

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS
2022 CALIFORNIA FIRE CODE

NO FIRE SPRINKLERS FOUND IN EXISTING
RESIDENCE.

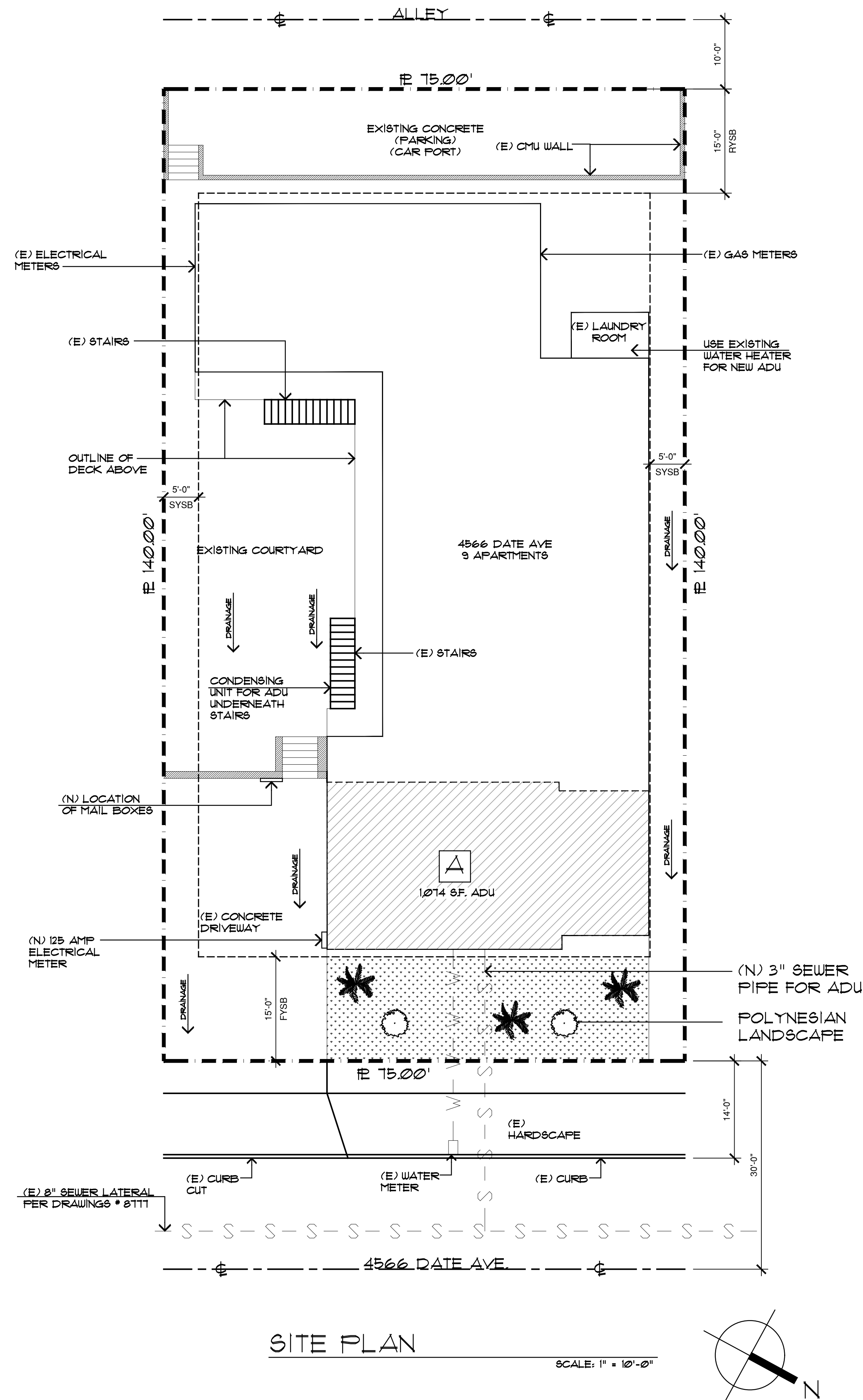
GRADING SHALL COMPLY TO ALL LIMITATIONS OF LGMC 18.08.070, AND BE LIMITED TO LESS THAN 50 CUBIC YARDS EARTHWORK OTHERWISE A GRADING PERMIT SHALL BE REQUIRED.

PROVIDE VISIBLE ADDRESS FOR ADU
FROM THE ROADWAY FRONTING THE
PROPERTY TO WHICH IT IS ADDRESSED.
CFC 505

A/C CONDENSER UNITS SUPPORTED FROM THE GROUND SHALL REST ON A CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3" ABOVE THE GROUND LEVEL. CMC 1105.2

NO EASEMENTS EXIST ON PROPERTY.

REQUIRED SPECIAL FEATURES
<p>The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.</p> <ul style="list-style-type: none"> Northwest Energy Efficiency Alliance (NEEA)-rated heat pump water heater; specific brand/model, or equivalent, must be installed
HERS FEATURE SUMMARY
<p>The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry</p> <ul style="list-style-type: none"> Indoor air quality ventilation Kitchen range hood Verified heat pump rated heating capacity



A.A. ATTIC ACCESS
 A.B. ANCHOR BOLT
 ABV. ANCHOR BOLT
 A.C.A.P. AS GOOD AS POSSIBLE
 A.C. AIR CONDITIONER
 AL. ALUMINUM
 AUG. AUGING
 BLK. BLOCKS
 BLKG. BLOCKING
 BM. BEAM
 B.N. BOUNDARY NAIL
 C.G. CAVED OPENING
 CLG. CEILING
 C.L.E.R. CLEARE
 CMU. CONCRETE MASONRY UNIT
 CMPO. COMPOSITION
 CNT. CONTINUOUS
 CONC. CONCRETE
 CSHT. CASHEMENT
 D. DRYER
 DBL. DOUBLE
 DU. DRIVEWAY
 DUW. DISHWASHER
 EN. EDGE NAIL
 EQ. EQUAL
 EW. EACH WAY
 (E). EXISTING
 EXOTG. EXISTING
 EXT. EXT
 F.A.L. FORCED AIR UNIT
 FF. FINISHED FLOOR
 FG. FINISHED GRADE
 FGL. FIBERGLASS
 FN. FIELD NAIL
 F.O.D. FACE OF STUD
 F.O.P. FACE OF POST
 FR. FIRE PLACE
 FOOTG. FOOTING
 F.V. FLAT VALLEY
 G.B. GYPSUM BOARD
 G.D. GARAGE DISPOSAL
 G.F.C.I. GROUND FAULT CIRCUIT INTERRUPT
 GL. GLASS
 GLR. GLASSRAIL
 H.B. HOSE BIBB
 HDR. HEADER
 HDR. HANDRAIL
 HTR. HEATER
 INT. INTERIOR
 MAX. MAXIMUM
 M.B. MACHINE BOLT
 M.C. MEDICINE CABINET
 MIN. MINIMUM
 MIRR. MIRROR
 MFR. MANUFACTURER
 O. OVER
 O.B.C. OBSCURE
 O.C. ON CENTER
 O.H. OVERHANG
 OPENG. OPENING
 P.C.C. PORTLAND CONC. CEMENT
 PCT. FOOTING
 PL. PLATE
 P.T. PRESURE TREATED
 RAD. RADIATION
 REF. REFRIGERATOR
 RHYD. REMOVED
 REQD. REQUIRED
 R.O. ROLLOFF OPENING
 S.D. SLIDING GLASS DOOR
 SGLD. SLIDING WINDOW
 SHU. SINGLE HUNG WINDOW
 SHT. SHEET
 SHTG. SHEATHING
 SHWR. SHOWER
 S.M. SHEET METAL
 S & P. SHELF & POLE
 T.C. TIE BARS
 T.C. TRASH COMPACTOR
 T & B. TOP & BOTTOM
 T & G. TONGUE & GROOVE
 TEMP. TEMPERED
 T.N. TOE NAIL
 TYP. TYPICAL
 U.O.N. UNLESS OTHERWISE NOTED
 V. VENT
 V.B. VAPOR BARRIER
 W. WASHIER
 W. WITH
 W.C. WATER CLOSET
 WDO. WINDOW
 WH. WATER HEATER
 W.P. WATER PROOF
 V.I.A. VERIFY IN FIELD

(E) HABITABLE AREA	
UNIT 1	1000 SQ. FT.
UNIT 2	1000 SQ. FT.
UNIT 3	1000 SQ. FT.
UNIT 4	1000 SQ. FT.
UNIT 5	1000 SQ. FT.
UNIT 6	1000 SQ. FT.
UNIT 7	1015 SQ. FT.
UNIT 8	1015 SQ. FT.
UNIT 9	1000 SQ. FT.
TOTAL BUILDING FLOOR AREA:	9030 SQ. FT.
NEW ADU	1074 SQ. FT.
TOTAL HABITABLE AREA	10104 SQ. FT.

