

PURDUE
RESIDENCE
-
DECK

4736 GLEN STREET
LA MESA, CA 91941

DATE: MARCH 2024
PROJECT NO: 24-4736g

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY STANDARDS, AND THE BEST TRADE PRACTICES.
- ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY STATE LICENSED CONTRACTORS. CONTRACTORS SHALL SUBMIT ALL REQUIRED PERMITS, CERTIFICATES, AND SIGN-OFFS TO OWNER AND ARCHITECT FOR THEIR RECORDS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BE FAMILIAR WITH THE EXISTING CONDITIONS, AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMISSION OF CONSTRUCTION PROPOSAL AND BEFORE BEGINNING WORK. THE DRAWINGS REFLECT CONDITIONS REASONABLY INFERRED FROM THE EXISTING VISIBLE CONDITIONS BUT CANNOT GUARANTEED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS FOR TRADES SUCH AS ELECTRICAL, PLUMBING, ETC.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO THE PREMISES AT ALL TIMES.
- THE CONSTRUCTION MANAGER SHALL MAKE THE PREMISES SECURE FROM THE ELEMENTS AND TRESPASS ON A DAILY BASIS.
- THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS AND KEEP OUT ALL UNAUTHORIZED PERSONS. UPON COMPLETION OF WORK, THE ENTIRE CONSTRUCTION AREA IS TO BE THOROUGHLY CLEANED AND PREPARED FOR OCCUPANCY BY OWNER. ALL MATERIALS AND DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. CARE SHALL BE TAKEN DURING CONSTRUCTION THAT NO DEBRIS OR MATERIALS ARE DEPOSITED IN ANY RIGHT OF WAY AREA.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING AND NEW CONDITIONS AND MATERIALS ON THE SITE. ANY DAMAGE CAUSED BY OR DURING THE EXECUTION OF THE WORK IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- ALL UTILITIES SHALL BE CONNECTED TO PROVIDE GAS, ELECTRIC, AND WATER TO ALL EQUIPMENT WHETHER SAID EQUIPMENT IS IN CONTRACT OR NOT. EQUIPMENT SHALL BE GUARANTEED TO FUNCTION PROPERLY UPON COMPLETION.
- WRITTEN WORDS TAKE PRECEDENCE OVER DRAWN LINES. LARGE-SCALE DETAILS AND PLANS TAKE PRECEDENCE OVER SMALLER DETAILS AND PLANS. SHOULD A CONFLICT ARRIVE BETWEEN THE SPECIFICATIONS AND DRAWINGS, THE REQUIREMENTS DEEMED MOST STRINGENT SHALL BE USED.
- ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF STRUCTURE UNLESS OTHERWISE NOTED (UON).
- DOOR AND WINDOW DETAILS ARE INDICATED ON THE DOOR AND WINDOW SCHEDULES.
- DOOR AND WINDOW DIMENSIONS ARE TO CENTERLINES OF UNITS (UON).
- DUE TO REPROGRAPHICS PROCESSES THESE PLANS MAY NOT BE ACCURATE TO SCALE. THEREFORE CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSION STRINGS. CONTRACTOR SHALL NOTIFY RESIDENTIAL CONSULTANT OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, AND ALL LOCAL CODES HAVING JURISDICTION OVER THE WORK, INCLUDING BUT NOT LIMITED TO: CA TITLE 24 AND EACH OF THE BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, FIRE AND GREEN BUILDING STANDARD CODES.
- SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY OR APPEARS TO BE AN ERROR BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE RESIDENTIAL CONSULTANT AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO BE FOLLOWED.
- ALL SHORING AND BRACING SHALL BE IN ACCORDANCE WITH CURRENT REQUIREMENTS OF CAL OSHA & THE INDUSTRIAL ACCIDENT COMMISSION OF THE STATE OF CALIFORNIA AND OTHER PUBLIC AGENCIES HAVING JURISDICTION IS NOT THE RESPONSIBILITY OF ARCHITECT OR STRUCTURAL ENGINEER.
- THIS PLANS DO NOT PROVIDE COMPLETE FLASHING AND WATERPROOFING DETAILS. THE DESIGNER AND ENGINEER DO NOT REPRESENT THEMSELVES TO BE EXPERTS IN THE FIELD OF WATERPROOFING. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR THE ROOFING/DECKING SUBCONTRACTOR TO PROVIDE THE NECESSARY STANDARD OF CARE, WORKMANSHIP, AND MATERIALS TO COMPLETE THE ROOF AND DECKS IN A WATERTIGHT CONDITION. ROOF AND/OR DECK DAMAGES SHALL NOT BE ALLOWED TO RUN BEHIND ANY FASCIA BOARDS OR ONTO THE EXTERIOR FINISH OF THE STRUCTURE
- INSTALLED INSULATING MATERIAL SHALL HAVE BEEN CERTIFIED BY THE MANUFACTURER TO COMPLY WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.
- ALL INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF SECTIONS 19 OF THE C.B.C. OR LATEST ADOPTED CODES.
- ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, WEATHER-STRIPPED OR OTHERWISE SEALED.
- SITE CONSTRUCTED DOORS, WINDOWS AND SKYLIGHTS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING, AND SHALL BE WEATHER-STRIPPED (EXCEPT FOR UNFRAMED GLASS DOORS AND FIRE DOORS).
- MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTURER PER 2-531(A)1. AFTER JULY 1, 1993, MANUFACTURED FENESTRATION PRODUCTS MUST BE LABELED FOR U-VALUE ACCORDING TO NFRC PROCEDURES.
- INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARD PER SECTION 118 ENERGY EFFICIENCY STANDARD (E.E.S.).
- IF THE BUILDING INSPECTOR SUSPECTS HILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT MAY BE REQUIRED.
- CONTRACTOR TO VERIFY ALL QUANTITY COUNTS AND SIZES OF ASSEMBLIES (DOORS, WINDOWS, ETC.) PRIOR TO PURCHASING AND INSTALLING.
- ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1' RISE IN 20' OF HORIZONTAL RUN (5% GRADIENT) THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50 (2% SLOPE).
- CURB RAMPS SHALL BE CONSTRUCTED WHERE A PEDESTRIAN WAY CROSSES A CURB. THE PREFERRED LOCATION FOR CURB RAMPS IS IN THE CENTER OF EACH CROSSWALK. WHERE IT IS NECESSARY TO LOCATE A CURB RAMP IN THE CENTER OF THE CURB RETURN AND THE STREET SURFACES ARE MARKED TO IDENTIFY PEDESTRIAN CROSSWALKS, THE LOWER END OF THE CURB RAMP SHALL TERMINATE WITHIN THE CROSSWALKS.
- A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
- THE SURFACES OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL BE OF A CONTRAST FINISH FROM THE ADJACENT SIDEWALK

ABBREVIATIONS

ACI.	AMERICAN CONCRETE INSTITUTE
AFF.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
AB.	ANCHOR BOLT
AC.	ASPHALTIC CONCRETE
BLKG.	BLOCKING
BD.	BOARD
BLDG.	BUILDING
BUR.	BUILT UP ROOFING
CO2.	CARBON DIOXIDE
CLR.	CLEAR(ANCE)
CO.	CLEAN OUT
COL.	COLUMN
CONC.	CONCRETE
CMU.	CONCRETE MASONRY UNIT
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CJ.	CONTROL JOINT
CFL.	COUNTERFLASHING
CFT.	CUBIC FOOT
CYD.	CUBIC YARD
DET.	DETAIL
DIAG.	DIAGONAL
DIAM.	DIAMETER
DR.	DOOR
DN.	DOWN
DS.	DOWNSPOUT
D.	DRAIN
EA.	EACH
EW.	EACH WAY
EL/ELEV.	ELEVATION
ELEC.	ELECTRICAL
EMER.	EMERGENCY
EQ.	EQUAL
EXH.	EXHAUST
EB.	EXPANSION BOLT
EJ.	EXPANSION JOINT
FOS.	FACE OF STUD
FT.	FEET
FIN.	FINISH(ED)
FFE.	FINISHED FLOOR ELEVATION
FFL.	FINISHED FLOOR LINE
FD.	FLOOR DRAIN
FND.	FOUNDATION
FTG.	FOOTING
FLR.	FLOOR
GA.	GAUCHE
GL.	GLASS, GLAZING
GALV.	GALVANIZED
GYP. BD.	GYPNUM BOARD
GFRC.	GLASS FIBER REINFORCED CONCRETE
HDW.	HARDWARE
HVAC.	HEATING, VENTILATING AIR CONDITIONING
HT.	HEIGHT
HM.	HOLLOW METAL
HYD.	HYDRANT
HC.	HOLLOW CORE
ID.	INSIDE DIAMETER
INSUL.	INSULATION
JT.	JOINT
LT.	LIGHT
LW.	LIGHTWEIGHT
LBS.	POUNDS
MFR.	MANUFACTURE
MEP.	MECHANICAL, ELECTRICAL & PLUMBING
MOE.	MEANS OF EGRESS
MTL.	METAL
MIN.	MINIMUM
MULL.	MULLION
MECH.	MECHANICAL
NIC.	NOT IN CONTRACT
NTS.	NOT TO SCALE
NO.	NUMBER
OC.	ON CENTER
OPG.	OPENING
OD.	OUTSIDE DIAMETER
OH.	OVERHEAD
OCFI.	OWNER FURNISHED / CONTRACTOR INSTALLED
POC.	POINT OF CONNECTION
PR.	PAIR
PROW.	PUBLIC RIGHT OF WAY
PWD.	PLYWOOD
PVC.	POLYVINYL CHLORIDE
PIV.	POST INDICATOR VALVE
RAD.	RADIUS
REF.	REFERENCE
RCP.	REFLECTED CEILING PLAN
REV.	REVISION(S), REVISED
RD.	ROOF DRAIN
RDL.	ROOF DRAIN LEADER
RM.	ROOM
R.	RISER
RO.	ROUGH OPENING
ROOM.	ROOM
RM.	ROOM
S/STL.	STAINLESS STEEL
STRL.	STRUCTURAL
SPEC.	SPECIFICATIONS
SHT.	SHEET
SIM.	SIMILAR
SC.	SOLID CORE
STC.	SOUND TRANSMISSION COEFFICIENT
STD.	STANDARD
SD.	STORM DRAIN
THK.	THICK(NESS)
TBD.	TO BE DETERMINED
TEL.	TELEPHONE
TO.	TOP OF (..)
T.O.CONC.	TOP OF CONCRETE
TOF.	TOP OF FRAMING
T.O.STL.	TOP OF STEEL
TOW.	TOP OF WALL
T.	TREAD
TYP.	TYPICAL
UL.	UNDERWRITERS LABORATORY
UON.	UNLESS OTHERWISE NOTED
VIF.	VERIFY IN FIELD
VERT.	VERTICAL
WH.	WATER HEATER
WP.	WATERPROOFING
W/O.	WITHOUT
W/.	WITH
⊥	PERPENDICULAR
@	AT
+	AND
Ø	DIAMETER
#	NUMBER
X	LETTER
℄	PROPERTY LINE

SCOPE OF WORK

- (E) WOOD DECK CONSISTING OF:
- ADDITION: WOOD DECK (328.75 SQ. FT.) EXTERIOR STAIRCASE W/ LANDING (46.56 SQ. FT.)
 - DEMOLITION: WOOD STAIRCASE LEADING TO ENTRANCE (33.00 SQ. FT.) BRICK PLANTER AT FINISHED FLOOR (10.67 SQ. FT.)

