PURDUE RESIDENCE

DECK

4736 GLEN STREET LA MESA, CA 91941

DATE: PROJECT NO

MARCH 2024 24-4736g



**SCOPE OF WORK ABBREVIATIONS** 

**SHEET INDEX** 

**AMERICAN CONCRETE INSTITUTE** 1. ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY STANDARDS, AND THE BEST TRADE AFF. **ABOVE FINISHED FLOOR** ALUM. 2. ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY STATE LICENSED

CONTRACTORS. CONTRACTORS SHALL SUBMIT ALL REQUIRED PERMITS, CERTIFICATES, AND SIGN-OFFS TO OWNER AND ARCHITECT FOR THEIR RECORDS. 3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BE FAMILIAR WITH THE EXISTING CONDITIONS, AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE

ARCHITECT PRIOR TO SUBMISSION OF CONSTRUCTION PROPOSAL AND BEFORE BEGINNING WORK. THE DRAWINGS REFLECT CONDITIONS REASONABLY INFERRED FROM THE EXISTING VISIBLE CONDITIONS BUT CANNOT GUARANTEED BY THE 4. THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR ALL

DIMENSIONS AND CONDITIONS FOR TRADES SUCH AS ELECTRICAL, PLUMBING, ETC. 5. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO THE PREMISES AT ALL TIMES.

6. THE CONSTRUCTION MANAGER SHALL MAKE THE PREMISES SECURE FROM THE **ELEMENTS AND TRESPASS ON A DAILY BASIS.** 

7. THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS AND KEEP OUT ALL UNAUTHORIZED PERSONS. UPON COMPLETION OF WORK, THE ENTIRE CONSTRUCTION AREA IS TO BE THOROUGHLY CLEANED AND PREPARED FOR OCCUPANCY BY OWNER. ALL MATERIALS AND DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. CARE SHALL BE TAKEN DURING CONSTRUCTION THAT NO DEBRIS OR MATERIALS ARE DEPOSITED IN ANY RIGHT OF WAY AREA.

8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING

AND NEW CONDITIONS AND MATERIALS ON THE SITE. ANY DAMAGE CAUSED BY OR DURING THE EXECUTION OF THE WORK IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE 9. ALL UTILITIES SHALL BE CONNECTED TO PROVIDE GAS, ELECTRIC, AND WATER TO ALL EQUIPMENT WHETHER SAID EQUIPMENT IS IN CONTRACT OR NOT. EQUIPMENT SHALL BE **GUARANTEED TO FUNCTION PROPERLY UPON COMPLETION.** 10. WRITTEN WORDS TAKE PRECEDENCE OVER DRAWN LINES. LARGE-SCALE DETAILS AND

PLANS TAKE PRECEDENCE OVER SMALLER DETAILS AND PLANS. SHOULD A CONFLICT ARRIVE BETWEEN THE SPECIFICATIONS AND DRAWINGS, THE REQUIREMENTS DEEMED MOST STRINGENT SHALL BE USED.

11. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF STRUCTURE UNLESS OTHERWISE NOTED (UON).

12. DOOR AND WINDOW DETAILS ARE INDICATED ON THE DOOR AND WINDOW SCHEDULES. 13. DOOR AND WINDOW DIMENSIONS ARE TO CENTERLINES OF UNITS (UON). 14. DUE TO REPROGRAPHICS PROCESSES THESE PLANS MAY NOT BE ACCURATE TO SCALE. THEREFORE CONTRACTOR SHALL NOT SCALE DRAWINGS. 15. CONTRACTOR SHALL VERIFY ALL DIMENSION STRINGS. CONTRACTOR SHALL NOTIFY

RESIDENTIAL CONSULTANT OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, AND ALL LOCAL CODES HAVING JURISDICTION OVER THE WORK, INCLUDING BUT NOT LIMITED TO: CA TITLE 24 AND EACH OF THE BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, FIRE AND GREEN **BUILDING STANDARD CODES.** 16. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR

WHERE THERE IS A DISCREPANCY OR APPEARS TO BE AN ERROR BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE RESIDENTIAL CONSULTANT AND THE STRUCTURAL ENGINEER SHALL BE NOTIFIED AS SOON AS REASONABLY POSSIBLE FOR PROCEDURE TO BE FOLLOWED.

17. ALL SHORING AND BRACING SHALL BE IN ACCORDANCE WITH CURRENT REQUIREMENTS OF CAL OSHA & THE INDUSTRIAL ACCIDENT COMMISSION OF THE STATE OF CALIFORNIA AND OTHER PUBLIC AGENCIES HAVING JURISDICTION IS NOT THE RESPONSIBILITY OF ARCHITECT OR STRUCTURAL ENGINEER.

18. THIS PLANS DO NOT PROVIDE COMPLETE FLASHING AND WATERPROOFING DETAILS. THE DESIGNER AND ENGINEER DO NOT REPRESENT THEMSELVES TO BE EXPERTS IN THE FIELD OF WATERPROOFING. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR THE ROOFING/DECKING SUBCONTRACTOR TO PROVIDE THE NECESSARY STANDARD OF CARE, WORKMANSHIP, AND MATERIALS TO COMPLETE THE ROOF AND DECKS IN A WATERTIGHT CONDITION. ROOF AND/OR DECK DAMAGES SHALL NOT BE ALLOWED TO RUN BEHIND ANY FASCIA BOARDS OR ONTO THE EXTERIOR FINISH OF THE STRUCTURE

19. INSTALLED INSULATING MATERIAL SHALL HAVE BEEN CERTIFIED BY THE MANUFACTURER TO COMPLY WITH THE CALIFORNIA QUALITY STANDARDS FOR **INSULATING MATERIAL.** 

20. ALL INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF SECTIONS 19 OF THE C.B.C. OR LATEST ADOPTED CODES.

21. ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, WEATHER-STRIPPED OR

22. SITE CONSTRUCTED DOORS, WINDOWS AND SKYLIGHTS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING, AND SHALL BE WEATHER-STRIPPED (EXCEPT FOR **UNFRAMED GLASS DOORS AND FIRE DOORS).** 

23. MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTURER PER 2-531(A)1. AFTER JULY 1, 1993, MANUFACTURED FENESTRATION PRODUCTS MUST BE LABELED FOR U-VALUE

ACCORDING TO NFRC PROCEDURES. 24. INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARD PER SECTION 118 ENERGY EFFICIENCY STANDARD (E.E.S.).

25. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR **GEOLOGICAL REPORT MAY BE REQUIRED.** 

26. CONTRACTOR TO VERIFY ALL QUANTITY COUNTS AND SIZES OF ASSEMBLIES (DOORS, WINDOWS, ETC.) PRIOR TO PURCHASING AND INSTALLING.

27. ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1' RISE IN 20' OF HORIZONTAL RUN (5% GRADIENT) THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50 (2% SLOPE).

28. CURB RAMPS SHALL BE CONSTRUCTED WHERE A PEDESTRIAN WAY CROSSES A CURB. THE PREFERRED LOCATION FOR CURB RAMPS IS IN THE CENTER OF EACH CROSSWALK. WHERE IT IS NECESSARY TO LOCATE A CURB RAMP IN THE CENTER OF THE CURB RETURN AND THE STREET SURFACES ARE MARKED TO IDENTIFY PEDESTRIAN CROSSWALKS, THE LOWER END OF THE CURB RAMP SHALL TERMINATE WITHIN THE

29. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES

30. THE SURFACES OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL BE OF A CONTRAST FINISH FROM THE ADJACENT

ALUMINUM **ANCHOR BOLT ASPHALTIC CONCRETI** BLKG. BLOCKING BD. BOARD BLDG. BUILDING

**BUILT UP ROOFING CARBON DIOXIDE** CLEAR(ANCE)

CO. **CLEAN OUT** COLUMN COL. CONCRETE CONC. **CONCRETE MASONRY UNIT** CONSTRUCTION

CONTINUOUS **CONTROL JOINT** COUNTERFLASHING CUBIC FOOT **CUBIC YARD** 

DET. DETAIL DIAGONAL DIAMETER **DOOR** DOWN DOWNSPOU<sup>\*</sup>

DRAIN **EACH EACH WAY** EW. **EL/ELEV. ELEVATION** ELEC. ELECTRICAL **EMERGENCY** EMER. **EQUAL** 

**EXHAUST EXPANSION BOLT EXPANSION JOINT FACE OF STUD** FOS. FEET FINISH(ED)

FFE. FINISHED FLOOR ELEVATION FFL. FINISHED FLOOR LINE FLOOR DRAIN FD. **FOUNDATION** FTG. FOOTING FLOOR FLR. GAUCHE

**GLASS, GLAZING GALVANIZED** GYPSUM BOARD **GLASS FIBER REINFORCED CONCRETE** HDW. HARDWARE **HEATING, VENTILATING AIR CONDITIONING** HT. HEIGHT

**HOLLOW METAL** HYDRANT **HOLLOW CORE INSIDE DIAMETEI** INSULATION JOINT LIGHT LIGHTWEIGHT LW.

**POUNDS** LBS. **MECHANICAL, ELECTRICAL & PLUMBING** MEP. MEANS OF EGRESS MOE. MTL. **METAL** 

MIN. **MINIMUM** MULLION MULL. MECH. MECHANICAL NIC. **NOT IN CONTRACT** NTS. **NOT TO SCALE** NO. NUMBER ON CENTER OC. OPG. **OPENING** 

**OUTSIDE DIAMETER** OD. **OVERHEAD** OH. OWNER FURNISHED / CONTRACTOR INSTALLED OFCI. POINT OF CONNECTION POC.

PAIR PR. PUBLIC RIGHT OF WAY PWD. PLYW00D POLYVINYL CHLORIDE POST INDICATOR VALVE PIV.

RAD. **RADIUS** REF. REFERENCE **REFLECTED CEILING PLAN** REVISION(S), REVISED RD. **ROOF DRAIN ROOF DRAIN LEADER** 

ROOM **RISER ROUGH OPENING** ROOM S/STL. STAINLESS STEEL **STRUCTURAL** STRL. SPEC. **SPECIFICATIONS** SHEET

SHT. SIM. SIMILAR SC. **SOLID CORE SOUND TRANSMISSION COEFFICIENT** STC. STD STANDARD STORM DRAIN SD.

THICK(NESS) TO BE DETERMINED TEL. TELEPHONE TOP OF (...) T.O.CONC. TOP OF CONCRETE **TOP OF FRAMING** TOF. T.O.STL. TOP OF STEEL TOW.

**TOP OF WALL TREAD TYPICAL** TYP. **UNDERWRITERS LABORATORY UNLESS OTHERWISE NOTED VERIFY IN FIELD** 

VIF. VERT. VERTICAL WATER HEATER WATERPROOFING WP. WITHOUT W/0. WITH **PERPENDICULAR** AND

> DIAMETER NUMBER

LETTER

**PROPERTY LINE** 

(E) WOOD DECK CONSISTING OF: - ADDITION: WOOD DECK (328.75 SQ. FT.) EXTERIOR STAIRCASE W/ LANDING (46.56 SQ. FT.) **DEMOLITION: WOOD STAIRCASE LEADING TO ENTRANCE (33.00 SQ. FT.)** 

BRICK PLANTER AT FINISHED FLOOR (10.67 SQ. FT.)