BASE ZONE: _____ R-1
OCCUPANCY/GROUP SFR _____ R-3
CONSTRUCTION TYPE: _____ V-B

SETBACKS	ZONE REQUIREMENTS
FRONT	15'-0"
LEFT SIDE YARD	5'-0"/4'-0" (ADU)
RIGHT SIDE YARD	5'-0"/4'-0" (ADU)
REAR YARD	15'-0"/14'-0" (ADU)

LOT AREA: _____ 10,300 S.F.

YEAR BUILT: _____ 1910

(E) MDU BUILDING IS NOT EQUIPPED WITH A FIRE ALARM SYSTEM

MAZIN & ROMIN TALIA
4451 PARKS AVE
LA MESA CA 91941
romin@talialestates.com
619-344-5099

SITE ADDRESS
4566 DATE AVE
LA MESA CA 91941

APN :	470-613-09-00
LOT NOs	LOT 6 LOT 5 & N 1/2 OF
MAP NO:	994
COMMUNITY:	GRABLES ADD

A detailed map of the area around 4102 Auto Repair & Maintenance Shop. The map shows several streets including Orange Ave, Park Ave, and Chelsea Ave. Various businesses and landmarks are marked with pins and labels, such as '4102 Auto Repair & Maintenance Shop', 'Linda Hair', 'Creative Arts', 'Level Hair Studio', 'Ready Changers', 'Detail of a Mack', 'The Condos', 'Orange Ave', 'Regenes', 'Gaby's Turf', 'Belle's Baking Services', 'Pink Ave', 'Finest City Riding', 'Catalina Street Runner', 'Gaby's Tire Shop', 'El Salvador Restaurant', 'Mello Vita Apartments', 'Health Sciences (U.S.) & Medical Center', 'Terrell Park', and 'El Ca'. A large black arrow points from the 'SITE' label to the location of 4102 Auto Repair & Maintenance Shop.

A EXISTING GARAGE AND STORAGE TO BE
CONVERTED INTO AN ADU, WITH 2 BEDROOM
AND 2 BATH. NEW SLAB ON GRADE PER
PLAN. (Ø74 SF.)

MISC. NEW 125 AMP ELECTRICAL METER FOR
NEW ADU

REMOVE EXISTING SLAB AND ADD NEW
SLAB TO MAKE CLEARANCE OF 7'-6"

SP	SITE PLAN
GN1	GENERAL NOTES
GN2	GENERAL NOTES
A01	EXISTING / DEMO/PROPOSED FLOOR
A02	EXTERIOR ELEVATIONS/SECTIONS
A03	ELECTRICAL PLAN

2305 SWEETWATER RD
SPRING VALLEY CA 91977
CELL 619.554.6422

THESE DRAWINGS ARE THE PROPRIETARY
WORK PRODUCT AND PROPERTY OF
GERARDO SERGIO DE LA RIVA JR.
FOR THE EXCLUSIVE USE OF GERARDO SERGIO,
USE OF THESE DRAWINGS AND CONCEPTS
CONTAINED THEREIN WITHOUT THE
WRITTEN PERMISSION OF GERARDO SERGIO DE LA
RIVA JR., IS PROHIBITED AND MAY
SUBJECT YOU TO A CLAIM FOR DAMAGES.

TALIA ADU
4566 DATE AVE
LA MESA CA 91941

Drawn By	GERARDO
PLAN CHECK	05.17.25
PLAN CHECK HIST.	05.28.25
RE CHECK #2	06.23.25
Recheck #3	
APN: 470-613-09-00	
Scale	
PER DRAWING	
Page #	

SP

CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT-CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRWQCB), LA MESA MUNICIPAL STORM WATER PERMIT, THE CITY OF LA MESA LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF LA MESA "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMP'S.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION, INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTRACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATION, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGES LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGES, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BPS WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR-ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LODEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENT AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMP'S DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA, TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQDA FACT SHEET TO-C1 OR CAL TRANS FACE SHEET TO-C1 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (A) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE LA MESA MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM AFTER MANAGEMENT AND DISCHARGED CONTRLOL.

FIRE NOTES:

Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33, Welding, cutting, and o ther ho l wo rk shall be in conformance with CFC Chapter 35."

Address identification shall be provided to r al new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way o f a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Sectio n 501.2." [CFC 505]

Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.11 and shall meet the flame propagation performance criteria of the Califo mia Code of Regulations, Title 19, Divisio n 1. Deco rative materials shall be pro perly treated by a pro duct o r pro cess appro ved by the State Fire Marshal with appropriate do cumentation provided to the City o f LA MESA.

Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or I IA structure separated by 10 feet fro m o ther structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated.[CFC304.3]

"Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of LA MESA and CFC Section 306."

"The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in any egress paths."

GENERAL PLAN NOTES:

- NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OR RECORD: BY USING THIS PERMIT, THE CONTRACTOR DRAWS FOR CONSTRUCTION INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF LA MESA FOR SPECIAL INSPECTION, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
- NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/ OWNER-BUILDER: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE, THAT ARE AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF LA MESA FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
- THE CONTRACTOR SHALL TAKE THE NECESSARY TIME AND CARE TO BECOME FAMILIAR WITH THE APPROVED SET OF DRAWINGS AND REFER ONLY TO APPROVED SETS OF DRAWINGS DURING THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE EXISTING STRUCTURE, ELEVATIONS AND SITE CONDITIONS AFFECTED BY PROPOSED WORK. VERIFY ALL PLAN DIMENSIONS OF "NEW" ADDED OR REMODELED AREA PRIOR TO STARTING WORK. THIS INCLUDES EXISTING WINDOWS & DOORS TO BE REPLACED OR RETRO-FITTED. THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL AND/OR THE ENGINEER IMMEDIATELY OF ALL DISCREPANCIES.
- ALL VERIFICATIONS OF NEW AND EXISTING DIMENSIONS ARE TO BE DONE PRIOR TO THE START OF WORK AND ORDERING OF WINDOWS, DOORS, LUMBER AND/OR FLOOR OR ROOF TRUSSES.
- ALL CHANGES ARE TO BE APPROVED BY A DESIGN PROFESSIONAL AND THE BUILDING DEPARTMENT BEFORE CHANGES ARE MADE IN THE FIELD.
- UNLESS OTHERWISE NOTED OR SHOWN ELSEWHERE ON THE PLANS, TYPICAL DETAILS AND GENERAL NOTES APPLY TO ALL PARTS OF THE JOB.
- WHERE CONSTRUCTION DETAILS OR NOTES ARE NOT SHOWN FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK SHOWN IN THE DRAWING.
- NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES
- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE CONSTRUCTION DRAWINGS.
- CONTRACTOR SHALL VERIFY AND DETERMINE LOCATION OF ALL EXISTING UTILITIES AND SHALL NOT PERFORM ANY WORK THAT WILL DAMAGE EXISTING UTILITIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL AND LOCAL SAFETY REQUIREMENTS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STANDARDS AND TO THE APPLICABLE PROVISIONS OF THE LATEST EDITION OF THE U.S.C.
- METAL CONNECTORS, STRAPS, HANGERS, HOLDOWNS, ETC., CALLED OUT ON PLANS ARE TO BE SIMPSON "STRONG TIE" OR APPROVED EQUAL.
- THIS PLAN DOES NOT PROVIDE COMPLETE FLASHING AND WATERPROOFING DETAILS THE DESIGNER AND ENGINEER DO NOT REPRESENT THEMSELVES TO BE EXPERTS IN THE FIELD OF WATERPROOFING IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR THE ROOF/DECKING SUBCONTRACTOR TO PROVIDE THE NECESSARY STANDARD OF CARE IN WORKMANSHIP AND MATERIALS TO COMPLETE THE ROOF AND DECKS IN A WATERTIGHT CONDITION ROOF AND/OR DECK DRAINAGE SHALL NOT BE ALLOWED TO RUN BEHIND ANY FASCIA BOARDS OR ONTO THE EXTERIOR FINISH OF THE STRUCTURE.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2016 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.
- ALL NEW WINDOWS AND SLIDING GLASS DOORS SHALL BE DUAL GLAZED UNLESS OTHERWISE SPECIFIED BY AN ACCREDITED ENERGY DESIGNER.
- CONTRACTOR SLOPE ALL DISTURBED GRADES TO DRAIN SURFACE WATER AWAY FROM STRUCTURE ON ALL SIDES OF GROUND LEVEL ADDITION. CONTRACTOR TO SLOPE ALL NEW IMPERMEABLE SURFACES TO DRAIN AWAY FROM POOL AND TOWARD PERMEABLE SURFACES SUCH AS LANDSCAPING.
- STATE HEALTH AND SAFETY CODE SEC17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSS LINKED POLYETHYLENE (PEX) FOR INTERIOR WATER-SUPPLY PIPING.
- FIRE PLACES WITH GAS APPLIANCES ARE REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH LPG APPLIANCES ARE TO HAVE NO PIT OR "SLIP" CONFIGURATIONS. (U.M.C. 9.04.5)
- JOINTS AND OPENINGS: ANNUAL SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. (CGSBC 4.504.1)
- A MINIMUM OF 50 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE PER CGSBC SECTION 4.408.1 AND CITY ORDINANCE.
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH "VOC" AND OTHER TOXIC COMPOUND LIMITS. (CGSBC 4.504.1)
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH "VOC" LIMITS (CGSBC 4.504.2.3)
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED "MIR" LIMITS FOR "VOC" AND OTHER TOXIC COMPOUNDS. (CGSBC 4.504.2.3)
- DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT "VOC" LIMIT FINISH MATERIALS HAVE BEEN USED. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR. (CGSBC 4.504.2.4)
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH "VOC" LIMITS. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR. (CGSBC 4.504.3)
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. A LETTER FROM THE INSTALLER AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND DOCUMENTING ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR. (CGSBC 4.504.5)
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OF CONTACT TYPE MOISTURE METER. A CERTIFICATE OF COMPLIANCE INDICATING DATE OF TEST, LOCATION AND RESULTS ISSUED BY THE FRAMING SUB-CONTRACTOR OR GENERAL CONTRACTOR MUST BE SUBMITTED TO THE BUILDING INSPECTOR. (CGSBC 4.505.3)
- SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPARTMENT. CGC 4.106.3
- A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO WORK BEGINNING.
- CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
- WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR
- AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF1 R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.
- AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.
- IRRIGATION CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT

GENERAL DOOR NOTES

- DIMENSIONS INDICATED ON PLANS AND SCHEDULES ARE NOMINAL COORDINATE PRIOR TO FABRICATION.
- THE GENERAL CONTRACTOR AND/OR WINDOW SUBCONTRACTOR/SUPPLIER SHALL FIELD VERIFY SIZE/STYLE OF ALL EXISTING DOORS TO BE REPLACED OR RETROFITTED PRIOR TO ORDER.
- PAINT GRADE OR STAIN GRADE PER OWNER OR CONTRACTOR
- PAINT / STAIN COLOR AND BRAND PER OWNER
- DOOR MANUFACTURER PER OWNER OR CONTRACTOR. ALL GLAZING SHALL BE LOW "E" RATED AND HAVE THE FOLLOWING MINIMUM SPECIFICATIONS:
U-FACTOR: .3
SHGC: .23
- LANDINGS AT EXTERIOR DOORWAY: LANDINGS SHALL NOT BE MORE THAN 7.75 INCHES BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR, DOES NOT SWING OVER THE LANDING (SEC 1008.1.4, EXCEPTION 3).
- DOORS BETWEEN GARAGES AND OCCUPIABLE SPACES (ENCLOSED SPACES INCLUDING HABITABLE SPACES, BATHROOMS, CLOSETS, HALLS, STORAGE AND UTILITY AREAS, ETC) SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
-
-
- THRESHOLDS: THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75 INCHES IN HEIGHT FOR SLIDING GLASS DOORS SERVING DWELLIN UNITS OR 0.5 INCHES FOR OTHER DOORS.

GENERAL WINDOW NOTES

- ALL NEW WINDOWS TO BE WHITE VINYL, DUAL-GLAZED, LOW-E OR EQUAL VERIFY WITH SCOPE OF WORK.
- WINDOW AND DOOR FINISH COLORS PER OWNER & GENERAL CONTRACTOR.
- ALL WINDOWS TO HAVE CLEAR GLASS U.O.N., ANY MUNTINS/GRIDS SHALL BE PER ELEVATIONS- STYLE TO BE VERIFIED WITH OWNER.
- THE GENERAL CONTRACTOR AND/OR WINDOW/DOOR CONTRACTOR/SUPPLIER SHALL FIELD VERIFY SIZE, STYLE OF ALL EXISTING WINDOWS TO BE REPLACED OR RETRO-FITTED PRIOR TO ORDER.
- TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS INSTALLED
- NEW MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED WHICH INDICATES CERTIFICATION BY THE NATIONAL PENETRATION RATING COUNCIL (NPRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
- CONTRACTOR SHALL REFER TO TITLE 24 CALCULATIONS AFFIXED TO THESE PLANS FOR WINDOW U-VALUES AND SHADING COEFFICIENTS (SHGC).
- GLAZING FRAMES MADE OF VINYL MATERIAL SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCKING AREA AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWMA 1011.5.2 STRUCTURAL REQUIREMENTS. (SDMC SEC. 145.0705 (a) 1)
- SILL HEIGHT: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44-INCHES MEASURED FROM THE FINISH FLOOR (SEC. 1026.3).
- GLAZING MATERIALS USED IN SKYLIGHTS, ROOFS, AND SLOPED WALLS ON BUILDINGS LOCATED WITHIN 300-FT. IN ANY DIRECTION, OF THE BOUNDARY BETWEEN BRUSH MANAGEMENT ZONES ONE AND TWO AS DEFINED IN SECTION 142.0412 OF THE LANDS DEVELOPMENT CODE, SHALL BE TEMPERED GLASS OR MULTI-LAYERED GLASS (SDMC SEC. 145.0706 (c)).
-