PROJECT DATA

PROJECT ADDRESS:	(E) 1-STORY BUILDING MULTIFAMILY: - 4736 GLEN STREET, LA MESA, CA 91941
A.P.N.:	494-492-03-00
LEGAL DESCRIPTION:	LOT 78 PAR ROS 3052 IN
SUBDIVISION:	LA MESA HIGHLANDS TRAC #3
LOT AREA:	6,912 SQUARE FEET (0.16 A)

PROJECT INFORMATION

CONSTRUCTION TYPE:	TYPE V-B
YEAR BUILT:	1955
UTILITIES SERVING SITE:	FIRE SPRINKLERS: NONE SEWER: YES SEPTIC: NO NATURAL GAS: YES ELECTRIC: YES
FIRE SPRINKLERS NFPA 13D:	(E) 2-STORY D.U.: NO

ZONING INFORMATION

ZONING DESIGNATION	R1S-P
OCCUPANCY GROUP:	SUBURBAN RESIDENTIAL
USE CATEGORY:	SINGLE-FAMILY RESIDENTIAL
SETBACKS:	FRONT YARD: 20' MIN. SIDE YARD: 10' MIN. REAR YARD: 30' MIN.
HEIGHT LIMIT:	20.00 FEET (PRIMARY BUILDING)
PARKING REQUIREMENTS:	N/A

AGENCY AND CODE

GOVERNING AGENCY:	CITY OF LA MESA DEVELOPMENT SERVICES DEPARTMENT 8130 ALLISON AVENUE LA MESA, CA 91942
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GOVERNING CODE: ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO THE REQUIREMENTS OF THE FOLLOWING AND ANY OTHER STATE AND LOCAL CODES HAVING JURISDICTION

- 2022 CALIFORNIA RESIDENTIAL CODE AND
- 2022 CALIFORNIA GREEN BUILDING CODE STANDARD CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

THE PROJECT WILL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED CITY OF LA MESA AMENDMENTS.

SYMBOLS

	DOOR TAG		EXTERIOR ELEVATION
	WINDOW TAG		INTERIOR ELEVATION
	BUILDING SECTION		ELEVATION
	WALL SECTION		COLUMN GRID
	DETAIL VIEW CALLOUT		REVISION TAG
	CENTER LINE		

SHEET INDEX

C000	COVER SHEET
COVER: 1	
GN01	GENERAL NOTES & INFORMATION
GN02	CAL GREEN
GN03	CAL GREEN
GN04	PHOTO SURVEY
GENERAL NOTES: 4	
A100	SITE PLAN
A103	EXISTING DEMO SITE PLAN
A200	FLOOR PLAN
A401	DECK ELEVATION
A501	SECTIONS
ARCHITECTURAL: 5	

PROJECT CONTACTS

OWNER / FINACIALLY RESPONSIBLE PARTY
LAWRENCE AND NOWELL PURDUE
4736 GLEN DRIVE
LA MESA, CA 91941
[619] 316-9924

DESIGNED BY
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PERALTA DESIGN GROUP, LLC
2220 OTAY LAKES RD.
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CHULA VISTA, CA 91915
[619] 778-7739
contact@sergioperalta.com

DEFERRED SUBMITTAL

DEFERRED SUBMITTAL(S) SHALL BE PROVIDED FOR THE FOLLOWING BUILDING COMPONENTS/ELEMENTS:
1. N/A

- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL BY THE CONTRACTORS & SUBCONTRACTORS.
- DEFERRED SUBMITTAL DOCUMENTS IN ADDITION TO THE SEAL OF THE RESPONSIBLE ENGINEER, SHALL BEAR THE SHOP DRAWING APPROVAL STAMPS OF THE PROJECT ENGINEER OF RECORD, AND THE GENERAL CONTRACTOR ON ALL SHEETS OF PLANS AND COVER OF THE CALCULATIONS.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF THIRTY CALENDAR DAYS FOR THE INITIAL PLAN REVIEW TURN-AROUND.
- DEFERRED SUBMITTAL ITEMS SHALL NOT BE FABRICATED / INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

VICINITY MAP



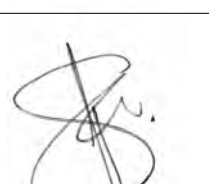
PERALTA DESIGN GROUP, LLC
2220 OTAY LAKES RD.
STE. 502 PMB 129
CHULA VISTA, CA 91915
[619] 778-7739
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PROJECT: PURDUE RESIDENCE - DECK

4736 GLEN STREET
LA MESA, CA 91941

DATE:	MAY 2023
PROJECT NO	24-4736g
REVISION	DATE

NOTES:
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PERALTA DESIGN GROUP, LLC
SERGIO A. PERALTA,
ASSOC. AIA (DESIGNER)

GENERAL NOTES & INFORMATION

SCALE: 1/4" = 1'-0"

GN01

DRAWN BY: Author

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y NA RESPON PARTY YES APPLICABLE RESPONSIBLE PARTY (BY ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code.

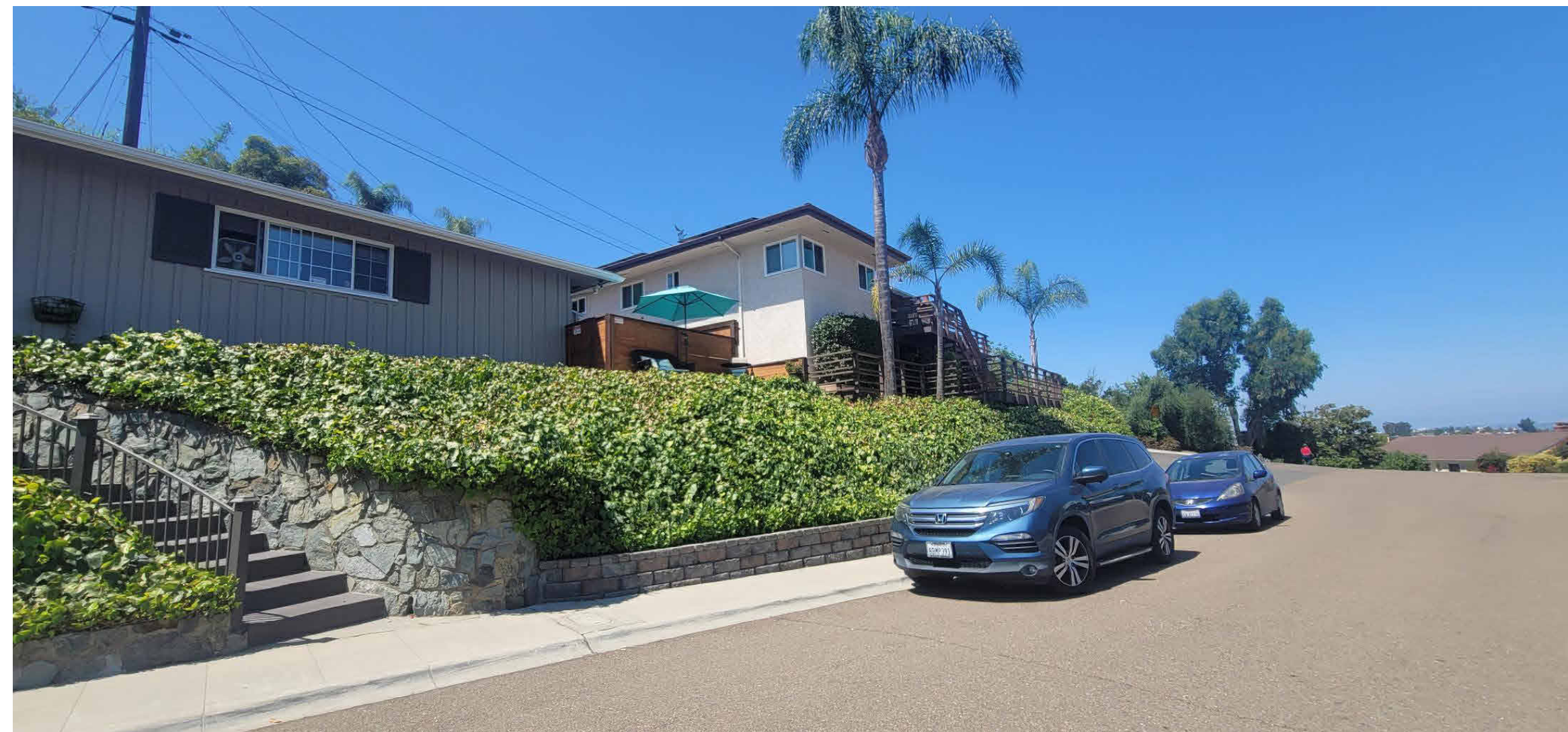
4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2.