C000 COVER SHEET COVER: 1 **GENERAL NOTES & INFORMATION GN02** CAL GREEN CAL GREEN **GN03** GN04 PHOTO SURVEY **GENERAL NOTES: 4** 

> A100 SITE PLAN **EXISTING DEMO SITE PLAN** FLOOR PLAN DECK ELEVATION A501 SECTIONS **ARCHITECTURAL:** 5

**PROJECT DATA** 

PROJECT ADDRESS: (E) 1-STORY BUILDING MULTIFAMILY: - 4736 GLEN STREET, LA MESA, CA 91941

A.P.N.: 494-492-03-00

LEGAL DESCRIPTION: LOT 78 PAR ROS 3052 IN

SUBDIVISION: LA MESA HIGHLANDS TRAC #3

**LOT AREA:** 6,912 **SQUARE FEET** (0.16 A)

PROJECT INFORMATION

CONSTRUCTION TYPE: TYPE V-B

YEAR BUILT: 1955 UTILITIES SERVING SITE:

FIRE SPRINKLERS: NONE YES **SEWER: SEPTIC:** NO **NATURAL GAS:** YES **ELECTRIC:** YES

NO FIRE SPRINKLERS NFPA 13D: (E) 2-STORY D.U.:

PROJECT CONTACTS

**ZONING INFORMATION** 

ZONING DESIGNATION SUBURBAN RESIDENTIAL OCCUPANCY GROUP:

SINGLE-FAMILY RESIDENTIAL **USE CATEGORY: SETBACKS:** 

FRONT YARD: 20' MIN. SIDE YARD: 10' MIN. **REAR YARD:** 30' MIN. HEIGHT LIMIT: 20.00 FEET (PRIMARY BUILDING)

PARKING REQUIREMENTS: N/A

**AGENCY AND CODE** 

**DEFERRED SUBMITTAL** 

**GOVERNING AGENCY:** CITY OF LA MESA

**DEVELOPMENT SERVICES DEPARTMENT 8130 ALLISON AVENUE** LA MESA, CA 91942

GOVERNING CODE: ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO THE REQUIREMENTS OF THE FOLLOWING AND ANY OTHER STATE AND LOCAL CODES HAVING JURISDICTION

A101

1 Ref

- 2022 CALIFORNIA RESIDENTIAL CODE AND - 2022 CALIFORNIA GREEN BUILDING CODE STANDARD CODE - 2022 CALIFORNIA ELECTRICAL CODE - 2022 CALIFORNIA PLUMBING CODE - 2022 CALIFORNIA FIRE CODE - 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

THE PROJECT WILL COMPLY WITH THE FOLLOWING BUILDING CODES AND **ASSOCIATED CITY** 

**EXTERIOR ELEVATION** 

INTERIOR ELEVATION

ELEVATION

OF LA MESA AMENDMENTS.

**SYMBOLS** 

D# **DOOR TAG WINDOW TAG BUILDING SECTION** 

**DETAIL VIEW CALLOUT** 

CENTER LINE

A101 +2'-0" WALL SECTION

COLUMN GRID **REVISION TAC** 

**VICINITY MAP** 

**COVER OF THE CALCULATIONS.** C. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF THIRTY CALENDAR DAYS FOR THE INITIAL

DEFERRED SUBMITTAL(S) SHALL BE PROVIDED FOR THE FOLLOWING BUILDING

**OWNER / FINACIALLY RESPONSIBLE** 

SERGIO A. PERALTA, ASSOC. AIA

PERALTA DESIGN GROUP, LLC

**4736 GLEN DRIVE** 

LA MESA, CA 91941

2220 OTAY LAKES RD.

CHULA VISTA, CA 91915

contact@sergioperalta.com

COMPONENTS/ELEMENTS:

1. N/A

STE. 502 PMB 129

[619] 778.7739

[619] 316-9924

**DESIGNED BY** 

PLAN REVIEW TURN-AROUND. D. DEFERRED SUBMITTAL ITEMS SHALL NOT BE FABRICATED / INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.  $^{\dagger}$  E. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN

A. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE

B. DEFERRED SUBMITTAL DOCUMENTS IN ADDITION TO THE SEAL OF THE RESPONSIBLE

ENGINEER OF RECORD, AND THE GENERAL CONTRACTOR ON ALL SHEETS OF PLANS AND

ENGINEER, SHALL BEAR THE SHOP DRAWING APPROVAL STAMPS OF THE PROJECT

BUILDING OFFICIAL FOR REVIEW AND APPROVAL BY THE CONTRACTORS & SUBCONTRACTORS.

FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

PERALTA DESIGN GROUP, LLC 2220 OTAY LAKES RD. STE. 502 PMB 129 CHULA VISTA, CA 91915 [619] 778-7739

**PURDUE RESIDENCE -DECK** 

**4736 GLEN STREET** LA MESA, CA 91941

**MAY 2023** DATE: PROJECT NO 24-4736g REVISION DATE

NOTES: PERALTA DESIGN

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PERALTA DESIGN GROUP, LLC SERGIO A. PERALTA, ASSOC. AIA (DESIGNER)

**GENERAL NOTES & INFORMATION** 

1/4" = 1'-0"

DRAWN Author

SCALE:



**CHAPTER 3** 

**GREEN BUILDING** 

**SECTION 301 GENERAL** 

specific area of the addition or alteration.

high-rise buildings, no banner will be used.

**ABBREVIATION DEFINITIONS:** 

Additions and Alterations

Low Rise

Hiah Rise

SECTION 4.102 DEFINITIONS

used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.102.1 DEFINITIONS

**SECTION 302 MIXED OCCUPANCY BUILDINGS** 

DIVISION 4.1 PLANNING AND DESIGN

California Building Standards Commissio

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in

but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

lighting fixtures are not considered alterations for the purpose of this section

the application checklists contained in this code. Voluntary green building measures are also included in the

application checklists and may be included in the design and construction of structures covered by this code.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking

additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the

facilities or the addition of new parking facilities serving existing multifamily buildings. See Section

Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or

improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures.

Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate

of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1.

et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of

individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential

specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and

**302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials

such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also

I.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation

and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes,

.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less

Retention basins of sufficient size shall be utilized to retain storm water on the site.

than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre

during construction, one or more of the following measures shall be implemented to prevent flooding of adjacen

2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or

manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface

5. Other water measures which keep surface water away from buildings and aid in groundwater

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and

1.1 Where there is no local utility power supply or the local utility is unable to supply adequate

1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional

local utility infrastructure design requirements, directly related to the implementation of Section

2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional

infrastructure are not feasible based upon one or more of the following conditions:

disposal method, water shall be filtered by use of a barrier system, wattle or other method approved

or more, shall manage storm water drainage during construction. In order to manage storm water drainage

management of storm water drainage and erosion controls shall comply with this section.

3. Compliance with a lawfully enacted storm water management ordinance.

Exception: Additions and alterations not altering the drainage path.

are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html)

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections

equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply

4.106.4, may adversely impact the construction cost of the project.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each

dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway

shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main

service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the

concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere

208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or

Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in

location shall be permanently and visibly marked as "EV CAPABLE".

I.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will

1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall

2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California

Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with

shall comply with the specific green building measures applicable to each specific occupancy.

comply with Chapter 4 and Appendix A4, as applicable.

Chapter 4 and Appendix A4, as applicable.

Department of Housing and Community Development

Office of Statewide Health Planning and Development

RESIDENTIAL MANDATORY MEASURES

The following terms are defined in Chapter 2 (and are included here for reference)

pervious material used to collect or channel drainage or runoff water

property, prevent erosion and retain soil runoff on the site.

water include, but are not limited to, the following:

parking facilities.

accordance with the California Electrical Code.

overcurrent protective device.

Water collection and disposal systems

Division of the State Architect, Structural Safety

buildings, or both. Individual sections will be designated by banners to indicate where the section applies

## California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

EVs at all required EV spaces at a minimum of 40 amperes.

EV chargers installed.

EV chargers are installed for use.

EV chargers are installed for use.

capacity to the required EV capable spaces.

4.106.4.2.2.1.1 Location.

4.106.4.2.3 EV space requirements.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS).

EVCS shall comply with at least one of the following options:

4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions.

The charging spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).

2. The minimum width of each EV space shall be 9 feet (2743 mm).

construction in accordance with the California Electrical Code.

oncealed areas and spaces shall be installed at the time of original construction.

Exception: Areas of parking facilities served by parking lifts.

EVs at all required EV spaces at a minimum of 40 amperes.

a. Construction documents shall show locations of future EV spaces.

Exception: Areas of parking facilities served by parking lifts.

area and shall be available for use by all residents or guests.

1.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities,

When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the

requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest

whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging

EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical

for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

system. including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all

a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating

EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical

system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all

Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of

reduced by a number equal to the number of EV chargers installed over the five (5) percent required.

3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE.

Where common use parking is provided, at least one EV charger shall be located in the common use parking

an automatic load management system (ALMS) may be used to reduce the maximum required electrical

capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers

Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels

1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of

2. The charging space shall be located on an accessible route, as defined in the California Building Code,

Exception: Electric vehicle charging stations designed and constructed in compliance with the California

3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum

a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083

In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall

comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready

1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch

circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall

originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close

proximity to the location or the proposed location of the EV space. Construction documents shall identify the

have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device

Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is

installed in close proximity to the location or the proposed location of the EV space, at the time of original

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

nformation on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

USE AREAS

KITCHEN FAUCETS

WATER CLOSET

**URINALS** 

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON AN INDIVIDUAL PROJECT BY THE END USER TO BE USED ON THE END USED ON THE END USER TO BE USED ON THE END USED ON THE END USER TO BE USED ON THE

METERING FAUCETS

installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section

shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable

shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS)

for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

dwelling unit when more than one parking space is provided for use by a single dwelling unit.

dwelling unit when more than one parking space is provided for use by a single dwelling unit.