ABBREVIATIONS

@	AT	SHW	SINGLE HUNG WINDOW
A.A	ATTIC ACCESS	SHT	SHEET
A.B	ANCHOR BOLT	SHTG	SHEATHING
ABV.	ABOVE	SHWR	SHOWER
A.C.A.P.	AS CLOSE AS POSSIBLE	SPEC.	SPECIFICATIONS
AC	AIR CONDITIONER	S.M.	SHEET METAL
ADJ.	ADJACENT	S & P	SHELF & POLE
A.F.F	ABOVE FINISH FLOOR	STGR	STAGGERED()
AL.	ALUMINUM	STRUC	STRUCTURAL
AL.	ALUMINUM	SD.	SQUARE
APPROX.	APPROXIMATE(LY)	SW.	SHEARWALL
ARCH.	ARCHITECTURAL	T.B.	TOWEL BAR
AWG.	AWING	T.C.	TRASH COMPACTOR
BLDG.	BUILDING	T & B	TOP & BOTTOM
BLK.	BLOCK	T & G	TONGUE & GROOVE
BLKG	BLOCKING	TEMP	TEMPERED
BM	BEAM	THK	THICK
B.N.	BOUNDARY NAIL	T.M.E.	TO MATCH EXISTING
BRG.	BEARING	T.N.	TOE NAIL
BTM.	BOTTOM	T.O.A	TOP OF FOOTING
BTWN	BETWEEN	T.O.P.	TOP OF PLATE
C	CHARACTERED()	T.O.W.	TOP OF WALL
CANT	CANTILEVER	TYP.	TYPICAL
C.A.	CLEAN OUT	U.F.A	UNDER FLOOR ACCESS
CO	CASED OPENING	U.O.N.	UNLESS OTHERWISE NOTED
CL.P.	CASED IN-PLACE	V.	VINYL
CL.	CENTERLINE	V.B.	VAPOR BARRIER
CLG	CEILING	W.	WASHER
CLR.	CLEAR	W.	WITH
COL.	COLUMN	W.A	WATER CLOSET
CONC.	CONCRETE	WDO.	WINDOW
CONN.	CONNECTION	WWF	WELDED WIRE FABRIC
CONST.	CONSTRUCTION	W.H.	WATER HEATER
CMU	CONCRETE MASONRY UNIT	W.P.	WATERPROOF
COMPO	COMPOSITION	WT.	WEIGHT
COND.	CONDENSER	VERT.	VERTICAL
CONT.	CONTINUOUS	V.I.F.	VERIFY IN FIELD
CONC.	CONCRETE		
CSMT	CASEMENT		
CTR.	CENTER(ED)		
D	DRYER		
DBL.	DOUBLE		
D.F.	DOUGLAS FIR		
DIA.	DIAMETER		
DIAG.	DIAGONAL		
DIAPH.	DIAPHRAGM		
DIM.	DIMENSION		
DN.	DOWN		
DP.	DITTO (REPEAT)		
DP.	DEEP (DEPTH)		
D.W.	DRIVEWAY		
DW	DISHWASHER		
DWG.	DRAWING		
EA.	EACH		
EF.	EACH FACE		
E.F.W.	EACH FACE OF WALL		
ELEV.	ELEVATION		
EMBD.	EMBEDMENT		
EN.	EDGE NAIL		
EQ.	EQUAL		
E.W.	EACH WAY		
EXSTG.	EXISTING		
EXT	EXTERIOR		
F.A.U	FORCED AIR UNIT		
F.F.	FINISH FLOOR		
F.G.	FINISH GRADE		
FGL	FIBERGLASS		
F.L.	F.LANGE		
FLR.	FLOOR		
FIN.	FINISH		
F.N.	FIELD NAIL		
FND.	FOUNDATION		
F.O.S.	FACE OF STUD		
F.O.P.	FACE OF POST		
F.P.	FIRE PLACE		
FRMG	FRAMING		
FT	FEET		
FTG	FOOTING		
F.V.	FLAT VALLEY		
FX	FIXED		
GA.	GAUGE		
GALV.	GALVANIZE(D)		
GB.	GRADE BEAM		
GYP. BD.	GYP SUM BOARD		
G.B.	GARBAGE DISPOSAL		
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPT		
GL.	GLASS		
GLB.	GLUE LAMINATED BEAM		
GR	GUARDRAIL		
H.B.	HOSE BIB		
HD.	HOLD DOWN		
HDR.	HEADER		
HGR.	HANGER		
HORZ.	HORIZONTAL		
H.R.	HANDRAIL		
HT.	HEIGHT		
IN. (")	INCHES		
INT.	INTERIOR		
JST	JOIST		
K	KIPS (1000)		
KSI	KIPS PER SQUARE INCH		
L	ANGLE		
LB	LAG BOLT		
lbs (#)	POUNDS		
LDGR.	LEGER		
LG	LONG(ITUINAL)		
LWT	LIGHT WEIGHT		
MATL	MATERIAL		
MAX.	MAXIMUM		
M.B.	MACHINE BOLT		
M.C.	MEDICINE CABINET		
MECH.	MECHANICAL		
MEZZ	MEZZANINE		
MF	MOMENT FRAME		
MIN	MINIMUM		
MIR	MIRROR		
MISC.	MISCELLANEOUS		
MFR.	MANUFACTURER		
MTL	METAL		
(N)	NEW		
NTS	NOT TO SCALE		
O	OVER		
OBSC	OBSCURE		
O.C.	ON CENTER		
O.H.	OVERHANG		
OPNG	OPENING		
O.W.	OPEN WEB		
P/C	PRECAST CONCRETE		
P.C.C	PORTLAND CONC. CEMENT		
P.CF	POUNDS PER CUBIC FT.		
PKT.	POCKET		
PL.	PLATE		
PLY.	PLYWOOD		
PERP.	PERPENDICULAR		
PSF	POUNDS PER SQUARE FOOT		
PSI	POUNDS PER SQUARE INCH		
PT	POST-TENSIONED		
P.T.	PRESSURE TREADED		
P.T.D.F.	PRESSURE TREADED DOUGLAS FIR		
QTY.	QUANTITY		
RAD.	RADIUS		
R.A.G.	RETURN AIR GRILLE		
REFRIG	REFRIGERATOR		
REINF	REINFORCEMENT		
RMVD	REMOVED		
REQD	REQUIRED		
R.J.	ROOF JOIST		
R.O.	ROUGH OPENING		
R.R.	ROOF RAFTER		
SCH.	SCHEDULE		
SGD	SLIDING GLASS DOOR		
SGW	SLIDING GLASS WINDOW		
SIM.	SIMILAR		

ARCH. SYMBOLS

SECTION

DETAIL CALL-OUT

WATER LINE MAIN

SEWER LINE MAIN

WATER METER

ELECTRIC SERVICE METER

GAS METER

FLOOR ELEVATION CHANGE

DOOR CALL-OUT

WINDOW CALL-OUT

BATHROOM EXHAUST FAN (5 AIR CHANGES/ HR, 50 CFM)

HOSE BIB

GAS CONNECTION

SEWER CLEAN OUT (C.O.)