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.

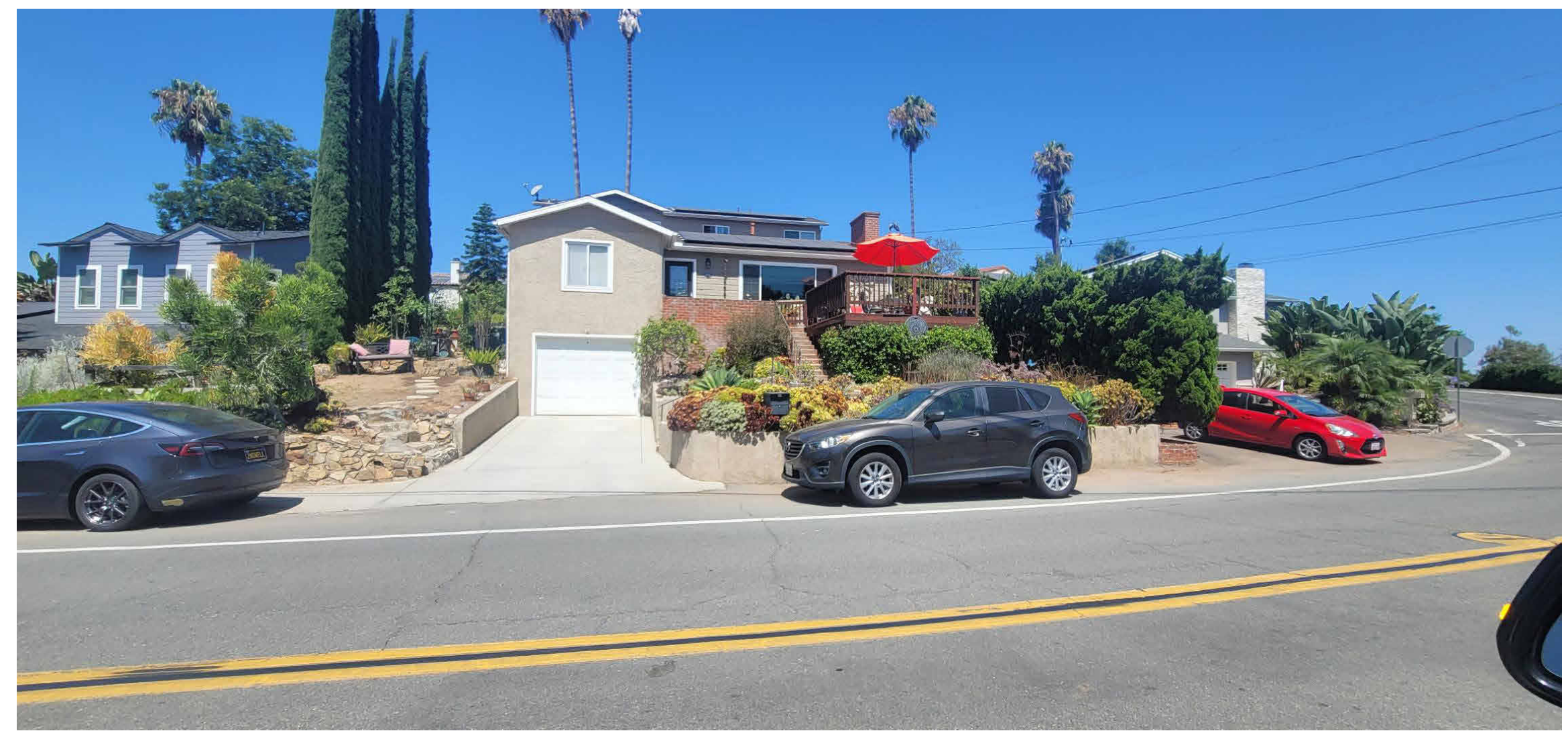
4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS.

GN02



4767 BOULDER PLACE
(NEARBY SITE)



4736 GLEN STREET
(PROJECT SITE)

REVISION	DATE

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GENERAL NOTES

1. NO WORK SHALL COMMENCE UNTIL ALL NECESSARY PERMITS HAVE BEEN OBTAINED FROM THE CITY AND OTHER APPROPRIATE AGENCIES.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION AT 619-667-1166 AT LEAST 48-HOURS PRIOR TO COMMENCEMENT OF ANY TYPE OF GRADING OR CONSTRUCTION ACTIVITY.
3. ALL EXISTING UTILITIES OR STRUCTURES REPORTED BY THE UTILITY COMPANIES ARE INDICATED HEREON BASED ON INFORMATION OF RECORD AND MAY BE SCHEMATIC IN NATURE. IT SHALL BE THE DUTY OF THE CONTRACTOR TO MAKE A DETERMINATION AS TO THE ACTUAL LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL HE/SHE HAS MADE THIS DETERMINATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS/HER FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES. CALL UNDERGROUND SERVICE ALERT AT 1-800-422-4133 AT LEAST TWO WORKING DAYS BEFORE STARTING CONSTRUCTION.
4. THE CENTERLINE STATIONING SHOWN ON THESE PLANS IS BASED ON CITY DWG# 0125, 0126.
5. NO WORK PROPOSED IN THE PUBLIC RIGHT OF WAY AS PART OF THIS BUILDING PERMIT APPLICATION.
6. PROPERTY OWNER SHALL MAINTAIN ALL DRAINAGE FACILITIES LOCATED WITHIN THE PARCEL AND BE RESPONSIBLE TO PREVENT DAMAGE TO DOWNSTREAM WORK UNTIL THE CONSTRUCTION IS COMPLETED.
7. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO LOCATE PROPERTY LINES AND CONFORM TO SET BACK REQUIREMENTS.
8. PROPERTY OWNERS TO MAINTAIN THE BACKWATER VALVE PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO THE CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. AT THE END OF EACH WORKDAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S, WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET. A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET.
10. ALL STOCKPILES OF SOIL AND OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
11. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS, WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
12. THE STORAGE OF ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
13. ALL EXISTING DRAINAGE INLETS TO BE PROTECTED DURING CONSTRUCTION, AND MEANS OF PROTECTION TO BE VISIBLE DURING INSPECTIONS.

STORM WATER MANAGEMENT & DISCHARGE CONTROL

1. THE CONTRACTOR SHALL COMPLY WITH CITY MUNICIPAL CODE CHAPTER 7.18 (STORM WATER MANAGEMENT AND DISCHARGE CONTROL).
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A PLAN TO IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) TO ELIMINATE SAND, SILT, CONCRETE WASH, DEBRIS OR POLLUTANT DISCHARGE TO THE PUBLIC STREETS AND STORM DRAIN SYSTEM. SUCH PLAN SHALL BE SUBMITTED TO AND REVIEWED BY THE CITY ENGINEER PRIOR TO COMMENCEMENT OF ANY GRADING OR CONSTRUCTION ON THE SITE.
3. THE CONTRACTOR SHALL IMPLEMENT THE EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLANS AND TAKE IMMEDIATE REMEDIAL AND PREVENTIVE ACTION WHEN POLLUTANT DISCHARGE OCCURS AND/OR AS DIRECTED BY THE CITY ENGINEER OR THE BUILDING OFFICIAL. THE CONTRACTOR SHALL BE REQUIRED TO PLACE ADDITIONAL EROSION CONTROL MATERIALS AS THE SITE CONDITIONS WARRANT.
4. PAVED AREAS SHALL BE SWEEPED BY COMBINATION OF POWER BROOM AND/OR AIR VACUUM SWEEPERS.
5. ALL OF THE ABOVE CONDITIONS SHALL APPLY STARTING THE FIRST DAY OF GRADING AND/OR CONSTRUCTION AND SHALL REMAIN IN EFFECT UNTIL ALL GRADING AND/OR CONSTRUCTION WORK HAS BEEN COMPLETED.

SOURCE OF TOPOGRAPHY

THE CONTOURS/TOPD ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEY AND MEASUREMENTS PERFORMED ON 1/17/2023 BY RANCHO LAND COMPANY, LS NO. 8380. CONTOURS VERIFIED BY VALUE ENGINEERING ON 02/17/2023.

DEVELOPER'S/OWNER'S CERTIFICATE

THE DEVELOPER/OWNER ACKNOWLEDGES THAT THE CITY'S REVIEW OF THE PLANS IS MINOR IN COMPARISON TO THE TIME THAT THE DEVELOPER'S/OWNER'S DESIGN TEAM SPENDS IN DESIGNING AND DRAFTING THE PLANS. IT IS THE RESPONSIBILITY OF THE DESIGN TEAM TO THOROUGHLY REVIEW EXISTING LOCAL, STATE, FEDERAL RULES AND LAWS, CONDITIONS, PLANS AND DESIGN GUIDELINES. IN ADDITION, THE DESIGN TEAM SHALL THOROUGHLY REVIEW PLANS FROM OTHER DISCIPLINES TO ENSURE THE PROJECT PLANS ARE CLEAR AND THERE ARE NO CONFLICTS. IT IS UNDERSTOOD THAT A FAILURE TO PRODUCE ACCURATE, NON-CONFLICTING PLANS WILL LIKELY RESULT IN DELAYS. THESE DELAYS CAN BE IN THE FORM OF FAILED INSPECTIONS, STOP WORK NOTICES, CONSTRUCTION CHANGES AND ADDITIONAL FEES.

THE DEVELOPER/OWNER ACKNOWLEDGES THAT SHOULD THE CONTRACTOR DEVIATE FROM THE PLANS OR THE STANDARDS REFERENCED IN THE PLANS THAT THIS WILL RESULT IN DELAYS, DEVIATIONS CAN RESULT IN A STOP WORK NOTICE AND/OR ADDITIONAL INSPECTIONS AND FEES. AT THE PRE-CONSTRUCTION MEETING THE CITY WILL INFORM THE CONTRACTOR THAT THEY SHOULD CONTACT THE DESIGN TEAM IN CASE THERE ARE ANY CONFLICTS IN THE PLANS. THE CITY'S INSPECTOR MAY INTERPRET THE PLANS, BUT THE CONTRACTOR SHALL CONTACT THE DESIGN TEAM FOR CLARIFICATION AND FINAL DETERMINATION.

