATION SHALL BE TYPE THHN/THWN FOR ALL BRANCH CIRCUITS UP TO AND INCLUDING SIZE 2/0 AWG. INSULATION FOR CONDUCTORS OVER SIZE 2/0 AWG SHALL BE XHHW.
2. ALL GROUND CONDUCTORS SHALL BE INSULATED COPPER.
3. ALL CONDUIT SHALL BE EMT (INSTALLED IN INTERIOR CONCEALED SPACES) OR SCHEDULE-40 PVC (INSTALLED UNDERGROUND) UNLESS OTHERWISE NOTED.
4. ALL AMPACITIES ARE BASED UPON TABLE 310.16 OF THE 2013 C.E.C.
5. FEEDER SCHEDULES INDICATE DATA FOR COPPER CONDUCTORS RATED UP TO 600V AT 75 DEGREES CELSIUS.

GENERAL NOTES

- [illegible]

- [illegible]

[illegible]

TYPE	SYMBOL	VOLTS	WATTAGE	LAMPS	FIXTURE DESCRIPTION	MANUFACTURER	CATALOG #
A	□	480V	25	3000K 90CRI	ARCHITECTURAL WALL SCENE LED FIXTURE	LEDVANCE MET LED	LEDVANCE-25-W- 90CRI-WALL
B	□	120	100W	3000K 90CRI	ARCHITECTURAL WALL W/ 4" SQUARE METAL HANGING	LEDVANCE H2B	LEDVANCE-48- H2B-4"SQ-90CRI
C	○	120	15.2	3000K 90CRI	4" LED DOWN LIGHT W/ 4" DIA. CLEAR GLASS W/ 30° BEAM ANGLE REFLECTOR AND SHIMMER FINISH IS USED FOR RECEPTION AREA	LEDVANCE LOLED-124	LEDVANCE-48- LOLED-124-4"SQ-90CRI

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- GENERAL NOTES:**
1. PRIOR TO SUBMITTING SHOP DRAWINGS, VERIFY EXISTING CEILING JOISTS, TRUSSES, AND STRUCTURAL CONDITIONS. PROVIDE CEILING SUPPORT AS REQUIRED BY THE CURRENT APPLIED ISSUE OF THE IBC. PROVIDE CEILING SUPPORT AS REQUIRED BY THE CURRENT APPLIED ISSUE OF THE IBC. PROVIDE CEILING SUPPORT AS REQUIRED BY THE CURRENT APPLIED ISSUE OF THE IBC.
 2. ALL EXISTING BUTTERFLY ROOF FIXTURES SHALL BE PROVIDED WITH A CONSTANT HOT CONNECTION TO THE CHANGING LOG.
 3. COORDINATE WITH THE ARCHITECTURE/CLIENT FOR FIXTURE MOUNTING HEIGHT PRIOR TO INSTALLATION.
 4. PROVIDE SEISMIC FIXTURE SUPPORTS FOR ALL CEILING MOUNTED FIXTURES. SEE DETAILS 5 AND 6 ON SHEET E7-0A.
 5. EXISTING BUTTERFLY ROOF FIXTURES SHALL BE PROVIDED WITH A CONSTANT HOT CONNECTION TO THE CHANGING LOG. PROVIDE SEISMIC FIXTURE SUPPORTS FOR ALL CEILING MOUNTED FIXTURES. SEE DETAILS 5 AND 6 ON SHEET E7-0A.

VACANT LOT C-D-MU

EXISTING RETAINING WALL
TO REMAIN

GATE BELOW

SERVICE AREA

ELEVATOR
METAL ROOF

ENTRY COVER

TRASH

SCREEN
MECHANICAL

LANDSCAPE

ONE STORY METAL ROOF
OF DISPENSARY
BELOW

42" WALL

LANDSCAPE BELOW AT
SERVICE AREA

EXISTING RETAINING WALL
TO REMAIN

4' WALL ABOVE PARKING

EXISTING RESIDENCE
C-D-MU

ARB
Electrical Inc.
Engineering

345 CUMMINGS CA
WWW.ARBELCTRIC.COM

PROJECT: LA MESA

DATE: 04/25/17

DRAWN: ARB

SHEET NUMBER

E2

REFLECTIVE CEILING PLAN

SITE PARKING REFLECTIVE CEILING PLAN

SCALE: 1/8"=1'-0"