space shall count as at least one standard automobile parking space only for the purpose of complying with any

installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. 1.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Efficient Landscape Ordinance (MWELO), whichever is more stringent. applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/ The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or **EFFICIENCY** of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING DIVISION 4.2 ENERGY EFFICIENCY 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy 2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable Commission will continue to adopt mandatory standards. Exceptions spaces, the number of EV capable spaces required may be reduced by a number equal to the number of DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final in conformance with Items 1 through 5. The construction waste management plan shall be updated as completion, certificate of occupancy, or final permit approval by the local building department. See Civil 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power necessary and shall be available during construction for examination by the enforcing agency. Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per buildings affected and other important enactment dates. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per . Specify if construction and demolition waste materials will be sorted on-site (source separated) or flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. 3. Identify diversion facilities where the construction and demolition waste material collected will be 1.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume 4. Identify construction methods employed to reduce the amount of construction and demolition waste The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to of two reduced flushes and one full flush. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush by weight or volume, but not by both. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Note: The owner or contractor may make the determination if the construction and demolition waste The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved WaterSense Specification for Showerheads. materials will be diverted by a waste management company. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4 408 1 b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates not be less than 0.8 gallons per minute at 20 psi. compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi. 1. Sample forms found in "A Guide to the California Green Building Standards Code 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California more than 0.2 gallons per cycle. Department of Resources Recycling and Recovery (CalRecycle). 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not 4.410 BUILDING MAINTENANCE AND OPERATION When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: Note: Where complying faucets are unavailable, aerators or other means may be used to achieve served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall 1. Directions to the owner or occupant that the manual shall remain with the building throughout the have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical life cycle of the structure. Operation and maintenance instructions for the following: When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance a. Equipment and appliances, including water-saving devices and systems, HVAC systems, Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 photovoltaic systems, electric vehicle chargers, water-heating systems and other major Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 (d)(7) and shall be equipped with an integral automatic shutoff. appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Space conditioning systems, including condensers and air filters. Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section d. Landscape irrigation systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. TABLE H-2 Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY 6. Information about water-conserving landscape and irrigation design and controllers which conserve VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation 8. Information on required routine maintenance measures, including, but not limited to, caulking, MAXIMUM FLOW RATE (gpm) [spray force in ounce force (ozf)] painting, grading around the building, etc. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code. Product Class 1 (≤ 5.0 ozf) 1.00 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. Product Class 2 (> 5.0 ozf and  $\leq$  8.0 ozf) 1.20 12. Information and/or drawings identifying the location of grab bar reinforcements. Product Class 3 (> 8.0 ozf) 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in ccordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. **DIVISION 4.5 ENVIRONMENTAL QUALITY** spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section **SECTION 4.501 GENERAL** THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, TABLE - MAXIMUM FIXTURE WATER USE irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI The following terms are defined in Chapter 2 (and are included here for reference) raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 LAVATORY FAUCETS (RESIDENTIAL) cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and LAVATORY FAUCETS IN COMMON & PUBLIC 0.5 GPM @ 60 PSI

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH

medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood.

structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.



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**PURDUE RESIDENCE -**

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DATE: PROJECT NO 24-4736q

NOTES:

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PERALTA DESIGN GROUP, LLC SERGIO A. PERALTA, ASSOC. AIA (DESIGNER)

DRAWN



## 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

	NEOIDENTIAL		1DF	AIONI WLASUNES, SHE		L (January 2023)		RESPON. PARTY = RESPONSIBLE PARTY (Ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)
Y N/A RESPON. PARTY		Y N/A RESPON.			Y N/A RESI	PON.	Y N/A RESPON.	
PARIY		PARIY			PAR		PARIY	
		1 1						CHAPTER 7
	MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a	1 1		TABLE 4.504.2 - SEALANT VOC LIMIT		TABLE 4.504.5 - FORMALDEHYDE LIMITS₁		INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
	compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC).	1 1		(Less Water and Less Exempt Compounds in Grams per Liter)		MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION		
	Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.	1 1		SEALANTS VOC LIMIT		PRODUCT CURRENT LIMIT		702 QUALIFICATIONS 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper
		1 1		ARCHITECTURAL 250		HARDWOOD PLYWOOD VENEER CORE 0.05		installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or
	MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.	1 1		MARINE DECK 760		HARDWOOD PLYWOOD COMPOSITE CORE 0.05		certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.
	PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of	1 1		NONMEMBRANE ROOF 300		PARTICLE BOARD 0.09		Examples of acceptable HVAC training and certification programs include but are not limited to the following:
	product (excluding container and packaging).  Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).	1 1		ROADWAY 250		MEDIUM DENSITY FIBERBOARD 0.11		State certified apprenticeship programs.     Public utility training programs.
	REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to	1 1		SINGLE-PLY ROOF MEMBRANE 450		THIN MEDIUM DENSITY FIBERBOARD2 0.13		Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.     Programs sponsored by manufacturing organizations.
	ozone formation in the troposphere.	1 1		OTHER 420		<ol> <li>VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL</li> </ol>		Other programs acceptable to the enforcing agency.
	VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings	1 1		ARCHITECTURAL		MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF.		702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the
	with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).	1 1		NON-POROUS 250		CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH		responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence
	4.503 FIREPLACES	1 1		POROUS 775		93120.12. 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM		to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be
	4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as	1 1		MODIFIED BITUMINOUS 500		THICKNESS OF 5/16" (8 MM).		considered by the enforcing agency when evaluating the qualifications of a special inspector:
	applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves,	1 1		MARINE DECK 760				<ol> <li>Certification by a national or regional green building program or standard publisher.</li> <li>Certification by a statewide energy consulting or verification organization, such as HERS raters, building</li> </ol>
	pellet stoves and fireplaces shall also comply with applicable local ordinances.	1 1		OTHER 750		DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California		performance contractors, and home energy auditors.
	4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING	1 1				Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions		<ol> <li>Successful completion of a third party apprentice training program in the appropriate trade.</li> <li>Other programs acceptable to the enforcing agency.</li> </ol>
	CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component	1 1				from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)		Notes:
	openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.	1 1				See California Department of Public Health's website for certification programs and testing labs.		<ol> <li>Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.</li> </ol>
		1 1				https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.		2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate
	4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.			TABLE 4.504.3 - VOC CONTENT LIMITS FOR		4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the		homes in California according to the Home Energy Rating System (HERS).
	4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality			ARCHITECTURAL COATINGS2.3		California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic		[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with
	management district rules apply:			GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS		Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)		this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a
	<ol> <li>Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where</li> </ol>	1 1		COATING CATEGORY VOC LIMIT		See California Department of Public Health's website for certification programs and testing labs.		recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.
	applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable.			FLAT COATINGS 50		https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.		Note: Special inspectors shall be independent entities with no financial interest in the materials or the
	Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and			NON-FLAT COATINGS 100		4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.		Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
	tricloroethylene), except for aerosol products, as specified in Subsection 2 below.			NONFLAT-HIGH GLOSS COATINGS 150				
	<ol><li>Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more</li></ol>			SPECIALTY COATINGS		4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the		703 VERIFICATIONS
	than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of <i>California Code of Regulations</i> , Title 17,			ALUMINUM ROOF COATINGS 400		Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)		<b>703.1 DOCUMENTATION.</b> Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other
	commencing with section 94507.	1 1		BASEMENT SPECIALTY COATINGS 400		See California Department of Public Health's website for certification programs and testing labs.		methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in
	4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of	1 1		BITUMINOUS ROOF COATINGS 50		hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.		the appropriate section or identified applicable checklist.
	the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories	1 1		BITUMINOUS ROOF PRIMERS 350		nnips://www.capn.ca.gov/Programs/CCDPHP/DEODC/EHLB//AQ/Pages/VOC.aspx.		
	listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources	1 1		BOND BREAKERS 350		4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard		
	Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.	1 1		CONCRETE CURING COMPOUNDS 350		composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seg.),		
		1 1		CONCRETE/MASONRY SEALERS 100		by or before the dates specified in those sections, as shown in Table 4.504.5		
	4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic	1 1		DRIVEWAY SEALERS 50		4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested		
	compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air	1 1		DRY FOG COATINGS 150		by the enforcing agency. Documentation shall include at least one of the following:		
	Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8. Rule 49.	1 1		FAUX FINISHING COATINGS 350		<ol> <li>Product certifications and specifications.</li> <li>Chain of custody certifications.</li> </ol>		
		1 1		FIRE RESISTIVE COATINGS 350		<ol> <li>Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR. Title 17. Section 93120, et seg.).</li> </ol>		
	4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:	1 1		FLOOR COATINGS 100		Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered     Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA		
	Manufacturer's product specification.	1 1		FORM-RELEASE COMPOUNDS 250		0121, CSA 0151, CSA 0153 and CSA 0325 standards.		
	Field verification of on-site product containers.	1 1		GRAPHIC ARTS COATINGS (SIGN PAINTS) 500		<ol><li>Other methods acceptable to the enforcing agency.</li></ol>		
		1 1		HIGH TEMPERATURE COATINGS 420				
	TABLE 4.504.1 - ADHESIVE VOC LIMIT <sub>1,2</sub>			INDUSTRIAL MAINTENANCE COATINGS 250		4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.		
	(Less Water and Less Exempt Compounds in Grams per Liter)	1 1		LOW SOLIDS COATINGS1 120		4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by		
	ARCHITECTURAL APPLICATIONS VOC LIMIT	1 1		MAGNESITE CEMENT COATINGS 450		California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.		
	INDOOR CARPET ADHESIVES 50	1 1		MASTIC TEXTURE COATINGS 100				
	CARPET PAD ADHESIVES 50	1 1		METALLIC PIGMENTED COATINGS 500		4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:		
	OUTDOOR CARPET ADHESIVES 150	1 1		MULTICOLOR COATINGS 250 PRETREATMENT WASH PRIMERS 420		1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with		
	WOOD FLOORING ADHESIVES 100	1 1		PRIMERS, SEALERS, & UNDERCOATERS 100		a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,		
	RUBBER FLOOR ADHESIVES 60			REACTIVE PENETRATING SEALERS 350		ACI 302.2R-06.  2. Other equivalent methods approved by the enforcing agency.		
	SUBFLOOR ADHESIVES 50			RECYCLED COATINGS 250		A slab design specified by a licensed design professional.		
	CERAMIC TILE ADHESIVES 65	1 1		ROOF COATINGS 50		4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage		
	VCT & ASPHALT TILE ADHESIVES 50			RUST PREVENTATIVE COATINGS 250		shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:		
	DRYWALL & PANEL ADHESIVES 50			SHELLACS		Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent		
	COVE BASE ADHESIVES 50			CLEAR 730		moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.		
	MULTIPURPOSE CONSTRUCTION ADHESIVE 70 STRUCTURAL GLAZING ADHESIVES 100			OPAQUE 550		2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.  Output  Description:		
	STAGE OF LETTE AND THE			SPECIALTY PRIMERS, SEALERS & 100		3. At least three random moisture readings shall be performed on wall and floor framing with documentation		
				UNDERCOATERS 100 STAINS 250		acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.		
	OTHER ADHESIVES NOT LISTED 50  SPECIALTY APPLICATIONS	1 1		STAINS 250 STONE CONSOLIDANTS 450		Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying		
	PVC WELDING 510			SWIMMING POOL COATINGS 340		recommendations prior to enclosure.		
	CPVC WELDING 490			TRAFFIC MARKING COATINGS 100		4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the		
	ABS WELDING 325			TUB & TILE REFINISH COATINGS 420		following:		
	PLASTIC CEMENT WELDING 250	1 1		WATERPROOFING MEMBRANES 250		Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.      Indees functioning as a component of a whole bouse ventilation system fans must be controlled by a		
	ADHESIVE PRIMER FOR PLASTIC 550			WOOD COATINGS 275		<ol><li>Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.</li></ol>		
	CONTACT ADHESIVE 80			WOOD PRESERVATIVES 350		a. Humidity controls shall be capable of adjustment between a relative humidity range less than or		
	SPECIAL PURPOSE CONTACT ADHESIVE 250			ZINC-RICH PRIMERS 340		equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.		
	STRUCTURAL WOOD MEMBER ADHESIVE 140			GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER &  EXEMPT COMPOLINES.		<ul> <li>A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)</li> </ul>		
	TOP & TRIM ADHESIVE 250			EXEMPT COMPOUNDS  2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS		Notes:		
	SUBSTRATE SPECIFIC APPLICATIONS	1 1		ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.				
	METAL TO METAL 30			VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS		<ol> <li>For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.</li> </ol>		
	PLASTIC FOAMS 50	1 1		SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS		2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.		
	POROUS MATERIAL (EXCEPT WOOD) 50			AVAILABLE FROM THE AIR RESOURCES BOARD.		4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be		
	WOOD 30					sized, designed and have their equipment selected using the following methods:		
	FIBERGLASS 80					The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation). ASHDAE handbooks or other equivalent design software or methods.		
						Load Calculation), ASHRAE handbooks or other equivalent design software or methods.  2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),		
	<ol> <li>IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.</li> </ol>					ASHRAE handbooks or other equivalent design software or methods.  3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential		
	FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE					Equipment Selection), or other equivalent design software or methods.		
	THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR					Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.		
	QUALITY MANAGEMENT DISTRICT RULE 1168.							