PROPERTY LINE

CENTER LINE

ROOF SLOPE

ROOF ATTIC VENT

SUPPLY AIR REGISTER

RETURN AIR GRILLE

DE LA RIVA DESIGN & BUILD LLC.
NOTHING IS IMPOSSIBLE
LIC # B-1077043
619-554-6422

2305 SWEETWATER RD
SPRING VALLEY CA 91977
CELL 619.554.6422

TALIAADU
4566 DATE AVE
LA MESA CA 91941

Drawn By GERARDO

PLAN CHECK 05.17.25

PLAN CHECK HIST. 05.28.25

RE CHECK #2

Recheck #3

APN: 470-613-09-00

Scale
PER DRAWING

Page #

GN.1

DOOR SCHEDULE

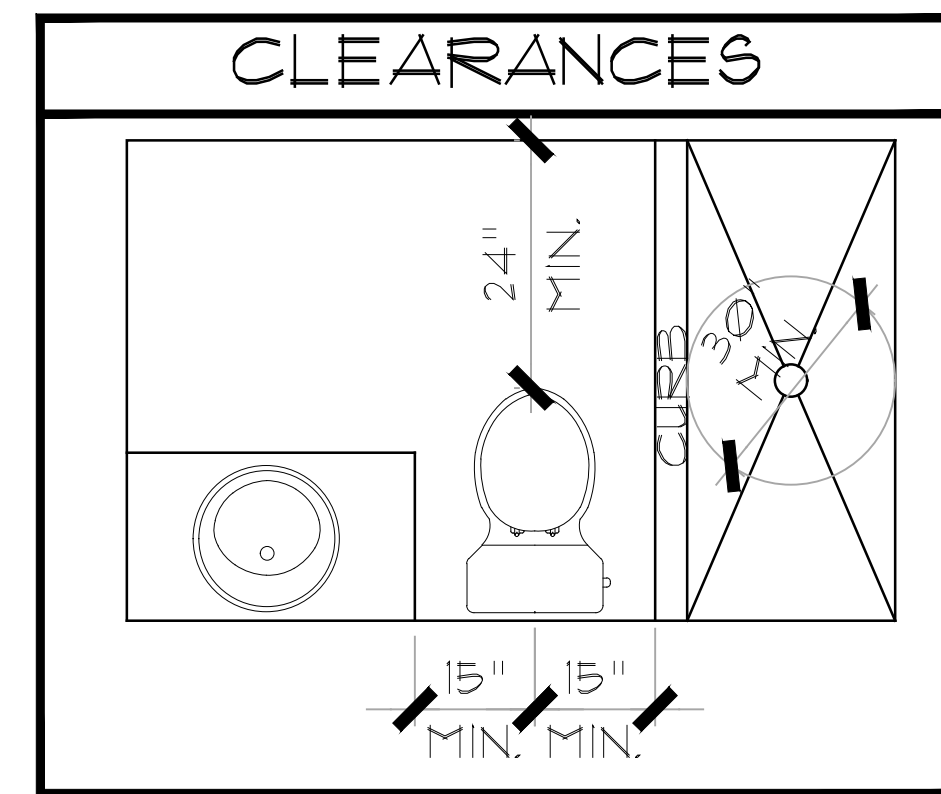
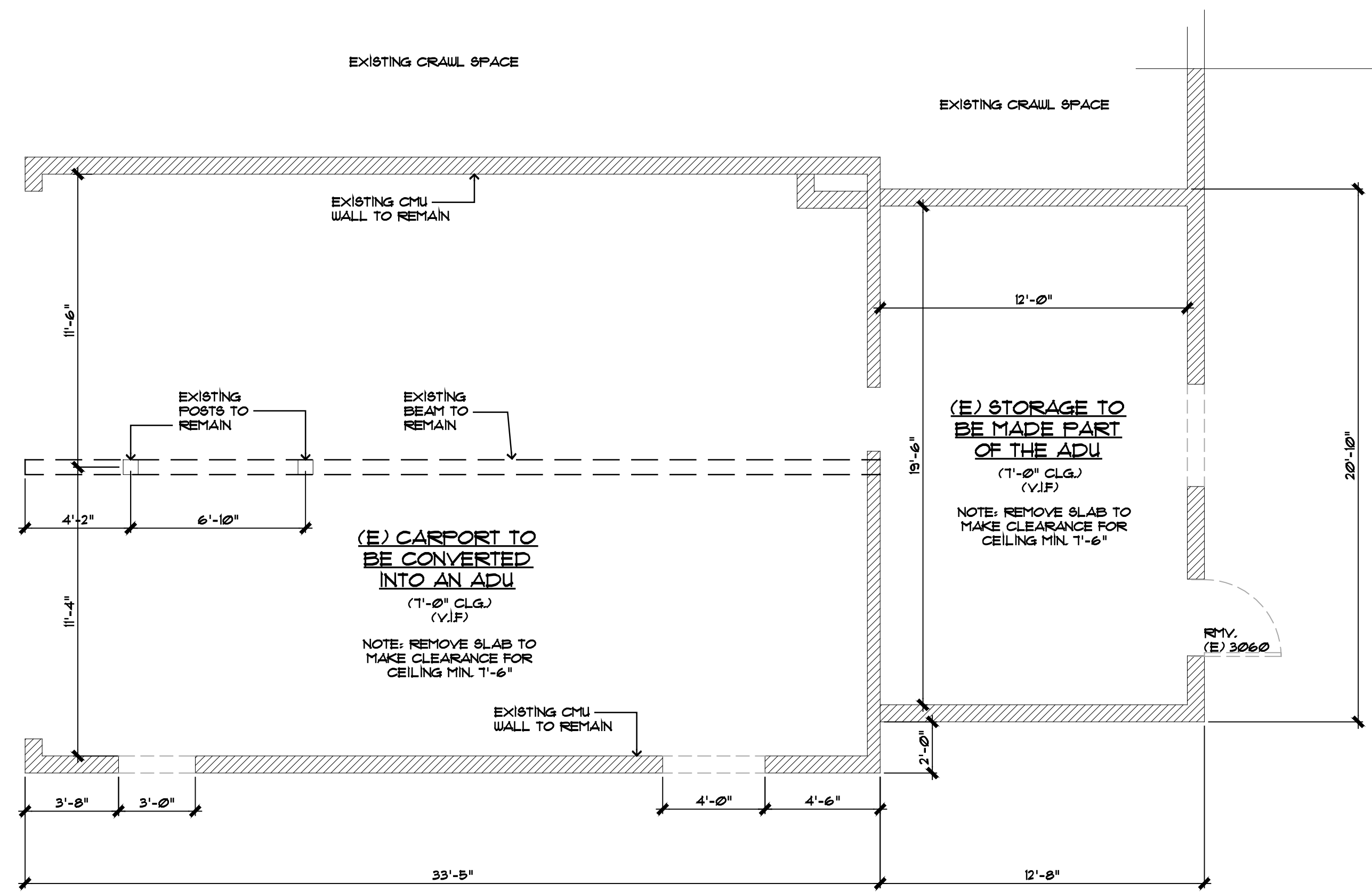
FINISH: ST. = STAIN GRD., PT. = PAINT GRD. TYPE: HC. = HOLLOW CORE, SC. = SOLID CORE STYLE: PNL. = RAISED PANEL, FL. = FLUSH

SYMBOL	SIZE	TYPE	STYLE				REMARKS:
1	3068	SC	SC				SOLID/45 MNT RATED DOOR
2	2668	HC.	HC.				
3	2668	HC.	HC.				
4	2668	HC.	HC.				
5	2468	HC.	HC.				