THE DEVELOPER/OWNER ACKNOWLEDGES AND SHALL HAVE THE ENGINEER OF WORK MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THE PLANS WHICH THE CITY ENGINEER OR THE ENGINEER OF WORK DETERMINE ARE NECESSARY AND DESIRABLE. ALL PLAN CHANGES SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO THE CONSTRUCTION AND IT IS UNDERSTOOD SHOULD CONSTRUCTION PROCEED WITHOUT APPROVAL, THE IMPROVEMENTS MAY BE REJECTED, DEMOLISHED AND/OR RECONSTRUCTED AT NO COST TO THE CITY.

THE DEVELOPER/OWNER ACKNOWLEDGES THAT THE ENGINEER OF WORK IS REQUIRED AND SHALL VERIFY THAT ALL ITEMS AS SHOWN ON THE PLANS ARE CONSTRUCTED PER THE PLAN AND ANY CHANGES NOTED AS PART OF THE AS-BUILT PROCESS. THE RELEASE OF PROJECT'S SECURITY/DEPOSITS SHALL NOT OCCUR UNTIL AFTER THE AS-BUILT PROCESS HAS BEEN COMPLETED. A REFUNDABLE CASH DEPOSIT OF \$200/SHEET IS DUE WHEN THE GRADING OR ENCROACHMENT PERMIT IS APPLIED FOR AND WILL BE USED BY THE CITY TO OBTAIN AS-BUILT DRAWING INFORMATION IN INSTANCES WHERE AS-BUILTS WERE NOT PROPERLY FILED PRIOR TO RELEASE OF BONDS AND OBTAINING FINAL OCCUPANCY.

SIGNATURE	DATE
LAWRENCE & NOWELL PURDUE	
DEVELOPER/OWNER NAME	
4736 GLEN STREET, LA MESA, CA 91941	
ADDRESS	
LAWRENCE PURDUE	[619] 316-9924
CONTACT PERSON	PHONE NO.

ARCHITECT / ENGINEER OF WORK

BY SIGNING BELOW THE ARCHITECT OR ENGINEER STATES THEY HAVE REVIEWED ALL APPLICABLE ACCOMPANYING PLAN SETS AND VERIFIED THE CONSISTENCY OF THE INFORMATION BETWEEN EACH DISCIPLINE, INCLUDING BUT NOT LIMITED TO: CURRENT AS-BUILT RECORD INFORMATION FOR ALL UTILITY AGENCIES (SDG&E, COX CABLE, AT&T, AND CITY OF LA MESA FIBER/ELECTRICAL CONDUITS), CIVIL ARCHITECTURAL AND LANDSCAPING. THEY VERIFY THEIR REVIEW OF THE ADA PATH OF TRAVEL IN THE R.O.W. WITH THE ON-SITE ELEVATIONS TO ENSURE THEY COMPLY. THEY UNDERSTAND THAT FAILURE TO DO SO MAY RESULT IN CONSTRUCTION CHANGES OR CHANGE ORDERS AND ASSOCIATED REVIEW AND INSPECTION FEES. THE ARCHITECT OR ENGINEER ALSO ACKNOWLEDGES THEY HAVE READ AND UNDERSTAND THE DEVELOPER, OWNER'S CERTIFICATE.

"I HEREBY DECLARE THAT I AM THE ARCHITECT / ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 9703 OF THE BUSINESS & PROFESSIONS CODE AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF LA MESA IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN."

ARCHITECT / ENGINEER OF WORK	LICENSE NO.
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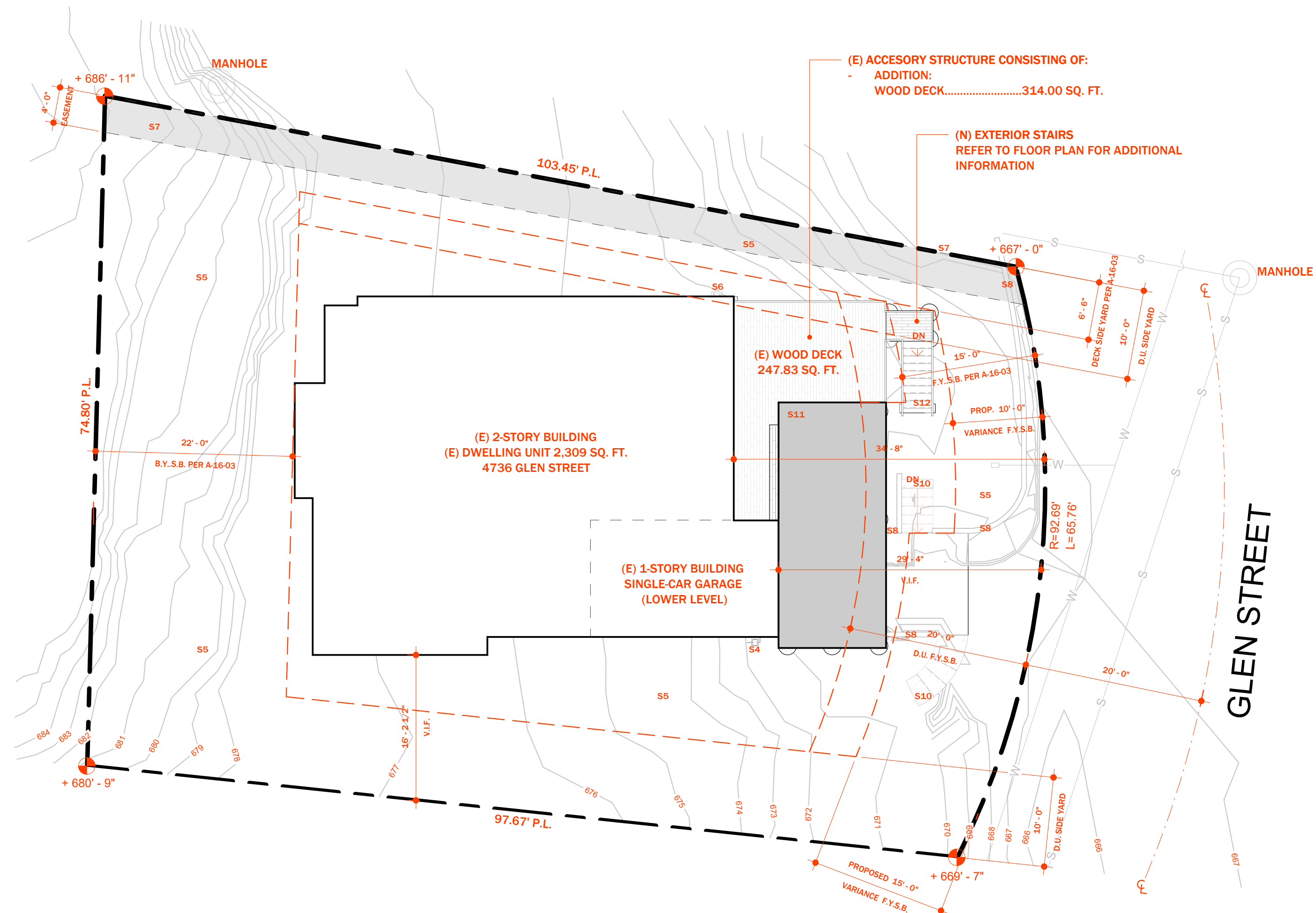
REQUIRED PERMITS

1. OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION FOR WORK IN THE PUBLIC RIGHT-OF-WAY. ENCROACHMENT PERMIT FEES ARE BASED ON THE CITY'S CURRENT FEE SCHEDULE. A CASH DEPOSIT OR PERFORMANCE BOND SHALL BE POSTED FOR THE ESTIMATED COST OF THE INSTALLATION OF THE PUBLIC IMPROVEMENTS. ESTIMATE SHALL BE PREPARED BY A REGISTERED CIVIL ENGINEER AND BE APPROVED BY THE CITY ENGINEER. A SEPARATE TRAFFIC CONTROL PLAN WILL BE REQUIRED (SEE APPENDIX "A" OF THE SAN DIEGO REGIONAL STANDARDS).
2. ENCROACHMENT REMOVAL AGREEMENT, SUBJECT TO APPROVAL OF THE CITY ENGINEER, SHALL BE EXECUTED FOR ANY TYPE OF PRIVATE IMPROVEMENT ENCROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT (E.G.: RETAINING WALL, FOOTING, FENCE, STEPS, SIGNS, STAMPED CONCRETE, ASPHALT CONCRETE DRIVEWAY, ETC.).
3. A GRADING PERMIT SHALL BE REQUIRED FROM THE BUILDING DEPARTMENT.
4. A LETTER OF PERMISSION IS REQUIRED FROM ADJACENT PROPERTY OWNERS IF GRADING AND / OR ANY OTHER WORK WILL BE PERFORMED ON OFF SITE PROPERTIES.

NOTE: AS PART OF THE CITY'S BACKFLOW PREVENTION PROGRAM ENFORCED BY THE BUILDING DEPARTMENT, IT IS THE RESPONSIBILITY OF THE HOMEOWNER TO VERIFY THE FOLLOWING INFORMATION WHEN MAKING THE DETERMINATION WHETHER THEY NEED TO HAVE A BACKFLOW PREVENTION VALVE INSTALLED ON THEIR EXISTING OR NEW SEWER LATERAL.

THE RIM ELEVATION OF THE NEAREST UPSTREAM SEWER MANHOLE ON THE SEWER MAIN AND THE LOWEST FINISH FLOOR OR LOWEST WASTE WATER FIXTURE UNIT (EXISTING OR NEW) SHALL BE IDENTIFIED. IF THE RIM ELEVATION OF THE LOWEST FIXTURE ELEVATION, PLUS AN ADDITIONAL 2 FEET, IS LOWER THAN THE RIM ELEVATION OF THE UPSTREAM PUBLIC OR PRIVATE SEWER MANHOLE, A BACKWATER VALVE SHALL BE REQUIRED TO BE INSTALLED ON THE SEWER LATERAL ON PRIVATE PROPERTY PER THE UNIFORM PLUMBING CODE.