1

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A Professional Corporation
2031 Second Ave., San Diego, CA 92101 619/237-9433 fax 619/237-9499



URBN LEAF LA MESA INC.
7901 HILLSIDE DRIVE MMCC
LA MESA, CALIFORNIA
APPLICANT: WILLIE SENN 619-346-0587

REVISIONS
1- SITE LAYOUT - 06/06/20

51.50'

LANDSCAPE

4' WALL

POST FOR COVERED
PARKING ROOF (TYP.)

N 00°44'00" W 114.12'

EXISTING RESIDENCE
C-D-MU

C-D-MU

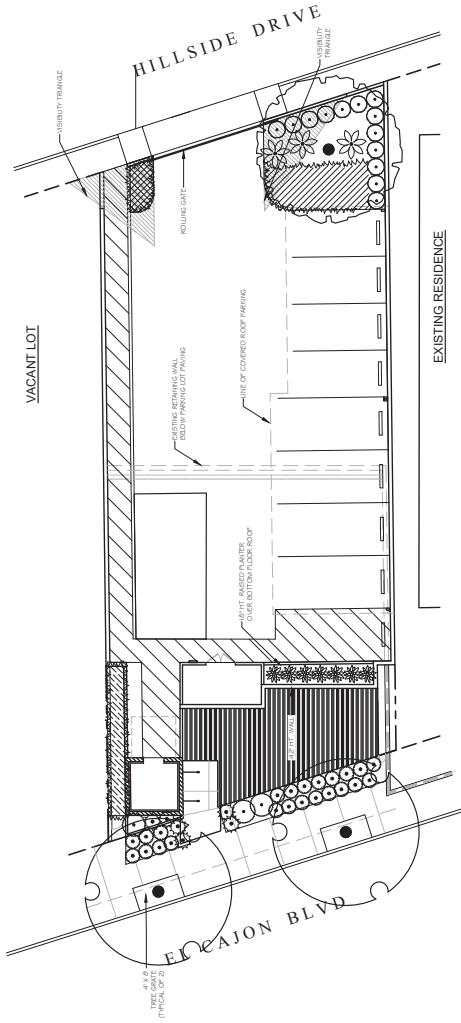
SCALE: 1/8"=1'-0"

1

SITE PARKING REFLECTIVE CEILING PLAN

	<u>BOTANICAL NAME</u>
TREES	

TYPE	BOTANICAL NAME	COMMON NAME	COUNT	QTY
 TREES	KOLBUERIA BIPINNATA	CHERRY PLANE TREE	24"BOX	1
	PODOCARPUS GRACILOR	FERN PINE	24"BOX	2
	BOTANICAL NAME	COMMON NAME	COUNT	QTY
 SHRUBS	AGAVE AMERICANA 'VAREGATA'	VAREGATED CENTURY PLANT	5 GAL	3
	DANIELA REVOLUTA 'LITTLE REV'	LITTLE REV PLANT LILLY	5 GAL	23
	DIERIS BICOLOR	FORNIGHT LILLY	5 GAL	7
 GROUND COVERS	GREVILLEA X 'PEACHES AND CREAM'	GREVILLEA	5 GAL	3
	NAUHEIMERGIA CAPILLARS 'REGAL JUST TM	MULEY	5 GAL	6
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	13
 FLOWERS	BOTANICAL NAME	COMMON NAME	COUNT	SPACING
	HEDERA HELIX	ENGLISH IVY	FLAT	12" o.c.
	LANTANA MONTEVIDEENSIS 'YELLOW'	TRAILING LANTANA	1 GAL	36" o.c.
 HANGING BASKETS	MICROPOLUM FRUTICULUM	TRAILING MICROPOLUM	FLAT	12" o.c.
	34			



Landscape Area:

Total Landscape Area: 791 SF
Quantity of trees required; 1 per 500 SF = 2
Quantity of trees provided: 3

*Landscape Note (Per cycle comment #48):

Landscape design and maintenance shall implement applicable CPTED principles.