WINDOW SCHEDULE

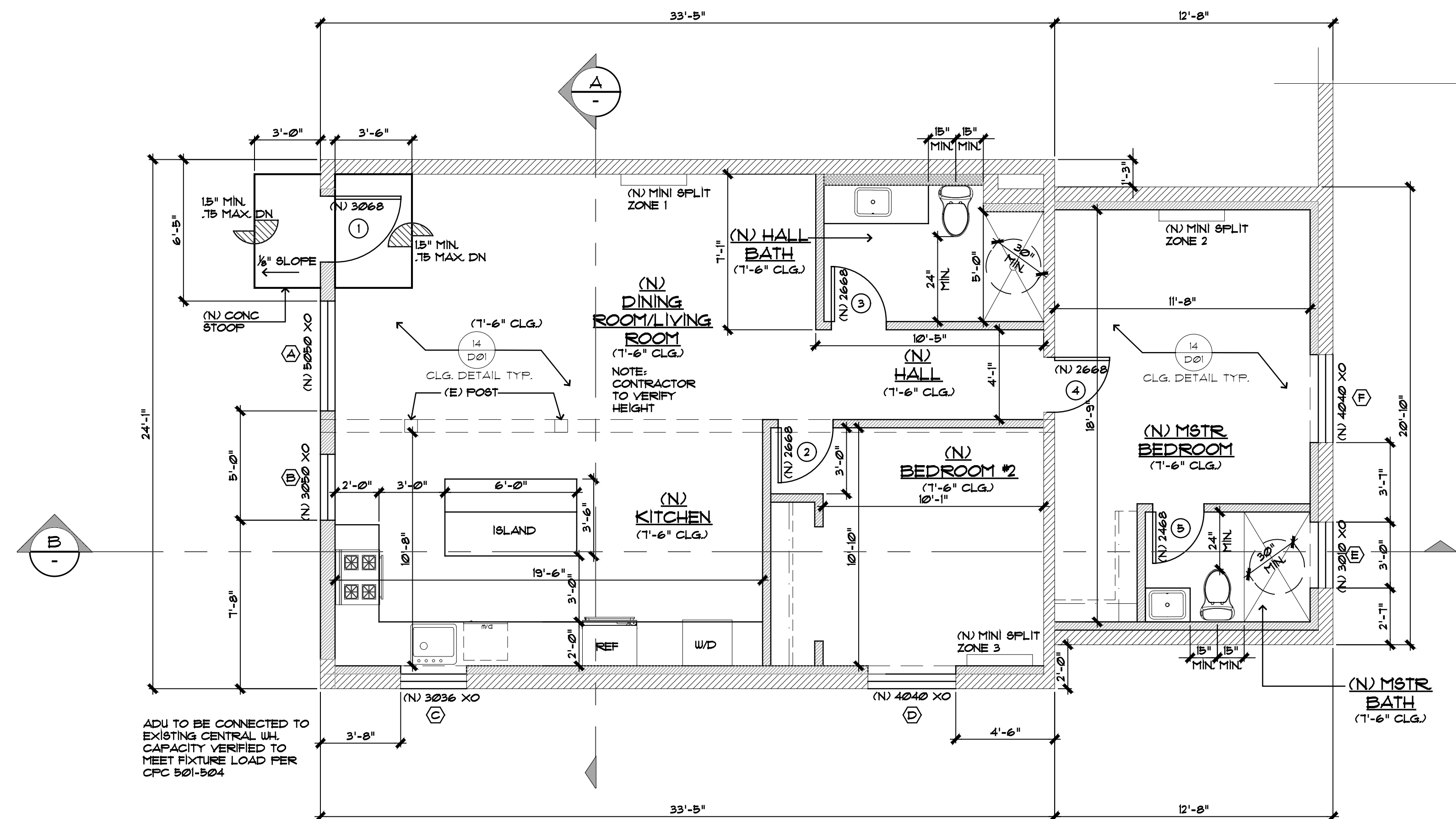
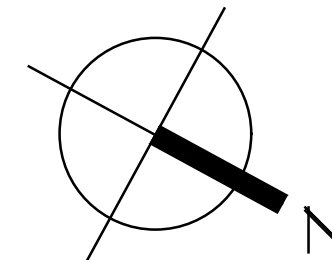
SYMBOL	"L"	"H"	TYPE	S.F.	UFACTOR	SHGC	NOTES
A	5'-0"	5'-0"	XO	25	.3	.23	TEMPERED
B	3'-0"	5'-0"	XO	15.0	.3	.23	
C	3'-0"	3'-6"	XO	10.5	.3	.23	
D	4'-0"	4'-0"	XO	16.0	.3	.23	TEMPERED
E	3'-0"	1'-0"	XO	3.0	.3	.23	
F	4'-0"	4'-0"	XO	16.0	.3	.23	

EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.CBC 1010.1.9



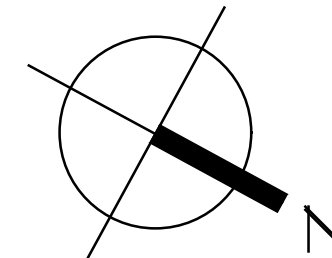
EXISTING / DEMO FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



PROPOSED ADU

SCALE: 1/4"=1'-0"



WALL LEGEND

WALL TO BE REMOVED

EXISTING 2 x 8 STUD WALL TO REMAIN
(NON-RATED WALLS)

NEW 2 x 4 STUD WALL FRAMED • 16' O.C.

NEW 2 x 6 STUD WALL FRAMED • 16' O.C.

EXISTING CMU WALL

EXISTING FIRE RATED WALL

NEW 2 x 4 FIRE RATED STUD WALL
FRAMED • 16' O.C. PER DETAIL 16/D01

NOTHING IS IMPOSSIBLE
LIC # B-1077043
619-554-6422

**2303 SWEETWATER RD
SPRING VALLEY CA 91977
CELL 619.554.6422**

THESE DRAWINGS ARE THE PROPRIETARY
WORK PRODUCT AND PROPERTY OF
GERARDO SERGIO DE LA RIVA JR.
FOR THE EXCLUSIVE USE OF GERARDO SERGIO,
USE OF THESE DRAWINGS AND CONCEPTS
CONTAINED THEREIN WITHOUT THE
WRITTEN PERMISSION OF GERARDO SERGIO DE LA
RIVA JR., IS PROHIBITED AND MAY
SUBJECT YOU TO A CLAIM FOR DAMAGES.

ALIA ADU
4566 DATE AVE
LA MESA CA 91941

Drawn By GERARDO

PLAN CHECK 05.17.25

PLAN CHECK HIST. 05.28.25

RE CHECK #2 06.23.25

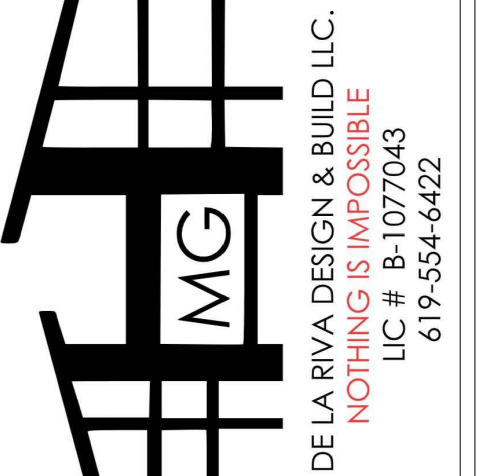
Recheck #3

APN: 470-613-09-00

Scale
ER DRAWING

page #

A01



2305 SWEETWATER RD
SPRING VALLEY CA 91777
CELL 619.554.6422

THESE DRAWINGS ARE THE PROPRIETARY
WORK PRODUCT AND PROPERTY OF
GERARDO SERGIO DE LA RIVA JR.
FOR THE EXCLUSIVE USE OF GERARDO SERGIO.
USE OF THESE DRAWINGS AND CONCEPTS
CONTAINED THEREIN WITHOUT THE
WRITTEN PERMISSION OF GERARDO SERGIO DE LA
RIVA JR., IS PROHIBITED AND MAY
SUBJECT YOU TO A CLAIM FOR DAMAGES.

TALIA ADU
4566 DATE AVE
LA MESA CA 91941

Drawn By GERARDO

PLAN CHECK 05.17.25

PLAN CHECK HIST. 05.28.25

RE CHECK #2 06.23.25

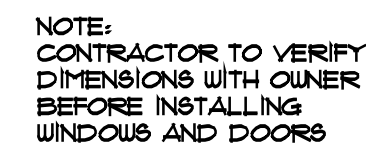
Recheck #3

APN: 470-613-09-00

Scale
ER DRAWING

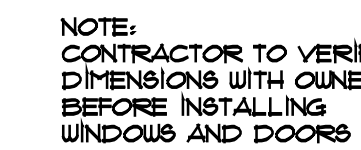
Page #

A02



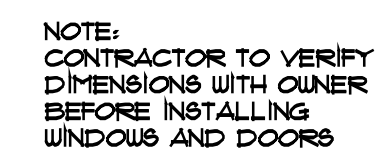
EAST ELEVATION

SCALE: 1/4"=1'-0"



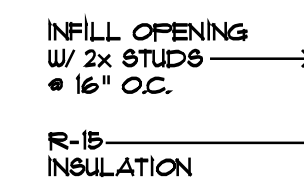
NORTH ELEVATION

SCALE: 1/4"=1'-0"



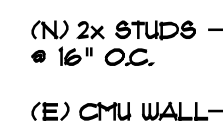
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



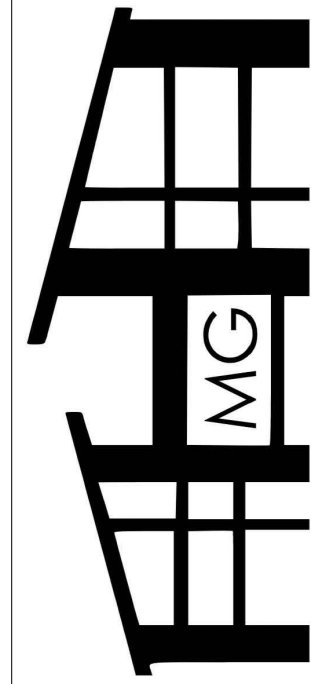
SECTION A PROVIDE US

SCALE: 1/4"=1'-0"