NOTE: EXISTING TREES TO REMAIN. DO NOT REMOVE.



1 SITE PLAN
SCALE: 1" = 10'-0"

SITE PLAN GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO START CONSTRUCTION
- STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING SUSPECTS FLL, EXPANSE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTING OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.
- ALL PROPERTY LINES (REAL AND ASSUMED), EASEMENTS AND BUILDINGS (BOTH EXISTING AND PROPOSED), ARE SHOWN ON THIS SITE PLAN.
- CPC 708.0 GRADE OF HORIZONTAL DRAINAGE (SEWER) PIPING (SLOPE), HORIZONTAL DRAINAGE PIPING SHALL BE RUN IN PRACTICAL ALIGNMENT AND UNIFORM SLOPE OF NOT LESS THAN ONE FOURTH (1/4) INCH PER FOOT (20.9 MM/M) OR TWO (2) PERCENT TOWARD THE POINT OF DISPOSAL.
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM), SECTION R401.3
- STORM WATER RUNOFF FROM PROPOSED IMPERVIOUS AREAS WILL BE ROUTED TO LANDSCAPE AREAS OR PLANTER BOXES, PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
- NO WORK WILL BE PERFORMED IN THE PUBLIC RIGHT OF WAY.
- THE EXISTING GRADE WILL NOT BE MODIFIED UNLESS NOTED OTHERWISE.
- IF A SPECIAL INSPECTION IS REQUIRED, REFER TO THE SPECIAL INSPECTION FORM.
- EXCESS CUT MATERIAL SHALL BE USED ON-SITE.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, PAVING, AND LANDSCAPING IN PLACE DURING CONSTRUCTION.
- IF A SPECIAL INSPECTION IS REQUIRED, REFER TO THE SPECIAL INSPECTION FORM.

SITE PLAN LEGEND

	AREA OF WORK		(E) WATER LINE PER
	PROPERTY LINE		(N) WATER LINE
	SETBACK LINE		(E) HOSE BIBB
	(E) GAS LINE		(N) HOSE BIBB
	(N) GAS LINE		(E) DOWNSPOUT
	(E) SEWER MAIN		(N) DOWNSPOUT
	(N) SEWER LINE		

SITE PLAN KEYNOTES

- S4 (E) GAS METER TO REMAIN, NO WORK (U.O.N.)
- S5 (E) LANDSCAPE TO REMAIN, NO WORK (U.O.N.)
- S6 (E) ELECTRICAL METER TO REMAIN, NO WORK (U.O.N.)
- S7 (E) 4" SANITARY SEWER EASEMENT
- S8 (E) 3' RETAINING WALL TO REMAIN
- S9 (E) WOOD DECK TO REMAIN
- S10 (E) MONOLITHIC STEPS TO REMAIN
- S11 (N) WOOD DECK
- S12 (N) WOOD STAIRCASE

CUT QUANTITIES:.....	0 C.YD.
FILL QUANTITIES:.....	0 C.YD.
IMPORT/EXPORT:.....	0 CYD
MAX CUT DEPTH UNDER BUILDING:.....	18 INCHES

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRES A SEPARATE CONDITIONAL USE PERMIT.

TOTAL AREA:.....	4,818.67 S.F.
(E) IMPERVIOUS AREA:.....	4,818.67 S.F.
(N) IMPERVIOUS AREA:.....	0 S.F.
IMPERVIOUS AREA INCREASE:.....	0%
STORM WATER CONTACT: LAWRENCE AND NOWELL PURDUE	
PH:	AFTER HRS:
WDID NO.: N/A	PROJECT PRIORITY: LOW



PERALTA DESIGN GROUP, LLC
2220 OTAY LAKES RD.
STE. 302 PMB 139
CHULA VISTA, CA 91915
(619) 778-7739
contact@peralta.com

PROJECT: PURDUE RESIDENCE - DECK

4736 GLEN STREET
LA MESA, CA 91941

DATE:	04/19/21
PROJECT NO:	24-4736g
REVISION	DATE

NOTES:
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PERALTA DESIGN GROUP, LLC
SERGIO A. PERALTA,
ASSOC. AIA (DESIGNER)

SITE PLAN

SCALE: As indicated

A100

DRAWN Author

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DEMOLITION GENERAL NOTES

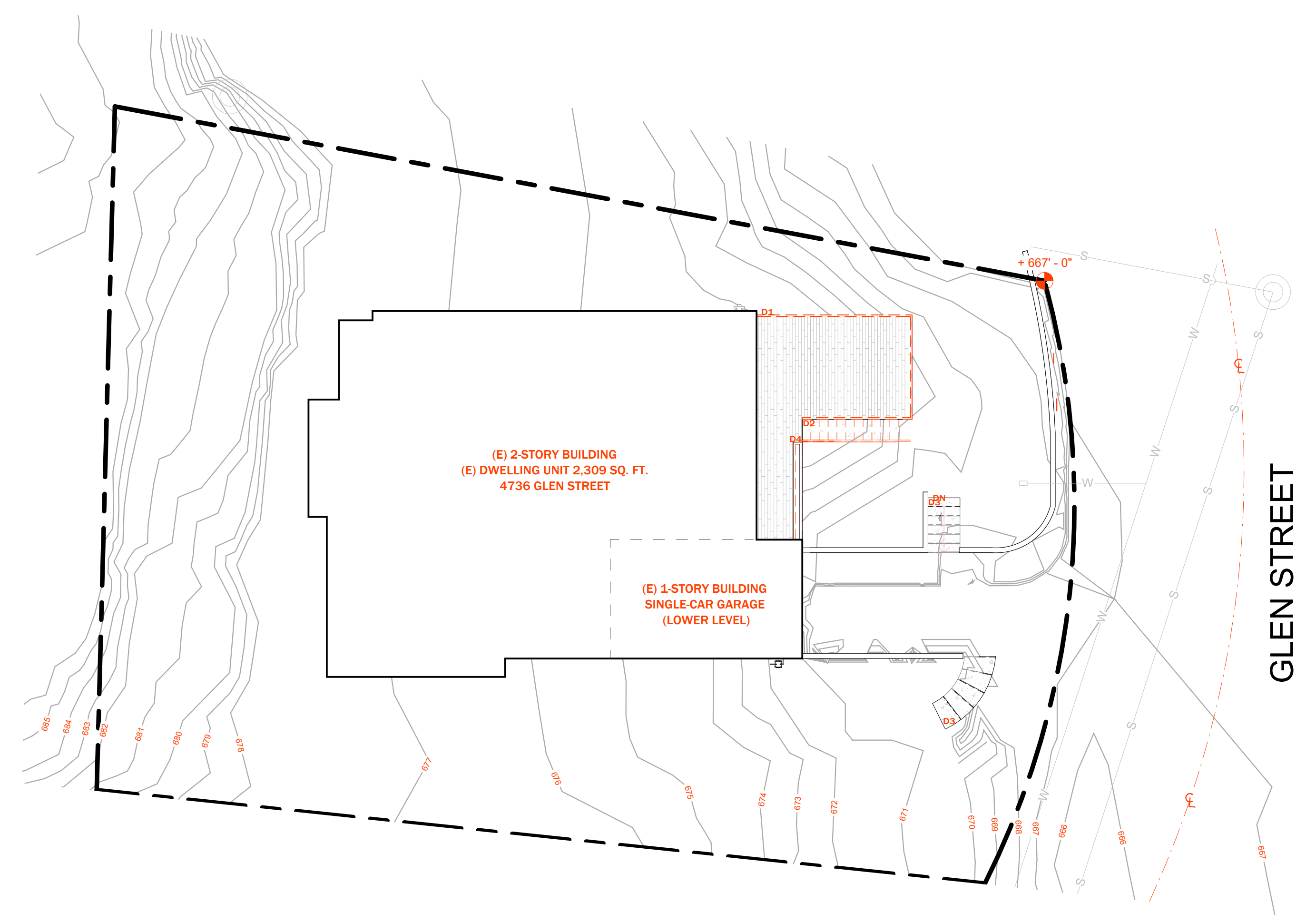
1. CONTRACTOR TO PROTECT ALL EXISTING TO REMAIN DURING CONSTRUCTION PROCESS.
2. IF DURING THE DEMOLITION PROCESS, THE CONTRACTOR FINDS ANY ISSUE THAT WILL IMPACT THE STRUCTURAL INTEGRITY, UTILITIES SYSTEM, OR ANY OF THE NEW CONSTRUCTION, HE/SHE WILL INFORM THE DESIGNER AS TO ADDRESS THEM.
3. THE EXISTING GRADE WILL NOT BE ALTERED.

DEMOLITION LEGEND

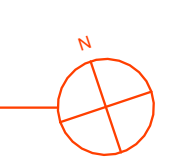
- EXISTING WALL TO REMAIN, TYPICAL PROTECT IN PLACE DURING CONSTRUCTION
- - - EXISTING WALL TO BE DEMOLISHED

DEMOLITION KEYNOTES

- D1 (E) DECK RAILING TO BE REMOVED. PREPARE FOR REPLACEMENT PER PLAN.
- D2 (E) WOOD STEPS TO BE DEMOLISHED.
- D3 (E) MONOLITHIC STEPS TO BE REMAIN.
- D4 (E) PLANTER WALL TO BE DEMOLISHED.