- A. Trees shall be at least 8 feet above the ground and bushes shall be trimmed to less than 3 feet to allow for natural surveillance of the property.
- B. Landscape shall not obstruct the view of any windows, doorway, security cameras, and light.

Water Conservation Note:

Water Conservation Note:
This project has been designed to conserve water using low water use plants and will incorporate drip irrigation to maximize water use efficiency. The plant material will require low maintenance. Trees will be irrigated with a separate bubbler system.

All planting areas, excluding slopes over 3:1, will be top dressed with a minimum of 2" depth shredded bark mulch to retain soil moisture.

This plan is consistent with the State of California Model Water Efficient Landscape Ordinance.



HILLSIDE LA MESA CUP

7901 Hillside Drive
La Mesa, CA 91942

DESIGNED BY:	DK/FR
CHECKED BY:	JC
DATE:	8/13/20
REVISION 1:	
REVISION 2:	
REVISION 3:	
REVISION 4:	
REVISION 5:	

CONCEPTUAL GRADING PLAN

SCALE: 1"=10'

C.1

SHEET 1 OF 2

LEGEND

DESCRIPTION	SYMBOL
EXISTING	
PROPERTY LINE (RECORD)	---
PROPERTY LINE (OFFSITE)	---
STREET CENTERLINE	---
CONTOUR	---
SPOT ELEVATION	100.00
BUILDING FOOTPRINT	---
SEWER MAIN	---
SEWER LATERAL	---
FIRE HYDRANT	---
CHAIN LINK FENCE	---
WOOD FENCE	---
CHAIN LINK FENCE	---
FREE STANDING WALL	---
RETAINING WALL	---
TREE PLANT PALM	---
CONCRETE	---
PROPOSED	
PROPERTY LINE (ADJUSTED)	---
CONTOUR	---
SPOT ELEVATION	100.00
BUILDING FOOTPRINT	---
RETAINING WALL	---
6" AREA DRAIN	---
DRAIN CLEANOUT	---
6" PVC LINE (PVT)	---
DOWNSPOUT/ROOF DRAIN OUTLET	---
PIPE RAMP	---
DIRECTION OF FLOW	---
CONCRETE	---
LANDSCAPE AREA	---
ACCESSIBLE PATH OF TRAVEL	---
VISIBILITY TRIANGLE	---

EARTHWORK TABLE

CUT	150.00
IMPORT	0.00
EXPORT	0.00
GRADIENT	2.0%
MAX FALL SLOPE	5.8%
MAX CUT SLOPE	2.0%

SOURCE OF TOPOGRAPHY

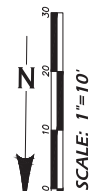
FIELD TPOD BY:
COFFEY ENGINEERING, INC.
DATE: 8/13/20
PROJECT NO.: 2018-0016
JOHN S. COFFEY, P.E. 8/13/2018

BENCHMARK

3" BRASS DISK IN WELL MONUMENT.
LOCATION: INTERSECTION OF BALMORUE DRIVE & EL CAJON BLVD.
DATE: 8/13/20
ELEVATION: 531.83

CIVIL SHEET INDEX

SHEET DESCRIPTION	SHEET #
CONCEPTUAL GRADING PLAN	C.1
CONCEPTUAL PERMANENT BMP PLAN	C.2



ABBREVIATIONS

AC	ASPHALTIC CONCRETE	MIN	MINIMUM
CB	CATCH BASIN	PA	PLANTING AREA
CL	CONCRETE	PR	PROTECT IN PLACE
D	DRAIN	P.P.	PROPOSED
ED	EQUIPMENT	PR	PROPOSED
EX	EXISTING	PR	PROPOSED
FL	FLOWLINE	PR	PROPOSED
FS	FINISH SURFACE/SLAB	PR	PROPOSED
HP	HIGH POINT	PR	PROPOSED
IE	INVERT ELEVATION	PR	PROPOSED
UR	UNLESS NOTED OTHERWISE	PR	PROPOSED