SECTION B

SCALE: 1/4"=1'-0"



2305 SWEETWATER RD
SPRING VALLEY CA 91977
CELL 619.554.6422

TALIAADU
4566 DATE AVE
LA MESA CA 91941

Drawn By GERARDO

PLAN CHECK 05.17.25

PLAN CHECK HIST. 05.28.25

RE CHECK #2 06.23.25

Recheck #3

APN: 470-613-09-00

Scale
PER DRAWING

Page #

A03

ELEC. SYMBOLS

- DUPLEX 110V OUTLET
- 220V OUTLET
- G.F.C.I. OUTLET
- WATERPROOF G.F.C.I.
- SWITCHED OUTLET
- CEILING OUTLET
- DISHWASHER OUTLET
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- VACANCY SENSOR
- WALL MOUNTED LIGHT FIXTURE (HT. PER ELEVATIONS)
- WALL MOUNTED LIGHT FIXTURE w/ DAYLIGHT / MOTION SENSOR
- SURFACE MOUNTED LIGHTING FIXTURE
- PENDANT LIGHT FIXTURE
- AREA FLOOD LIGHT w/ DAYLIGHT / MOTION SENSOR
- EMERGENCY FLOOD LIGHT w/ BATTERY BACKUP
- FAN / LIGHT COMBO
- VENT FAN
- INTERCOM PANEL
- ELECTRIC SERVICE PANEL
- FIRE PLACE ELECTRICAL IGNITION
- RECESSED LED FIXTURE w/ NON-SCREW BASE SOCKET
- RECESSED LIGHT FIXTURE w/ DIRECTIONALLY
- RECESSED SPOT LIGHT FIXTURE
- JUNCTION BOX (J-BOX)
- SURFACE MOUNTED LED FIXTURE
- RECESSED FLUORESCENT FIXTURE
- WALL MOUNTED FERRY. WIRED SMOKE DETECTOR w/ BATTERY BACK-UP
- CEILING MOUNTED FERRY. WIRE SMOKE DETECTOR w/ BATTERY BACK-UP
- BATTERY OPERATED SMOKE DETECTOR
- CARBON MONOXIDE ALARM - FERRY. WIRED w/ BATTERY BACK-UP
- CABLE TV HOOK-UP
- CAT-5 CABLE JACK
- TELEPHONE JACK
- DOOR BELL BUTTON
- DOOR CHIME
- THERMOSTAT
- CEILING FAN
- ALARM KEY PAD
- ELECTRICAL SUB-PANEL

WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING 2 x 8 STUD WALL TO REMAIN
- NEW 2 x 3 STUD WALL TO MATCH EXISTING FRAMED @ 16" O.C.
- NEW 2 x 4 STUD WALL FRAMED @ 16" O.C.
- NEW 2 x 6 STUD WALL FRAMED @ 16" O.C.

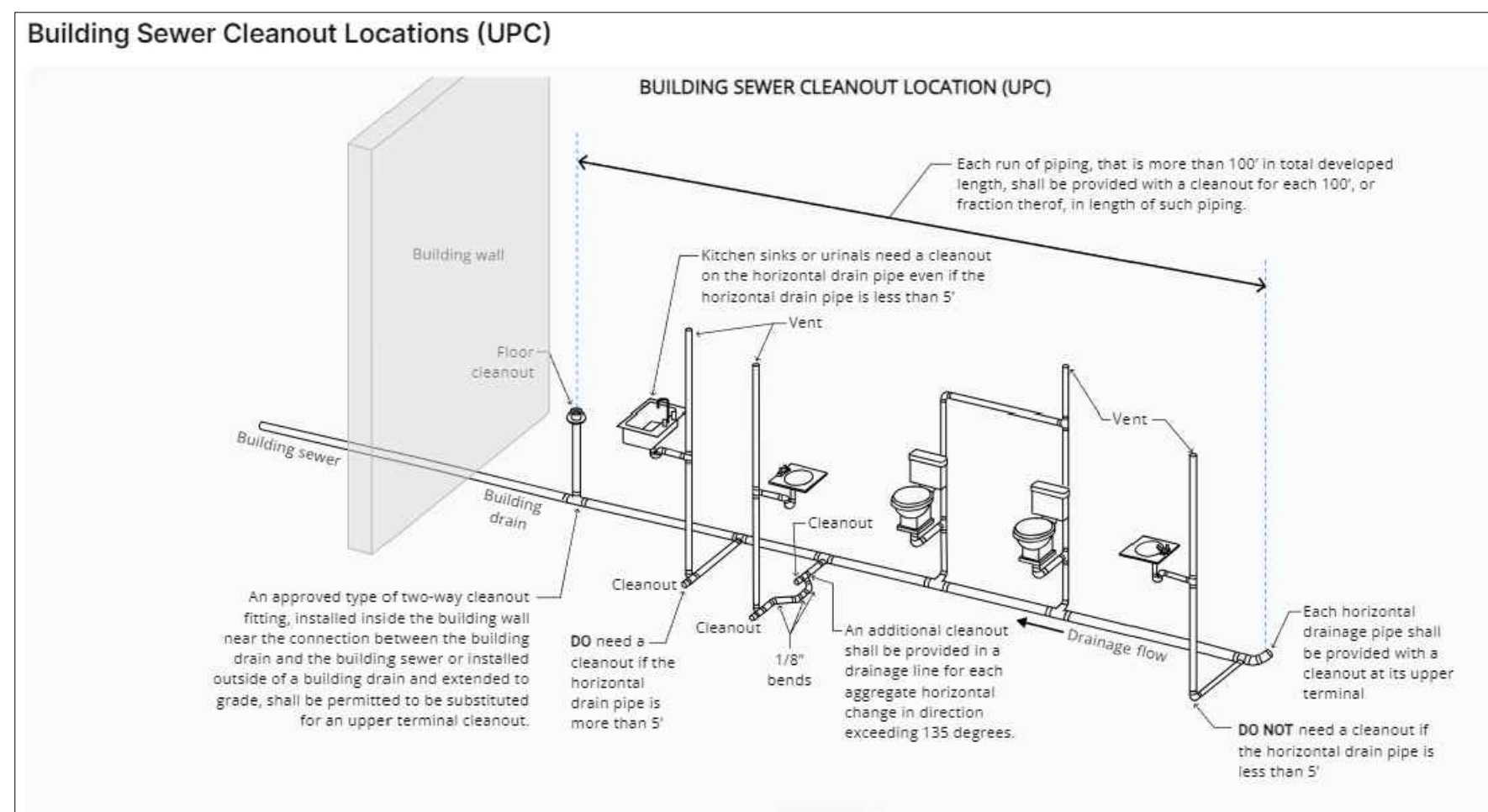
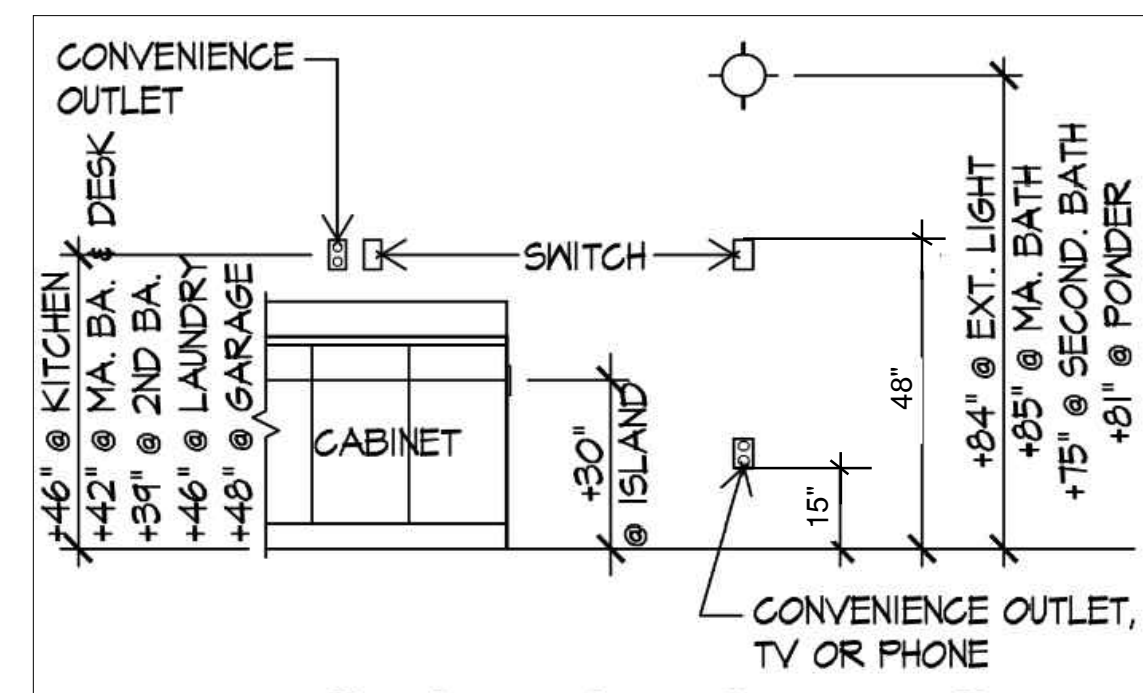
IN ADDITION TO THE LOCAL EXHAUST FANS IN THE BATHROOMS AND KITCHENS, AN EXHAUST FAN SHALL BE SIZED TO PROVIDE VENTILATION FOR THE WHOLE HOUSE. THE MINIMUM VENTILATION RATE FOR THE WHOLE-BUILDING EXHAUST FAN SHALL BE CALCULATED ACCORDING TO ASHRAE STANDARD 62.2 EQUATION 4.1 (A). THE CONDITIONED FLOOR AREA AND THE NUMBER OF BEDROOMS IN THE HOME (THE EXISTING HOUSE AND THE ADDITION) WILL DETERMINE THE MINIMUM VENTILATION RATE. ONE OF THE LOCAL EXHAUST FANS IN THE BATHROOMS OR KITCHENS MAY BE USED TO MEET THE WHOLEBUILDING VENTILATION, PROVIDED THE EXHAUST FAN MEETS THE MINIMUM VENTILATION RATED FOR BOTH THE LOCAL EXHAUST AND WHOLE-BUILDING VENTILATION REQUIREMENTS. THE DUCTING FOR THE WHOLE BUILDING EXHAUST FAN SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 1.1 AND THIS EXHAUST FAN SHALL OPERATE CONTINUOUSLY. IDENTIFY FAN MANUFACTURER, MODEL AND SOUNDS RATING (1 SONE FOR CONTINUOUS MAY BE SONE FOR INTERMITTENT) ON PLANS.