1 EXISTING/DEMO SITE PLAN
SCALE: 1" = 10'-0"



PROJECT:
**PURDUE
RESIDENCE -
DECK**

4736 GLEN STREET
LA MESA, CA 91941

DATE:	03/27/20
PROJECT NO:	24-4736g
REVISION	DATE

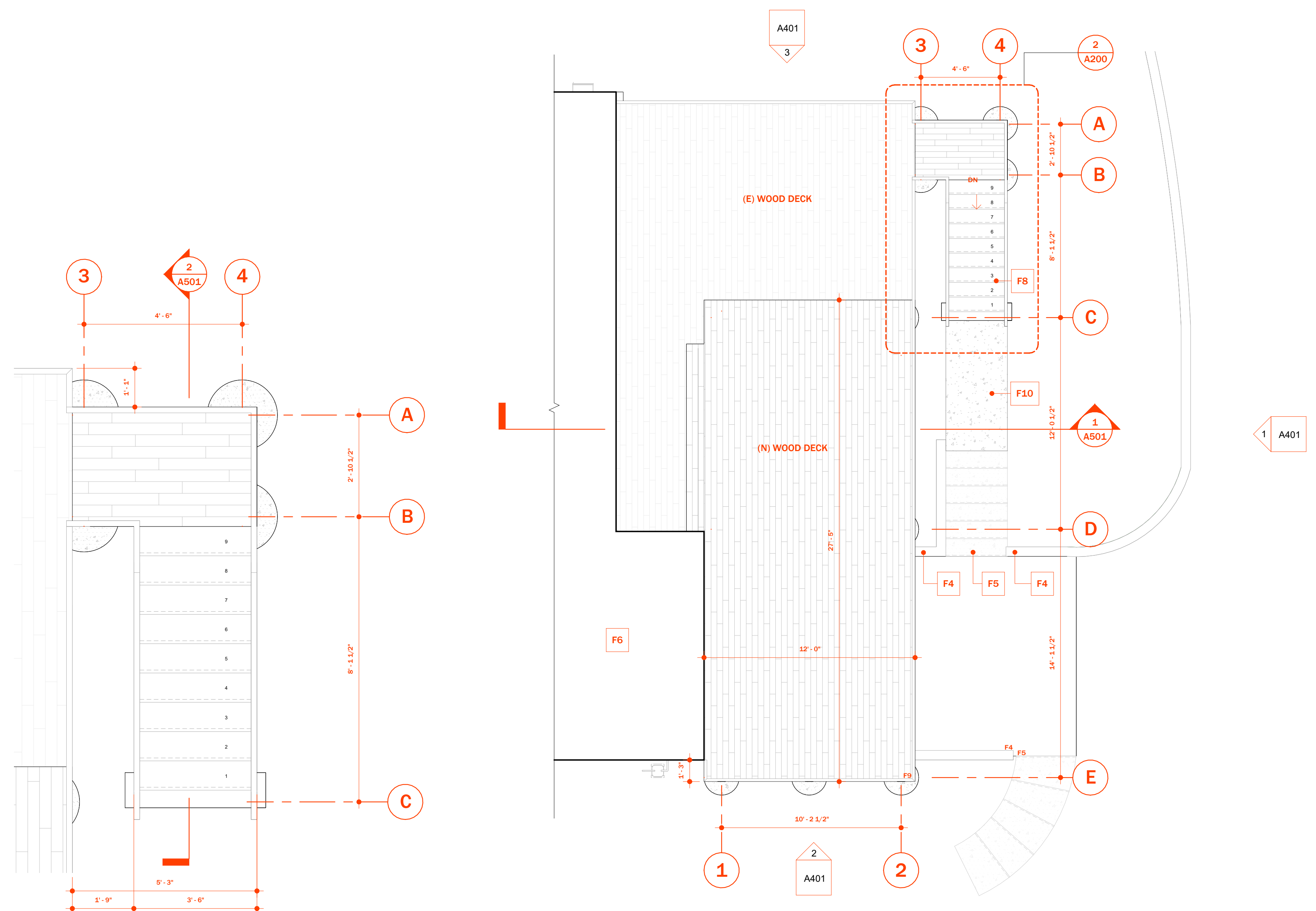
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FLOOR PLAN GENERAL NOTES

1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN KEYNOTES

- F4 (E) RETAINING WALL
- F5 (E) MONOLITHIC CONCRETE STEPS
- F6 (E) DWELLING UNIT
- F8 (N) WOOD STAIRCASE
- F9 (N) 42" HT. RAILING
- F10 (E) CONCRETE LANDING



2 (N) STAIRCASE PLAN
SCALE: 1/2" = 1'-0"

1 DECK FLOOR PLAN
SCALE: 1/4" = 1'-0"

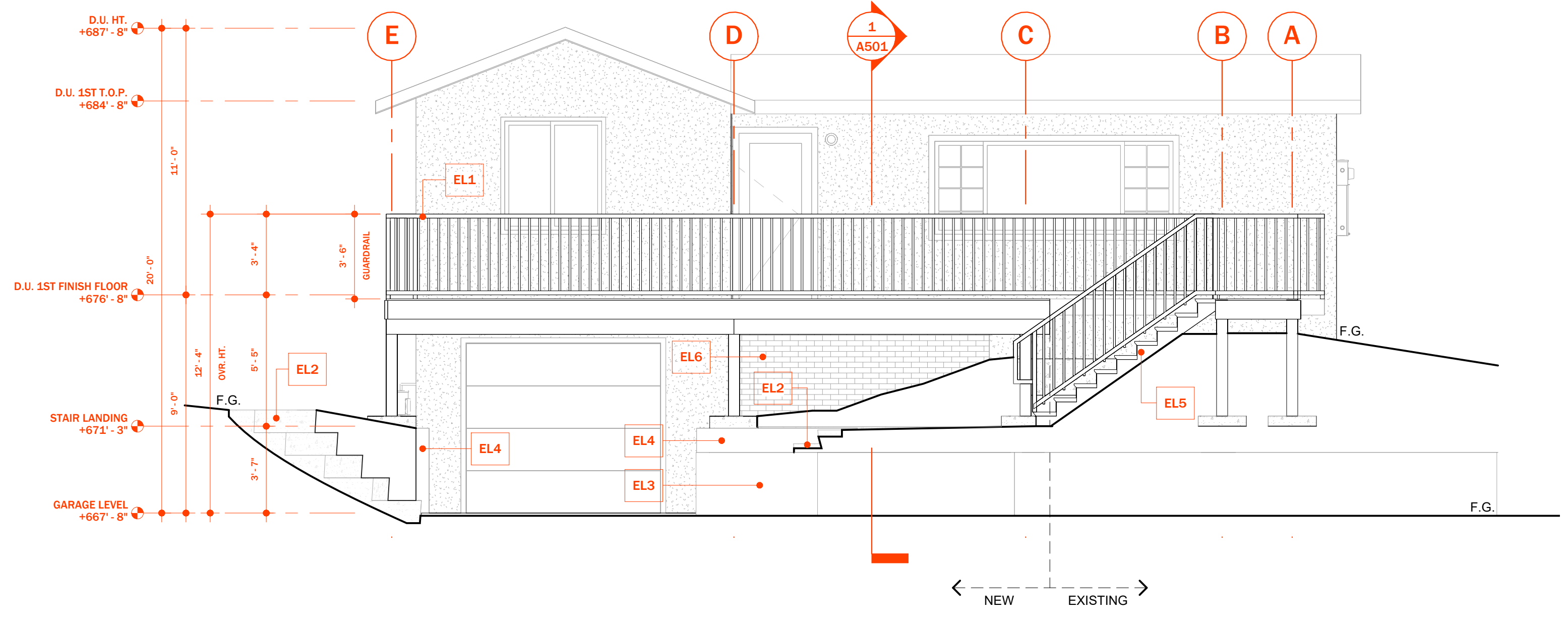
PERALTA DESIGN GROUP, LLC
SERGIO A. PERALTA,
ASSOC. AIA (DESIGNER)