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING VERIFICATION WITH THE FULL CODE.

PERMEROUP...

PERALTA DESIGN GROUP, LLC 2220 OTAY LAKES RD. STE. 502 PMB 129 CHULA VISTA, CA 91915 [619] 778-7739 cotact@sergioperalta.com

PROJECT:
PURDUE
RESIDENCE DECK

4736 GLEN STREET LA MESA, CA 91941

DATE: 04/06/20 PROJECT NO 24-4736g REVISION DATE

NOTES:

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DEBALTA DESIGN CRO

PERALTA DESIGN GROUP, LLC SERGIO A. PERALTA, ASSOC. AIA (DESIGNER)

> CAL GREEN

SCALE

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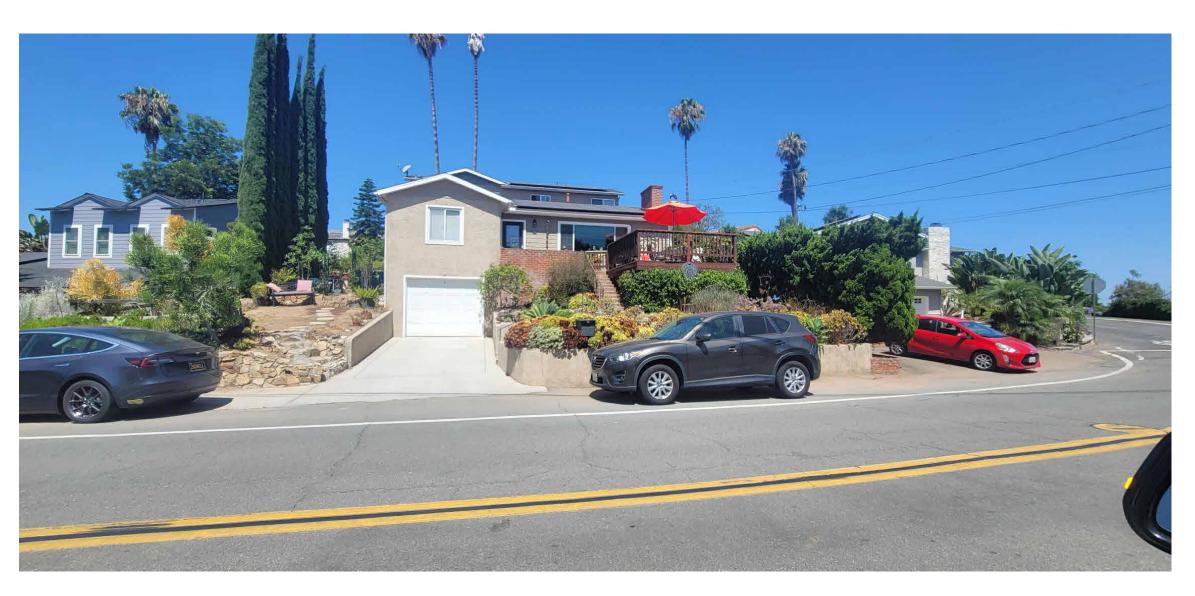


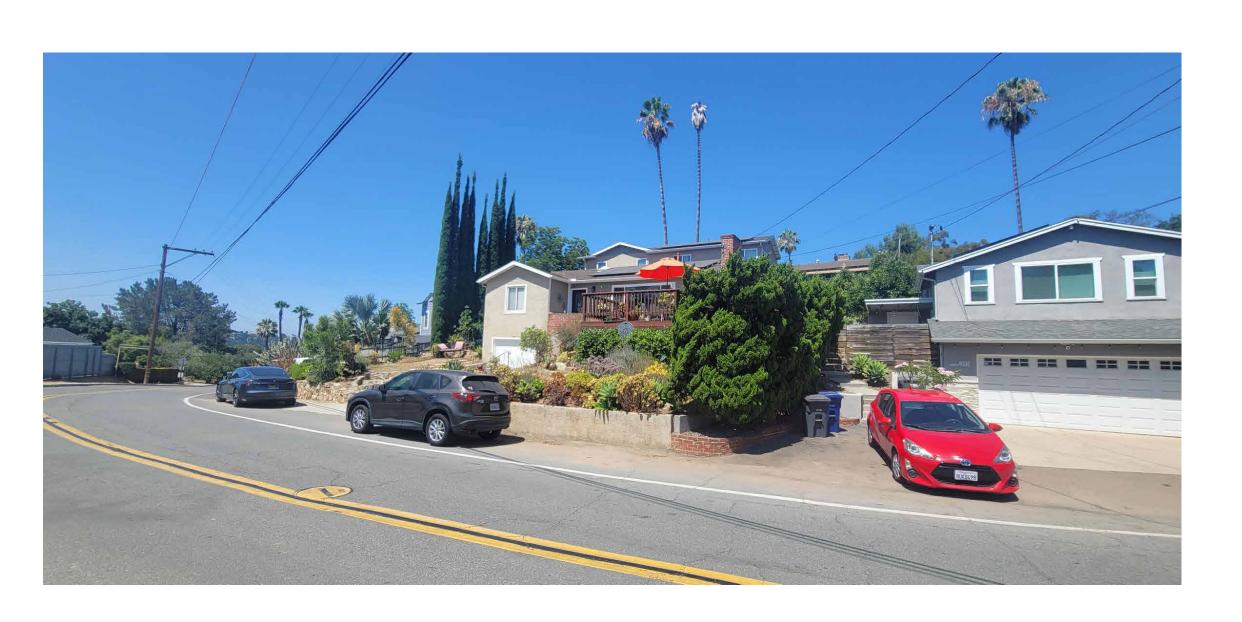




4767 BOULDER PLACE (NEARBY SITE)







4736 GLEN STREET (PROJECT SITE)



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# PROJECT: PURDUE RESIDENCE DECK

4736 GLEN STREET LA MESA, CA 91941

DATE: 07/30/24 PROJECT NO 24-4736g

REVISION D

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SCALE



#### **GENERAL NOTES**

1. NO WORK SHALL COMMENCE UNTIL ALL NECESSARY PERMITS HAVE BEEN OBTAINED FROM THE CITY AND OTHER APPROPRIATE AGENCIES.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION AT 619-667-1166 AT LEAST 48-HOURS PRIOR TO COMMENCEMENT OF ANY TYPE OF GRADING OR CONSTRUCTION ACTIVITY.
3. ALL EXISTING UTILITIES OR STRUCTURES REPORTED BY THE UTILITY COMPANIES ARE NDICATED HEREON BASED ON INFORMATION OF RECORD AND MAY BE SCHEMATIC IN NATURE. IT SHALL BE THE DUTY OF THE CONTRACTOR TO MAKE A DETERMINATION AS TO THE ACTUAL LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL HE/SHE HAS MADE THIS DETERMINATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS/HER FAILURE TO LOCATE AND PRESERVE ANY AND ALL

UTILITIES. CALL UNDERGROUND SERVICE ALERT AT 1-800-422-4133 A LEAST TWO WORKING 4. THE CENTERLINE STATIONING SHOWN ON THESE PLANS IS BASED ON CITY DWG# 0125, 0126.

6. NO WORK PROPOSED IN THE PUBLIC RIGHT OF WAY AS PART OF THIS BUILDING PERMIT 8. PROPERTY OWNER SHALL MAINTAIN ALL DRAINAGE FACILITIES LOCATED WITHIN THE PARCEL

AND BE RESPONSIBLE TO PREVENT DAMAGE TO DOWNSTREAM PROPERTIES. 9. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO LOCATE PROPERTY LINES AND CONFORM TO SET BACK REQUIREMENTS.

14. PROPERTY OWNERS TO MAINTAIN THE BACKWATER VALVE PER THE MANUFACTURER'S

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO THE CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREECH IN INSTALLED CONSTRUCTION BMP'S, WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET. A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET. 16. ALL STOCKPILES OF SOIL AND OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP

DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE-DAY RAIN 17. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS, WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE. 20. THE STORAGE OF ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE PROTECTED

AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
21. ALL EXISTING DRAINAGE INLETS TO BE PROTECTED DURING CONSTRUCTION, AND MEANS OF PROTECTION TO BE VISIBLE DURING INSPECTIONS.

#### STORM WATER MANAGEMENT & DISCHARGE CONTROL

1. THE CONTRACTOR SHALL COMPLY WITH CITY MUNICIPAL CODE CHAPTER 7.18 (STORM WATER MANAGEMENT AND DISCHARGE CONTROL).

2. THE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A PLAN TO IMPLEMENT BEST NAGEMENT PRACTICES (BMP'S) TO ELIMINATE SAND, SILT, CONCRETE WASH, DEBRIS OR POLLUTANT DISCHARGE TO THE PUBLIC STREETS AND STORM DRAIN SYSTEM. SUCH PLAN SHALL BE SUBMITTED TO AND REVIEWED BY THE CITY ENGINEER PRIOR TO COMMENCEMENT 3. THE CONTRACTOR SHALL IMPLEMENT THE EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLANS AND TAKE IMMEDIATE REMEDIAL AND PREVENTIVE ACTION

WHEN POLLUTANT DISCHARGE OCCURS AND/OR AS DIRECTED BY THE CITY ENGINEER OR THI BUILDING OFFICIAL. THE CONTRACTOR SHALL BE REQUIRED TO PLACE ADDITIONAL EROSION CONTROL MATERIALS AS THE SITE CONDITIONS WARRANT. 4. PAVED AREAS SHALL BE SWEPT BY COMBINATION OF POWER BROOM AND/OR AIR 5. ALL OF THE ABOVE CONDITIONS SHALL APPLY STARTING THE FIRST DAY OF GRADING AND/OR CONSTRUCTION AND SHALL REMAIN IN EFFECT UNTIL ALL GRADING AND/OR CONSTRUCTION WORK HAS BEEN COMPLETED.