THE WHOLE-BUILDING VENTILATION EXHAUST FAN WILL OPERATE CONTINUOUSLY AND IS REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 1 SONE. THIS EXHAUST FAN CAN BE CONTROLLED BY A STANDARD ON/OFF SWITCH BUT THE SWITCH MUST BE LABELED TO INFORM THE OCCUPANT THAT THE EXHAUST FAN IS THE WHOLE-BUILDING VENTILATION EXHAUST FAN AND IS INTENDED TO OPERATE CONTINUOUSLY. NO SPECIFIC WORDING IS MANDATED, BUT THE WORDING NEEDS TO MAKE CLEAR WHAT THE CONTROL IS FOR AND THE IMPORTANCE OF OPERATING THE SYSTEM. THIS MAY BE AS SIMPLE AS "VENTILATION CONTROL" OR MIGHT INCLUDE WORDING SUCH AS: "OPERATE WHEN THE HOUSE IS IN USE" OR "KEEP ON EXCEPT WHEN GONE OVER 1 DAYS" OR "FAN IS TO BE LEFT ON TO ENSURE INDOOR AIR QUALITY."

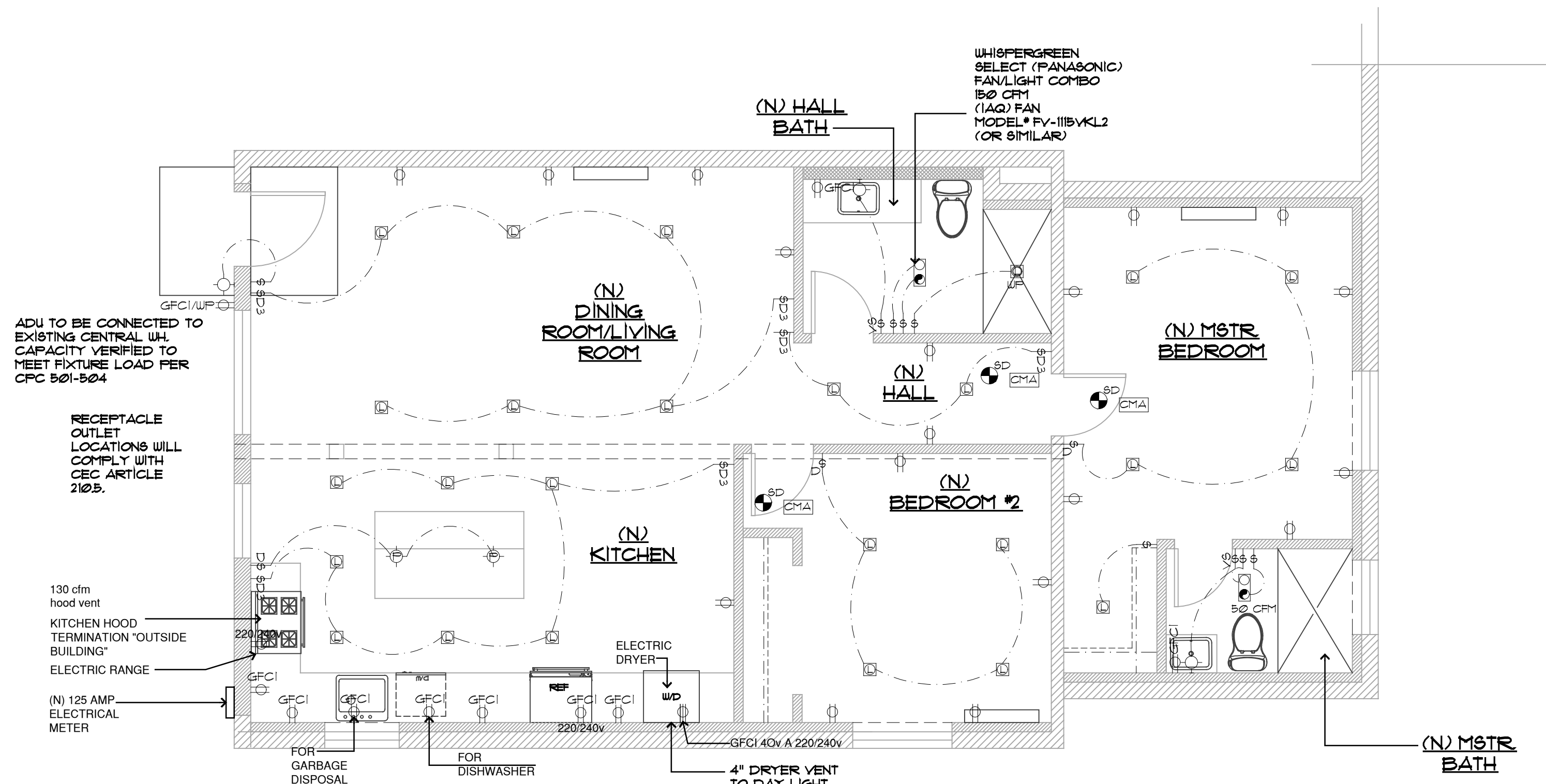
EQUATION 1500-B

$$Q_{tot} = 0.03A_{FLOOR} + 7.5 (Nbr + 1)$$

$$Q_{tot} = 0.03(385 SF.) + 7.5 (3 + 1) = 41.55 CFM$$



SEWER CLEANOUTS



ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