**FLOOR
PLAN**

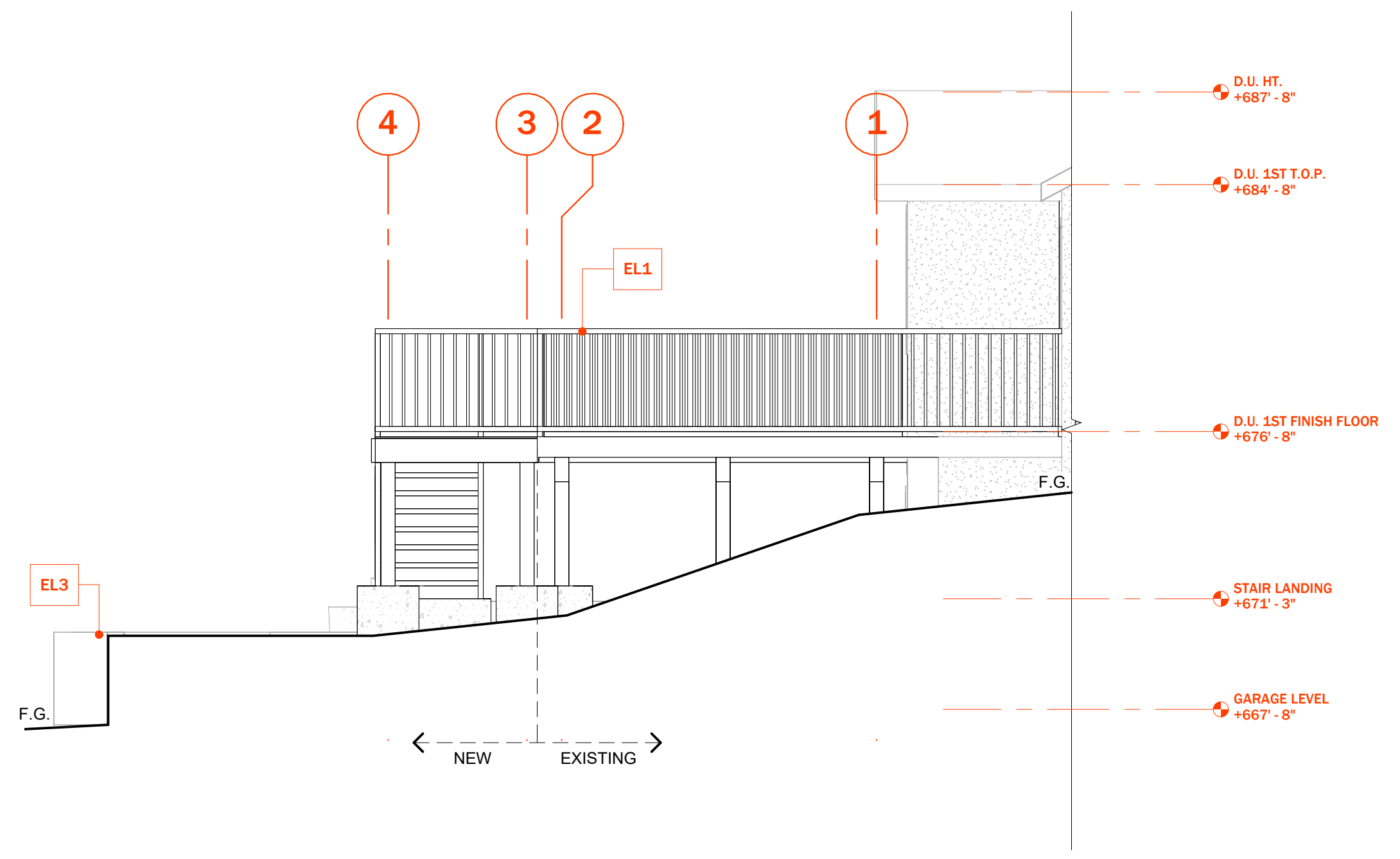
SCALE: As indicated

A200

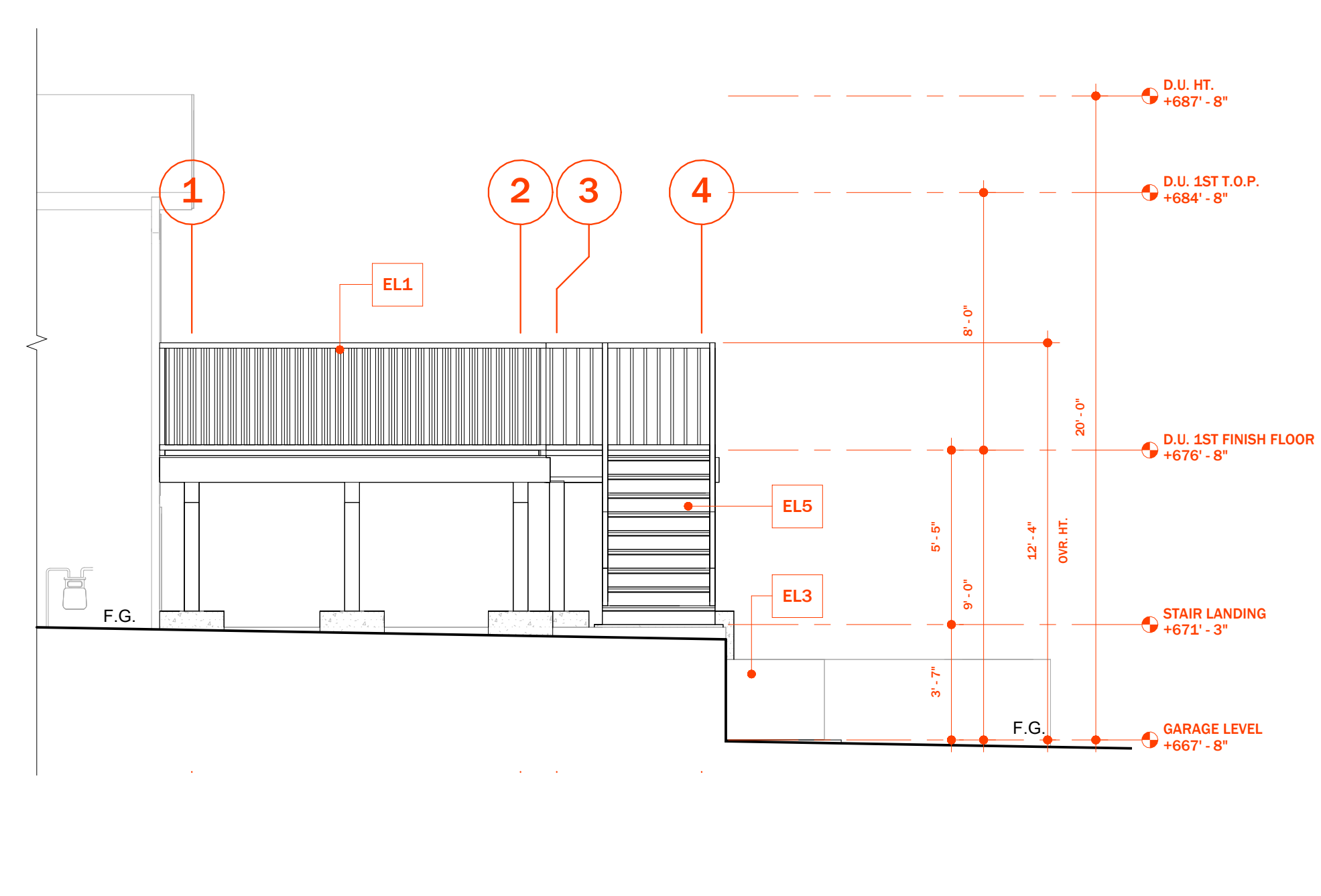
DRAWN BY: Author



1 (N) SOUTH-EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 (N) NORTH-EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 (N) SOUTH-WEST ELEVATION
SCALE: 1/4" = 1'-0"

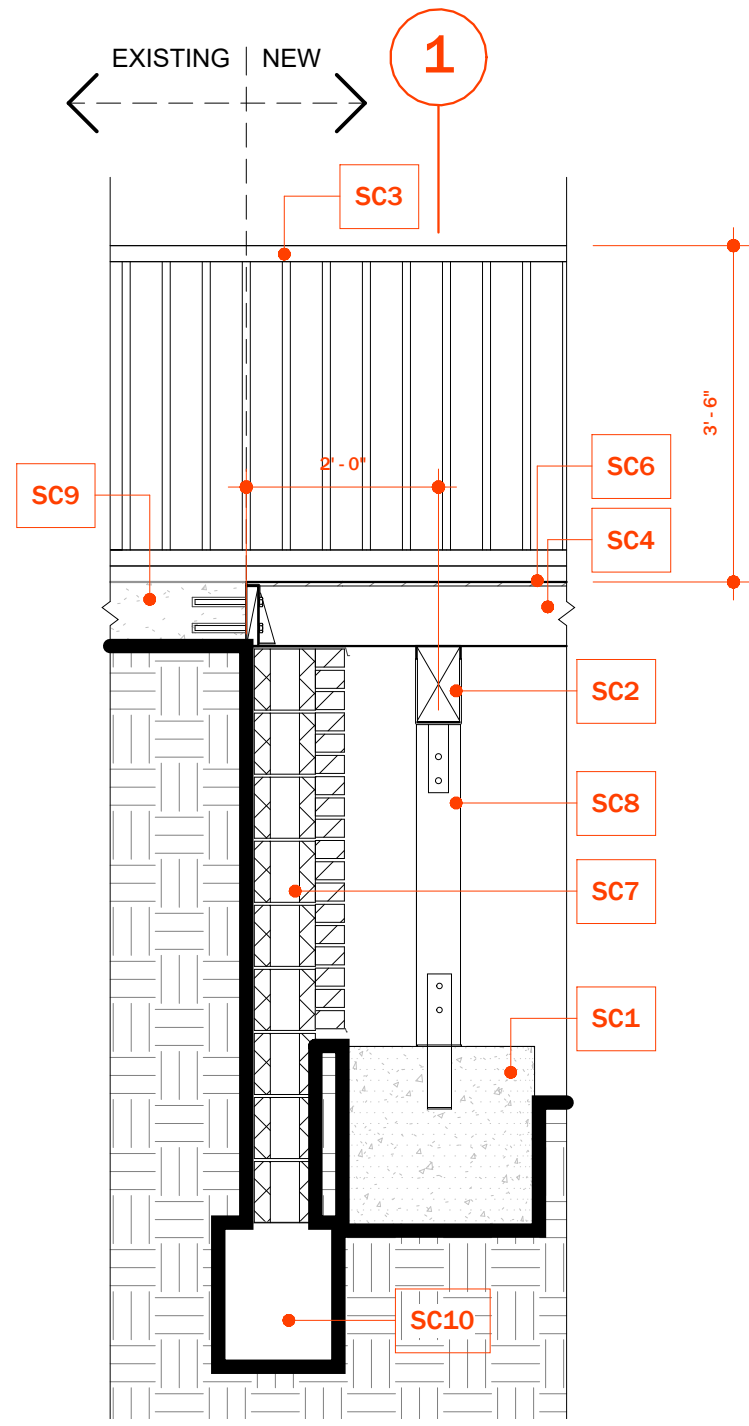
ELEVATION GENERAL NOTES

1. REFER TO SITE PLAN ON SHEET A100 FOR LOCATION OF ELECTRICAL PANELS, GAS METERS, AND WATER HEATERS.
2. REFER TO FLOOR PLAN ON SHEET A200, A201 FOR EXACT DOOR AND WINDOW LOCATIONS AND RELATED SCHEDULES.
3. REFER TO ROOF PLAN ON SHEET A202 FOR ADDITIONAL INFORMATION.
4. REFER TO STRUCTURAL DRAWINGS FOR CONCRETE SLAB, FOUNDATION AND FRAMING PLANS AND RELATED DETAILS.
5. REFER TO BUILDING SECTION SHEET A600, FOR INSULATION R-VALUES.
6. INSTALL ALL DOORS AND WINDOWS PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS TO MAINTAIN THEIR WARRANTY.
7. SEALANT DRAINAGE SYSTEM GASKETS AND WATERPROOFING MEMBRANE SHALL BE ASSEMBLED IN SUCH A MANNER TO PROVIDE A HIGH QUALITY WEATHERPROOF BUILDING ENCLOSURE.
8. ALL SEALANT JOINTS SHALL BE SIZED SUCH THAT THEY WILL BE WITHIN THE MINIMUM/MAXIMUM SIZE AS RECOMMENDED BY THE MANUFACTURER.
9. ALL SEALANT JOINTS SHALL MAINTAIN CONTACT WITH THE ADJOINING PARTS WITHIN ALLOWABLE DIMENSIONAL CHANGES IN THE JOINT SIZE. ALL SEALANT JOINT SHALL MAINTAIN DURABILITY AND INTEGRITY UNDER ALL CONDITIONS.
10. ALL FASTENERS ARE TO BE CONCEALED, EXCEPT AS SPECIFICALLY SHOWN.
11. COLOR OF SEALANT SHALL MATCH ADJACENT MATERIALS.
12. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER AS REQUIRED TO PREVENT MOLECULAR BREAKDOWN.
13. THE MANUFACTURED WINDOW SHALL HAVE A LABEL ATTACHED CERTIFYING BY THE NATIONAL FENESTRATION RATING COUNCIL (NFR) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.