HE COUNTOURS/TOPO/ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEY AND MEASUREMENTS PERFORMED ON 1/17/2023 BY RANCHO LAND COMPANY, LS NO. 8380. CONTOURS VERIFIED BY VALUE ENGINEERING ON 02/17/2023.

#### DEVELOPER'S/OWNER'S CERTIFICATE:

THE DEVELOPER/OWNER ACKNOWLEDGES THAT THE CITY'S REVIEW OF THE PLANS IS MINOR IN COMPARISON TO THE TIME THAT THE DEVELOPER'S/OWNER'S DESIGN TEAM SPENDS IN DESIGNING AND DRAFTING THE PLANS . IT IS THE RESPONSIBILITY OF THE DESIGN TEAM TO THOUROUGHLY REVIEW EXISTING LOCAL/STATE/FEDERAL RULES AND LAWS, CONDITIONS, PLANS AND DESIGN GUIDELINES. IN ADDITION, THE DESIGN TEAM PLANS ARE CLEAR AND THERE ARE NO CONFLICTS. IT IS UNDERSTOOD THAT A FAILURE TO PRODUCE ACCURATE. NON-CONFLICTING PLANS WILL LIKELY RESULT IN DELAYS. THESE DELAYS CAN BE IN THE FORM OF FAILED INSPECTIONS, STOP WORK NOTICES, CONSTRUCTION CHANGES AND

THE DEVELOPER/OWNER ACKNOWLEDGES THAT SHOULD THE CONTRACTOR DEVIATE FROM THE PLANS OR THE STANDARDS REFERENCED IN THE PLANS THAT THIS WILL RESULT IN DELAYS. DEVIATIONS CAN RESULT IN A STOP WORK NOTICE AND/OR ADDITIONAL NSPECTIONS AND FEES. AT THE PRE-CONSTRUCTION MEETING THE CITY WILL INFORM THE CONTRACTOR THAT THEY SHOULD CONTACT THE DESIGN TEAM IN CASE THERE ARE ANY OUESTIONS ON THE PLANS. THE CITY'S INSPECTOR MAY INTERPET THE PLANS. BUT THE CONTRACTOR SHALL CONTACT THE DESIGN TEAM FOR CLARIFICATION AND FINAL

THE DEVELOPER/OWNER ACKNOWLEDGES AND SHALL HAVE THE ENGINEER OF WORK MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THE PLANS WHICH THE CITY ENGINEER OR THE ENGINEER OF WORK DETERMINE ARE NECESSARY AND DESIREABLE. ALL PLAN CHANGES SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO THE CONSTRUCTION AND IT IS UNDERSTOOD SHOULD CONSTRUCTION PROCEED WITHOUT RECONSTRUCTED AT NO COST TO THE CITY. THE DEVELOPER/OWNER ACKNOWLEDGES THAT THE ENGINEER OF WORK IS REQUIRED

AND SHALL VERIFY THAT ALL ITEMS AS SHOWN ON THE PLANS ARE CONSTRUCTED PER THE PLAN AND ANY CHANGES NOTED AS PART OF THE AS-BUILT PROCESS. THE RELEASE OF PROJECT'S SECURITY/DEPOSITS SHALL NOT OCCUR UNTIL AFTER THE AS-BUILT PROCESS HAS BEEN COMPETED. A REFUNDABLE CASH DEPOSIT OF \$200/SHEET IS DUE WHEN THE GRADING OR ENCROACHMENT PERMIT IS APPLIED FOR AND WILL BE USED BY THE CITY TO OBTAIN AS-BUILT DRAWING INFORMATION IN INSTANCES WHERE AS-BUILTS WERE NOT PROPERLY FILED PRIOR TO RELEASE OF BONDS AND OBTAINING FINAL OCCUPANCY.

SIGNATURE	DATE							
LAWRENCE & NOWELL PURDUE								
DEVELOPER/OWNER NAME								
4736 GLEN STREET, LA MESA, CA 91941								
ADDRESS								

LAWRENCE PURDUE [619] 316-9924 **CONTACT PERSON** PHONE NO.

#### ARCHITECT / ENGINEER OF WORK

BY SIGNING BELOW THE ARCHITECT OR ENGINEER STATES THEY HAVE REVIEWED ALL APPLICABLE ACCOMPANYING PLAN SETS AND VERIFIED THE CONSISTENCY OF THE INFORMATION BETWEEN EACH DICIPLINE, INCLUDING BUT NOT LIMITED TO; CURRENT AS-BUILT RECORD INFORMATION FOR ALL UTILITY AGENCIES (SDG&E, COX CABLE, AT&T, AND CITY OF LA MESA FIBER/ELECTRICAL CONDUITS), CIVIL, ARCHITECTURAL AND LANDSCAPING. THEY VERIFY THEIR REVIEW OF THE ADA PATH OF TRAVEL IN THE R.O.W. TO DO SO MAY RESULT IN CONSTRUCTION CHANGES OR CHANGE ORDERS AND ASSOCIATED REVIEW AND INSPECTION FEES. THE ARCHITECT OR ENGINEER ALSO ACKNOWLEDGES THEY

"I HEREBY DECLARE THAT I AM THE ARCHITECT / ENGINEER OF WORK FOR THIS PROJECT, DEFINED IN SECTION 6703 OF THE BUSINESS & PROFESSIONS CODE AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS, I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF LA MESA IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR

ARCHITECT / ENGINEER OF WORK

LICENSE NO.

1. OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION FOR WORK IN THE PUBLIC RIGHT-OF-WAY. ENCROACHMENT PERMIMT FEES ARE BASED ON THE CITY'S CURRENT FEE SCHEDULE. A CASH DEPOSIT OR PERFORMANCE BOND SHALL BE POSTED FOR THE ESTIMATED COST OF THE INSTALLATION OF THE PUBLIC IMPROVEMENTS. ESTIMATE SHALL BE PREPARED BY A REGISTERED CIVIL ENGINEER AND BE APPROVED BY THE CITY ENGINEER A SEPARATE TRAFFIC CONTROL PLAN WILL BE REQUIRED (SEE APPENDIX "A" OF THE SAN **DIEGO REGIONAL STANDARDS**)

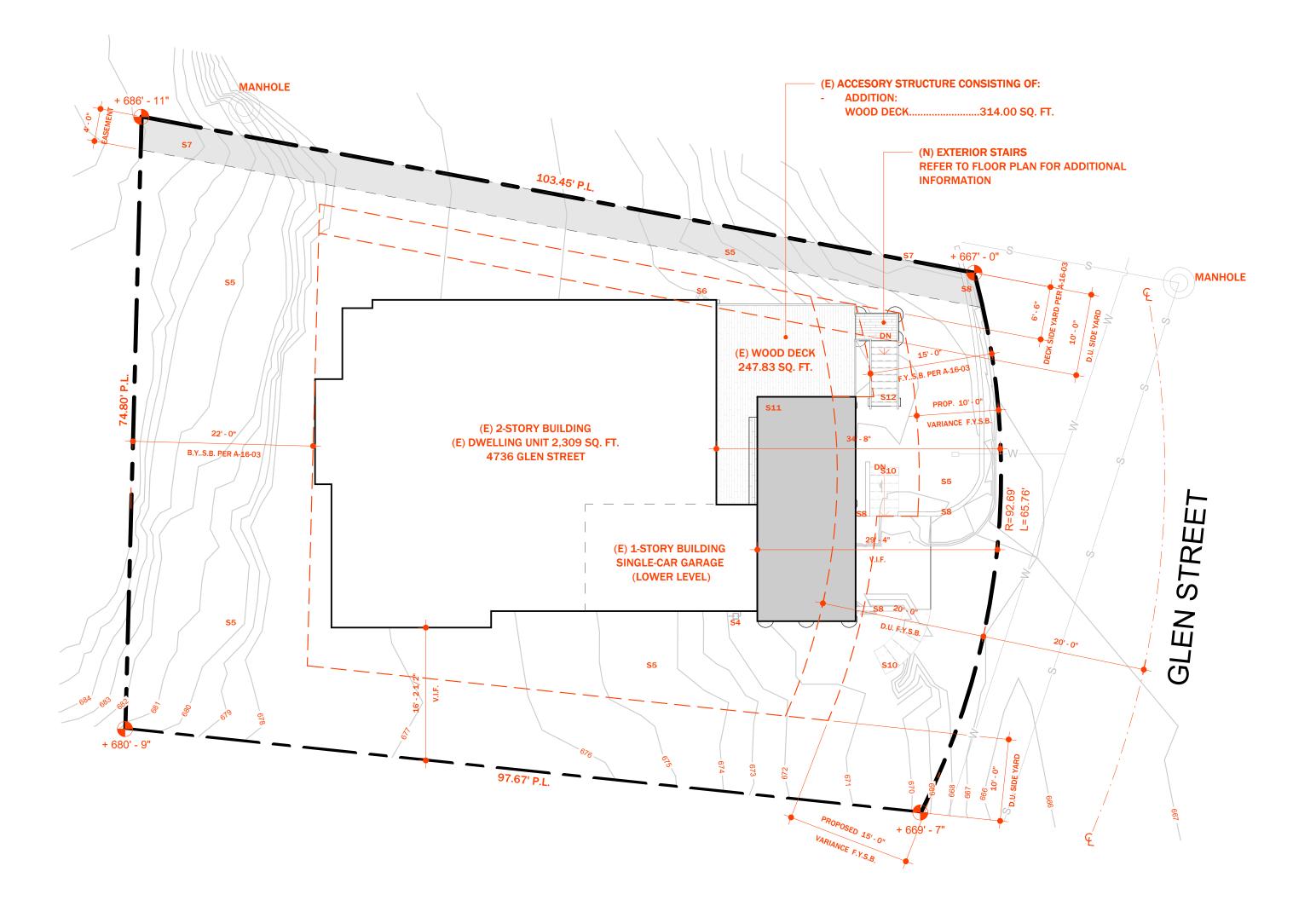
2. ENCROACHMENT REMOVAL AGREEMENT, SUBJECT TO APPROVAL OF THE CITY ENGINEER, SHALL BE EXECUTED FOR ANY TYPE OF PRIVATE IMPROVEMENT ENCROAHMENTS INTO THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT (E.G.: RETAINING WALL, FOOTING, FENCE, STEPS, SIGNS, STAMPED CONCRETE, ASPHALT CONCRETE DRIVEWAY, ETC.).