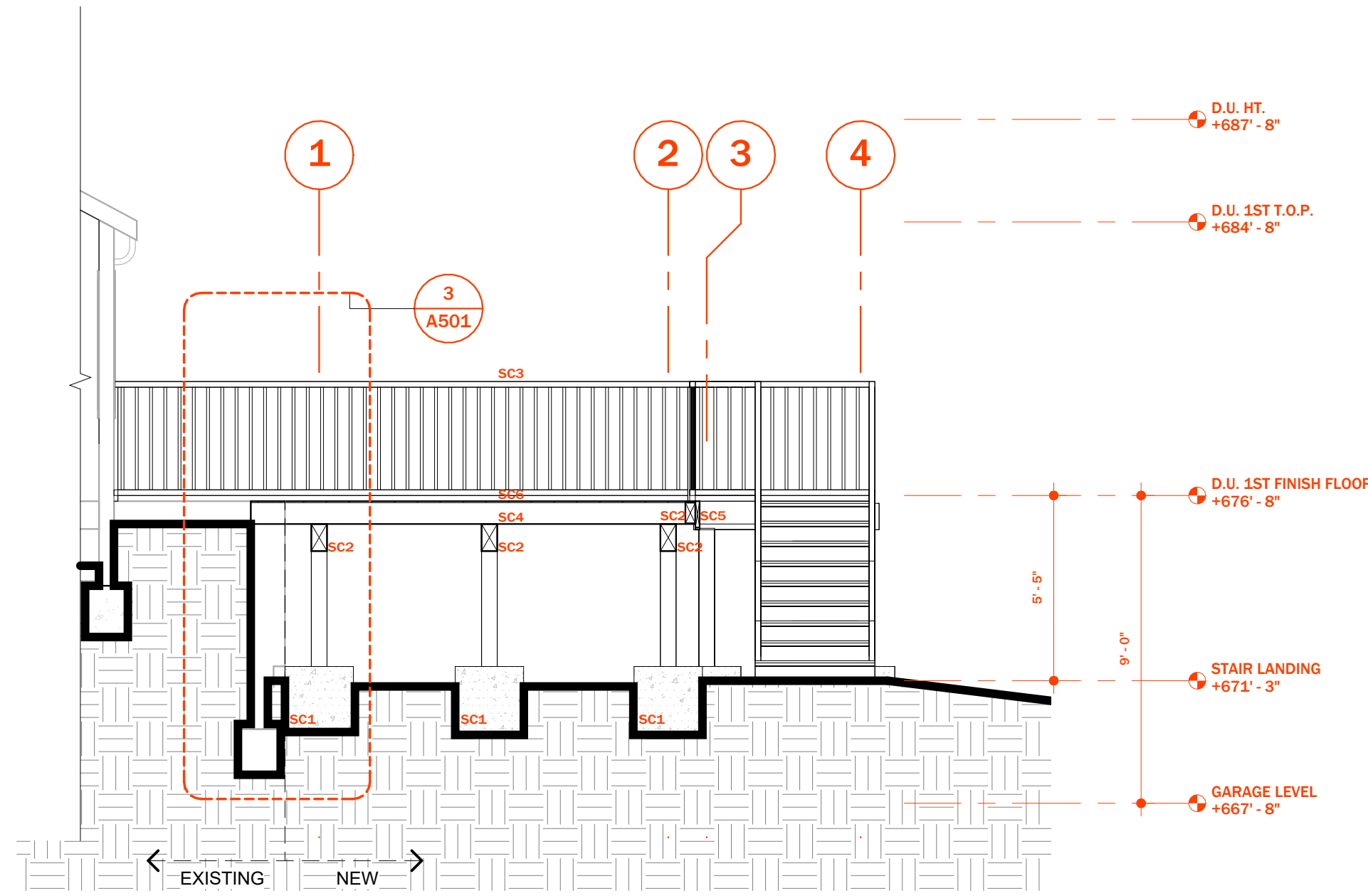
ELEVATION KEYNOTES

- EL1 (N) 42" HT. GUARDRAIL
- EL2 (E) MONOLITHIC STEPS TO REMAIN
- EL3 (E) 36" HT. RETAINING WALL
- EL4 (E) 48" HT. RETAINING WALL
- EL5 (N) WOOD STAIRCASE
- EL6 (E) CMU WALL WITH BRICK VENEER TO REMAIN

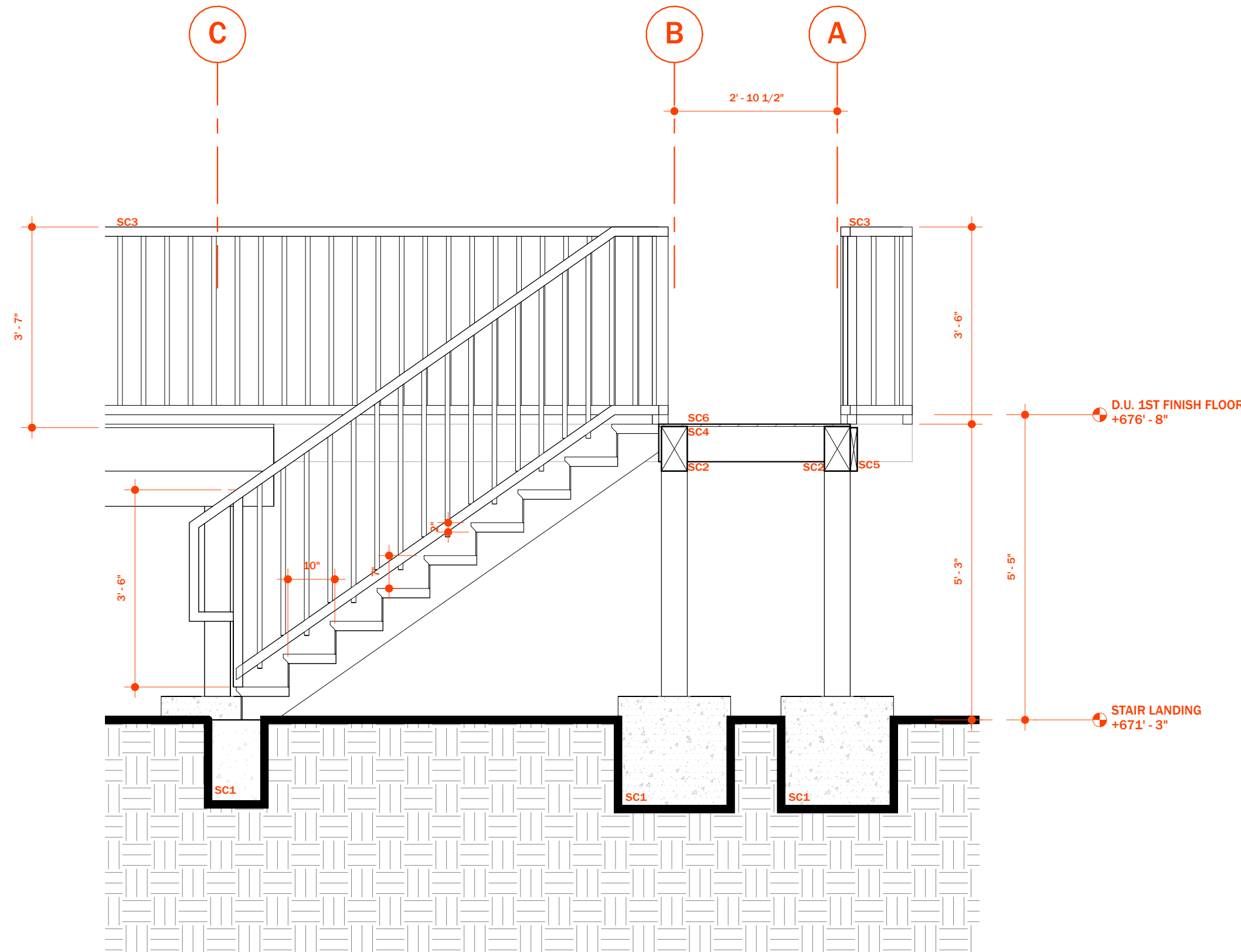
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3 (E) RETAINING WALL TO (N) DECK
DETAIL
SCALE: 1/2" = 1'-0"



1 Section 1
SCALE: 1/4" = 1'-0"



2 Section 2
SCALE: 1/2" = 1'-0"

SECTION KEYNOTES

- SC1 (N) CONCRETE FOOTING PER STRL DWGS.
- SC2 (N) 6X BEAM PER STRL DWGS.
- SC3 (N) 42" HT. STEEL RAILING
- SC4 (N) 4X DECK JOIST PER STRL DWGS.
- SC5 (N) 2X FASCIA
- SC6 (N) 2X TREX DECKING
- SC7 (E) CMU WALL W/ BRICK VENEER
- SC8 (E) CONCRETE DECKING
- SC9 (N) 6X6 WOOD COLUMN
- SC10 (E) WALL FOOTING

SECTION LEGEND

- D# DOOR TAG
- W# WINDOW TAG
- 1 A101 WALL SECTION
- 1 A101 DETAIL VIEW CALLOUT
- 1-HR CONDITION WALL & FLOOR

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