3. A GRADING PERMIT SHALL BE REQUIRED FROM THE BUILDING DEPARTMENT.

4. A LETTER OF PERMISSION IS REQUIRED FROM ADJACENT PROPERRTY OWNERS IF GRADING AND / OR ANY OTHER WORK WILL BE PERFORMED ON OFF SITE PROPERTIES.

NOTE: AS PART OF THE CITY'S BACKFLOW PREVENTION PROGRAM ENFORCED BY THE BUILDING DEPARTMENT, IT IS THE RESPONSIBILITY OF THE HOMEOWNER TO VERIFY THE FOLLOWING INFORMATION WHEN MAKING THE DETERMINATION WHETHER THEY NEED TO HAVE A BACKFLOW PREVENTION VALVE INSTALLED ON THEIR **EXISTING OR NEW SEWER LATERAL.** 

SEWER MANHOLE ON THE SEWER MAIN AND THE LOWEST FINISH FLOOR OR LOWEST WASTE WATER FIXTURE UNIT (EXISTING OR NEW) SHALL BE IDENTIFIED. IF THE RIM ELEVATION OF THE LOWEST FIXTURE ELEVATION, PLUS AN ADDITIONAL 2 FEET, IS LOWER THAN THE RIM ELEVATION OF THE UPSTREAM PUBLIC OR PRIVATE SEWER MANHOLE, A BACKWATER VALVE SHALL BE REQUIRED TO BE INSTALLED ON THE SEWER LATERAL ON PRIVATE PROPERTY PER THE UNIFORM PLUMBING CODE.





THE RIM ELEVATION OF THE NEARESTUPSTREAM

NOTE: EXISTING TREES TO REMAIN. DO NOT REMOVE.

#### SITE PLAN GENERAL NOTES

 CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO START CONSTRUCTION • STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING SUSPECTS FLL, EXPANSE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTING OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED. • ALL PROPERTY LINES ( REAL AND ASSUMED), EASEMENTS AND BUILDINGS (BOTH EXISTING AND PROPOSED), ARE SHOWN ON THIS SITE PLAN.

 CPC 708.0 GRADE OF HORIZONTAL DRAINAGE (SEWER) PIPING (SLOPE). HORIZONTAL DRAINAGE PIPING SHALL BE RUN IN PRACTICAL ALIGNMENT AND UNIFORM SLOPE OF NOT LESS THAN ONE FOURTH (1/4) INCH PER FOOT (20.9 MM/M) OR TWO (2) PERCENT TOWARD THE POINT OF DISPOSAL • SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR

OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM). SECTION R401.3

• STORM WATER RUNOFF FROM PROPOSED IMPERVIOUS AREAS WILL BE ROUTED TO LANDSCAPE AREAS OR PLANTER BOXES, PRIOR TO REACHING THE PUBLIC DRAIN

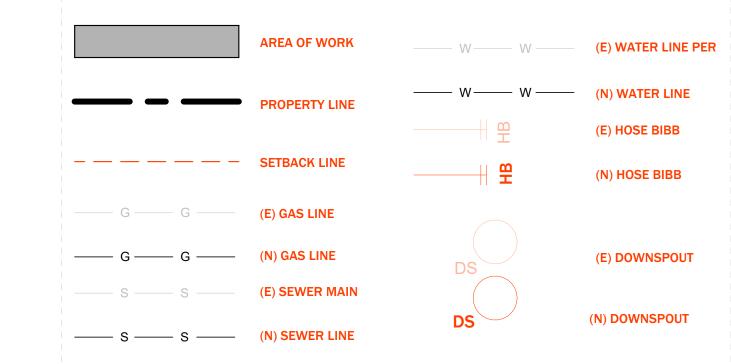
• NO WORK WILL BE PERFORMED IN THE PUBLIC RIGHT OF WAY.

• THE EXISTING GRADE WILL NOT BE MODIFIED UNLESS NOTED OTHERWISE. • IF A SPECIAL INSPECTION IS REQUIRED, REFER TO THE SPECIAL INSPECTION FORM. • EXCESS CUT MATERIAL SHALL BE USED ONSITE.

• THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, PAVING, AND LANDSCAPING IN PLACE DURING CONSTRUCTION.

• IF A SPECIAL INSPECTION IS REQUIRED, REFER TO THE SPECIAL INSPECTION FORM.

#### SITE PLAN LEGEND



#### **SITE PLAN KEYNOTES**

(E) GAS METER TO REMAIN, NO WORK (U.O.N.)

(E) LANDSCAPE TO REMAIN, NO WORK (U.N.O.). (E) ELECTRICAL METER TO REMAIN, NO WORK (U.O.N.)

(E) 4' SANITARY SEWER EASEMENT

(E) 3' RETAINING WALL TO REMAIN (E) WOO DECK TO REMAIN

S11 (N) WOOD DECK S12 (N) WOOD STAIRCASE

CUT QUANTITIES:....

MAX CUT DEPTH UNDER BUILDING:.....

THIS PROJECT PROPOSES TO EXPORT O CUBIC YARDS OF MATERIAL

LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT

ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH

ACTIVITIES REQUIRES A SEPARATE CONDITIONAL USE PERMIT.

(N) IMPERVIOUS AREA:...... 0 S.F.

STORM WATER CONTACT: LAWRENCE AND NOWELL PURDUE **AFTER HRS.:** 

(E) IMPERVIOUS AREA:....

IMPERVIOUS AREA INCREASE:.....

FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A

TOTAL AREA: 4,818.67 S.F.

PROJECT PRIORITY: LOW

0 CYD

4,818.67 S.F.

FILL QUANTITIES:....

IMPORT/EXPORT:....

WDID NO.: N/A

PERALTA DESIGN GROUP, LLC 2220 OTAY LAKES RD. STE. 502 PMB 129 CHULA VISTA, CA 91915 [619] 778-7739

#### **PURDUE RESIDENCE -DECK**

**4736 GLEN STREET** LA MESA, CA 91941

DATE:	04/19/21
PROJECT NO	24-4736g
REVISION	DATE

PERALTA DESIGN

**GROUP, LLC EXPRESSLY** 

**RESERVES ITS COMMON** 

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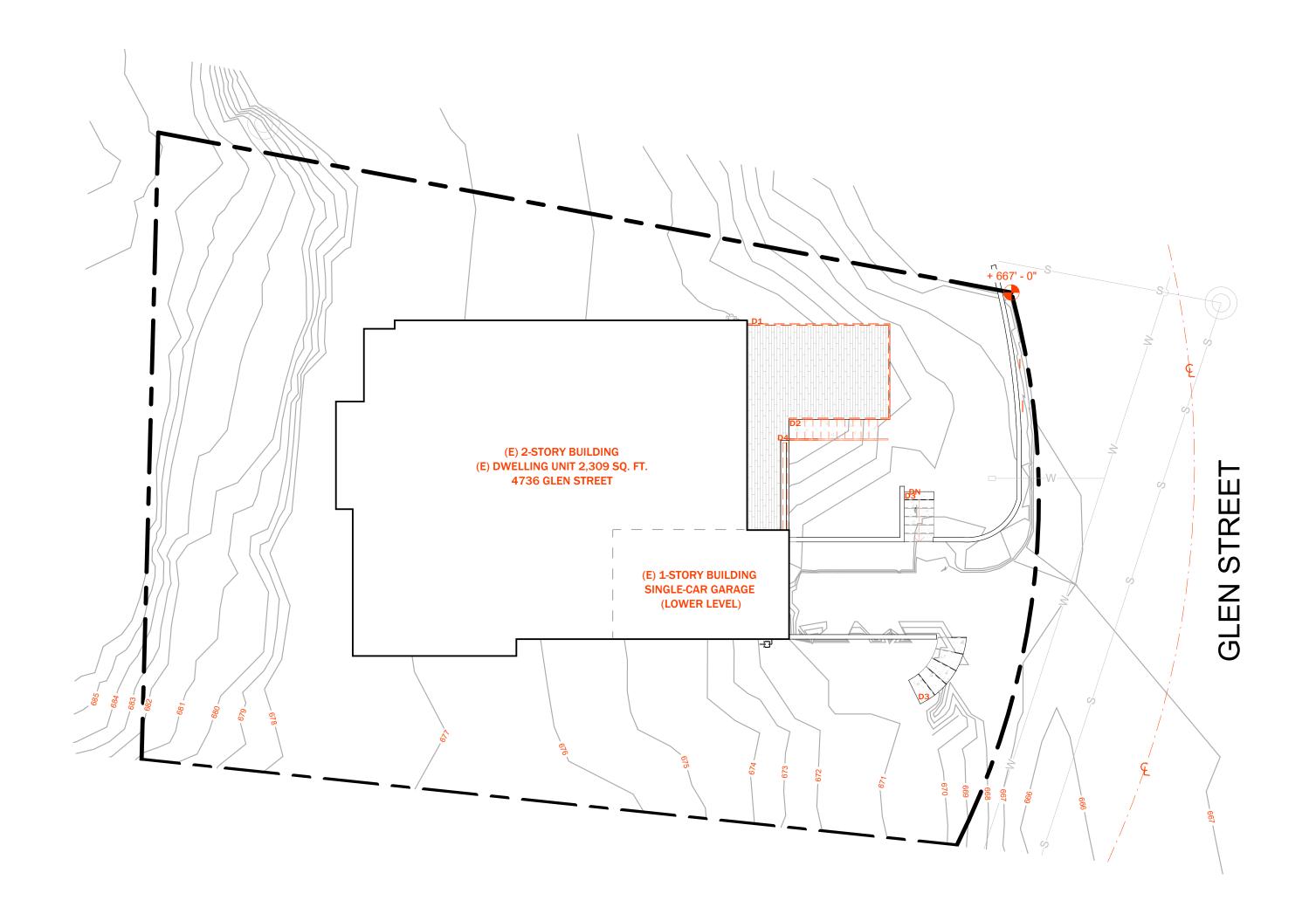


SITE

SCALE: As indicated

DRAWN Author

PERALTA DESIGN GROUP, LLC ASSOC. AIA (DESIGNER)



## **EXISTING/DEMO SITE PLAN**





## **DEMOLITION GENERAL NOTES**

1. CONTRACTOR TO PROTECT ALL EXISTING TO REMAIN DURING CONSTRUCTION PROCESS.

2. IF DURING THE DEMOLITION PROCESS, THE CONTRACTOR FINDS ANY ISSUE THAT WILL IMPACT. THE STRUCTURAL INTEGRITY, UTILITIES SYSTEM, OR ANY OF THE NEW CONSTRUCTION, HE/SHE. WILL INFORM THE DESIGNER AS TO ADDRESS THEM.

3. THE EXISTING GRADE WILL NOT BE ALTERED.

## **DEMOLITION LEGEND**

EXISTING WALL TO REMAIN, TYPICAL PROTECT IN PLACE DURING CONTRUCTION

EXISTING WALL TO BE DEMOLISHED

## **DEMOLITION KEYNOTES**

D1 (E) DECK RAILING TO BE REMOVED. PREPARE FOR REPLACEMENT PER PLAN.

D2 (E) WOOD STEPS TO BE DEMOLISHED.

D3 (E) MONOLITHIC STEPS TO BE REMAIN.
D4 (E) PLANTER WALL TO BE DEMOLISHED.

©2<sup>1</sup>

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# PROJECT: PURDUE RESIDENCE DECK

4736 GLEN STREET LA MESA, CA 91941

DATE: 04/19/21 PROJECT NO 24-4736g

REVISION DATE

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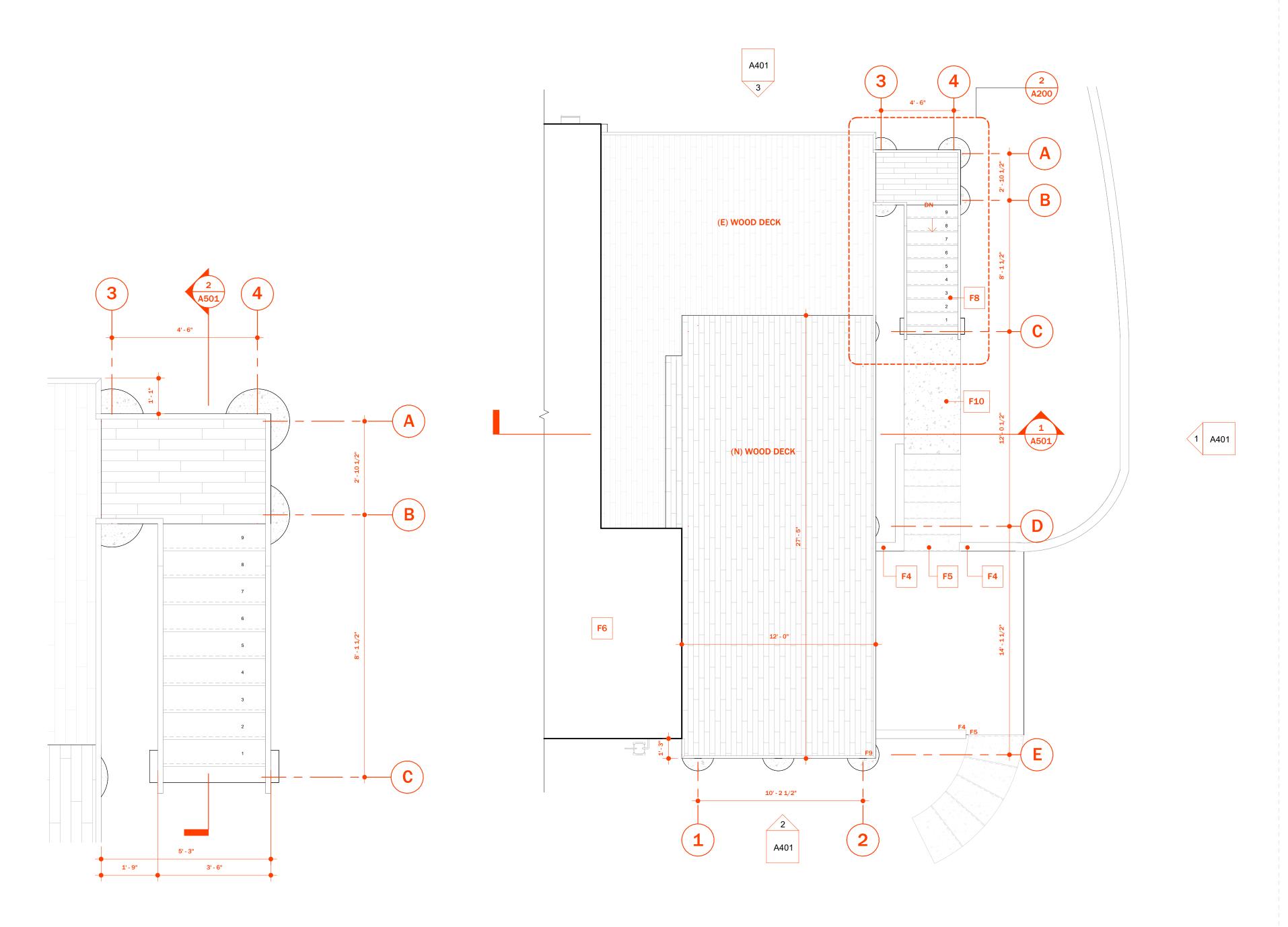


EXISTING DEMO SITE PLAN

SCALE: 1" = 10'-0"

A103

DRAWN A



## (N) STAIRCASE PLAN



SCALE: 1/4" = 1'-0"

## FLOOR PLAN GENERAL NOTES

1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

## **DECK** 4736 GLEN STREET LA MESA, CA 91941

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### **FLOOR PLAN KEYNOTES**

(E) RETAINING WALL
(E) MONOLITHIC CONCRETE STEPS (E) DWELLING UNIT

(N) WOOD STAIRCASE

(N) 42" HT. RAILING F10 (E) CONCRETE LANDING

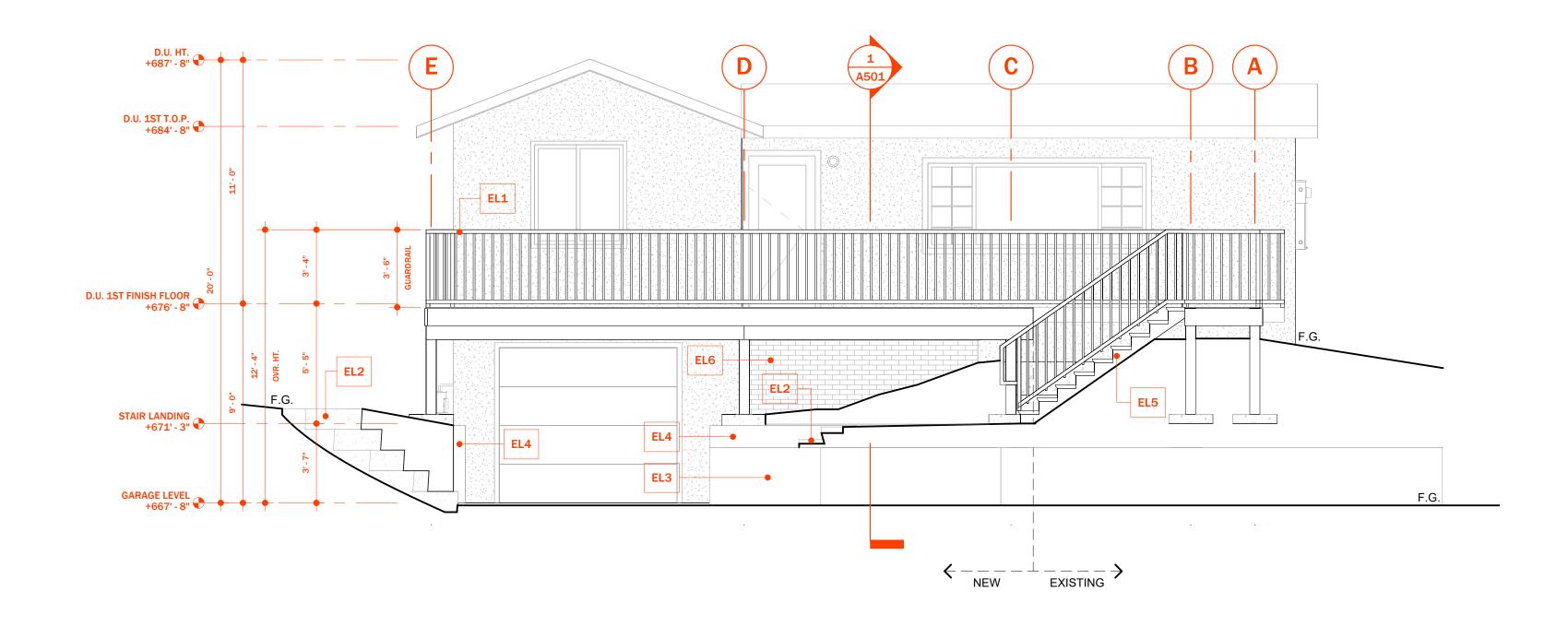


SCALE: As indicated

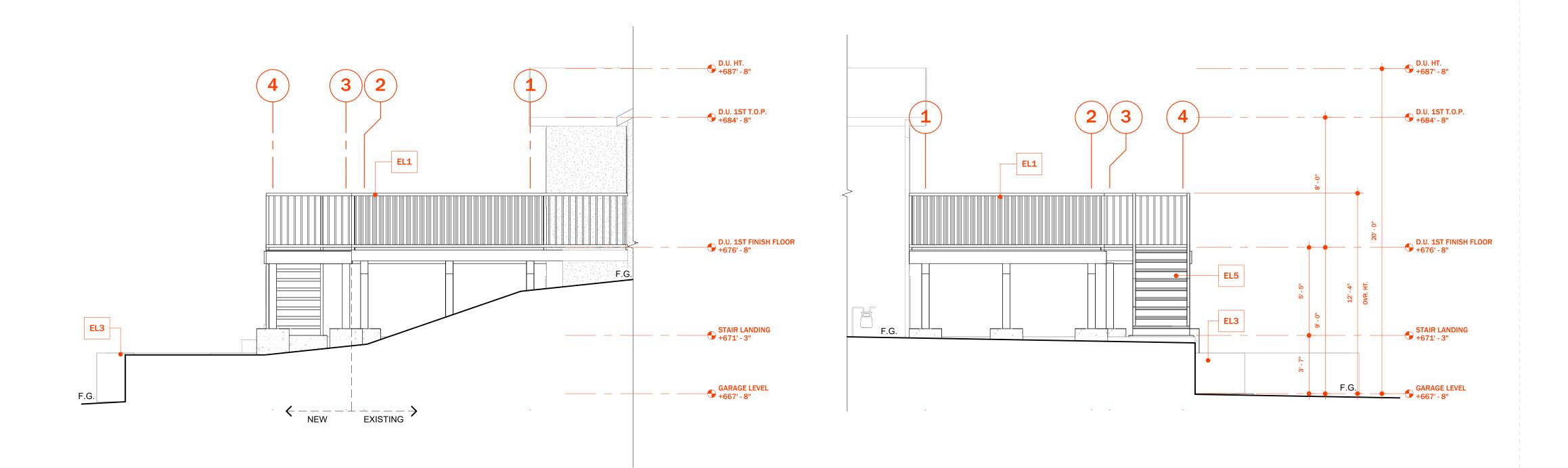
**PLAN** 



DRAWN



## (N) SOUTH-EAST ELEVATION SCALE: 1/4" = 1'-0"



## (N) NORTH-EAST ELEVATION SCALE: 1/4" = 1'-0"



#### **ELEVATION GENERAL NOTES**

REFER TO SITE PLAN ON SHEET A100 FOR LOCATION OF ELECTRICAL PANELS, GAS METERS, AND WATER HEATERS.

REFER TO FLOOR PLAN ON SHEET A200, A201 FOR EXACT DOOR AND WINDOW LOCATIONS AND RELATED SCHEDULES.

REFER TO ROOF PLAN ON SHEET A202 FOR ADDITIONAL INFORMATION REFER TO STRUCTURAL DRAWINGS FOR CONCRETE SLAB/FOUNDATION AND FRAMING PLANS AND RELATED DETAILS.

REFER TO BUILDING SECTION SHEET A600, FOR INSULATION R-VALUES. INSTALL ALL DOORS AND WINDOWS PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS TO MAINTAIN THEIR WARRANTY.

SEALANT DRAINAGE SYSTEM GASKETS AND WATERPROOFING MEMBRANE SHALL BE ASSEMBLED IN SUCH A MANNER TO PROVIDE A HIGH QUALITY WEATHERPROOF BUILDING ENCLOSURE.

ALL SEALANT JOINTS SHALL BE SIZED SUCH THAT THEY WILL BE WITHIN THE

SEALANT DRAINAGE SYSTEM GASKETS AND WATERPROOFING MEMBRANE SHALL BE ASSEMBLED IN SUCH A MANNER TO PROVIDE A HIGH QUALITY WEATHERPROOF BUILDING ENCLOSURE.
 ALL SEALANT JOINTS SHALL BE SIZED SUCH THAT THEY WILL BE WITHIN THE MINIMUM/MAXIMUM SIZE AS RECOMMENDED BY THE MANUFACTURER.
 ALL SEALANT JOINTS SHALL MAINTAIN CONTACT WITH THE ADJOINING PARTS WITHIN ALLOWABLE DIMENSIONAL CHANGES IN THE JOINT SIZE. ALL SEALANT JOINT SHALL MAINTAIN DURABILITY AND INTEGRITY UNDER ALL CONDITIONS.
 ALL FASTENERS ARE TO BE CONCEALED, EXCEPT AS SPECIFICALLY SHOWN.
 COLOR OF SEALANT SHALL MATCH ADJACENT MATERIALS.
 ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER AS DECLURED TO PREVENT MOLECULAR DEPENDING.

11. COLOR OF SEALANT SHALL MATCH ADJACENT MATERIALS.
12. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER AS REQUIRED TO PREVENT MOLECULAR BREAKDOWN.
13. THE MANUFACTURED WINDOW SHALL HAVE A LABEL ATTACHED CERTIFYING BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.

## **ELEVATION KEYNOTES**

EL1 (N) 42" HT. GUARDRAIL
EL2 (E) MONOLITHIC STEPS TO REMAIN

3 (E) 36" HT. RETAINING WALL
4 (E) 48" HT. RETAINING WALL
5 (N) WOOD STAIRCASE

(E) CMU WALL WITH BRICK VENEER TO REMAIN

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4736 GLEN STREET LA MESA, CA 91941

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PERALTA DESIGN

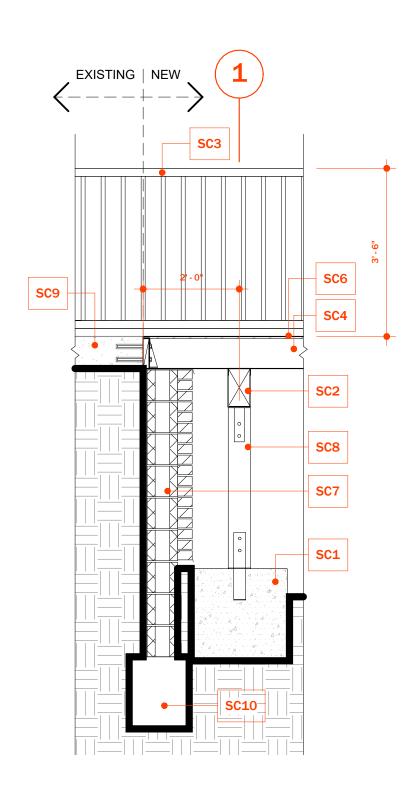


DECK ELEVATION

SCALE: 1/4" = 1'-0"

A401

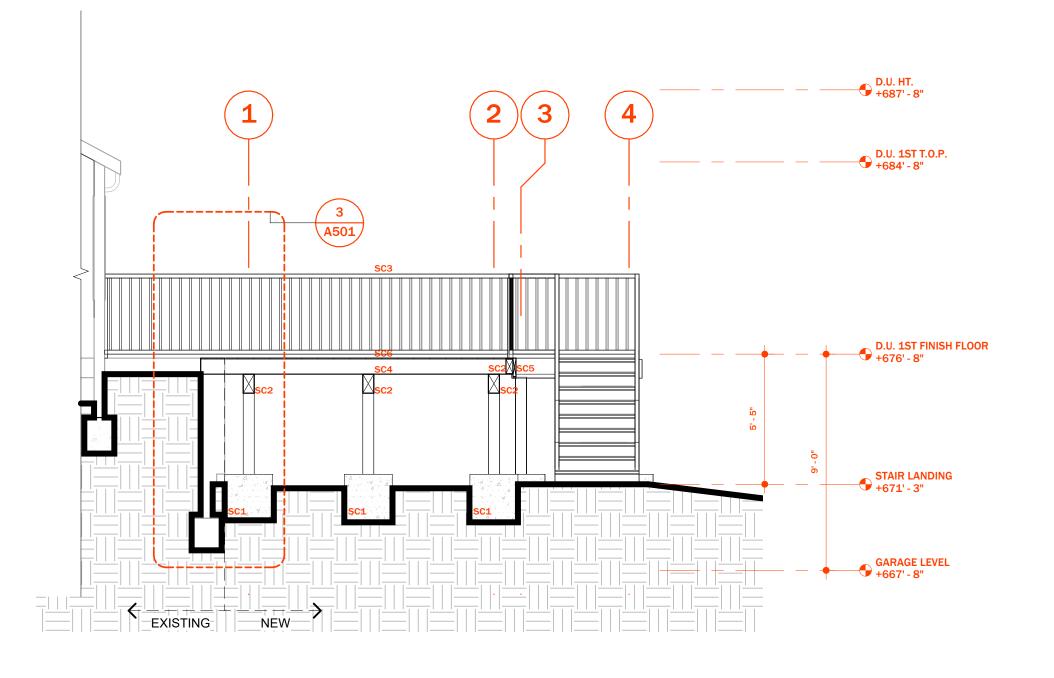
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## (E) RETAINING WALL TO (N) DECK DETAIL

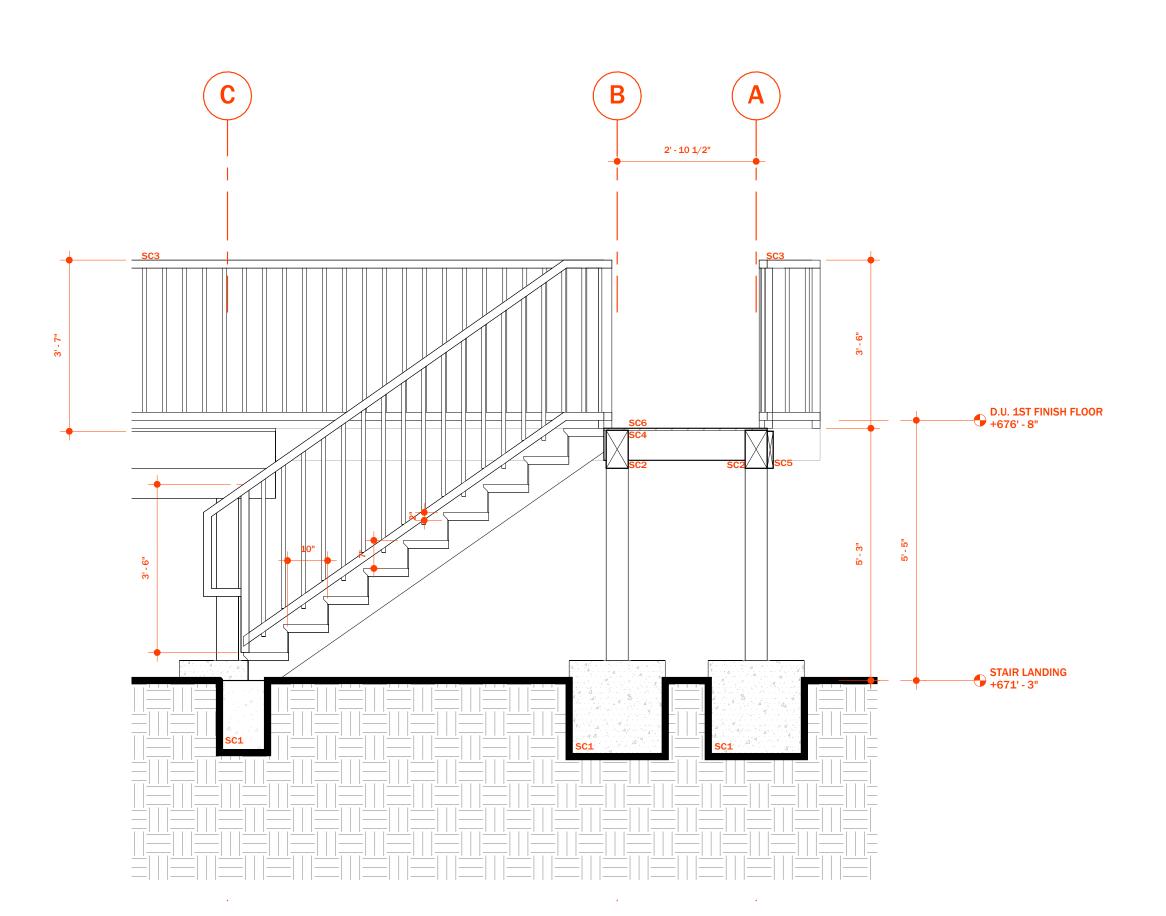
3

SCALE: 1/2" = 1'-0"



## Section 1

SCALE: 1/4" = 1'-0



Section 2

SCALE: 1/2" = 1'-0"

# DESIGN GROUP IC

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## **SECTION LEGEND**

**SECTION KEYNOTES** 

SC1 (N) CONCRETE FOOTING PER STRL. DWGS.
SC2 (N) 6X BEAM PER STRL. DWGS.
SC3 (N) 42" HT. STEEL RAILING
SC4 (N) 4X DECK JOIST PER STRL. DWGS.

(E) CMU WALL W/ BRICK VENEER

(N) 2X FASCIA

SC10 (E) WALL FOOTING

(N) 2X TREX DECKING

(E) CONCRETE DECKING
(N) 6X6 WOOD COLUMN



DOOR TAG



VALL SECTION



- 1-HR CONDITION WALL & FLOOR



**SECTIONS** 

SCALE: As indicated

A501

DRAWN Au