ABBREVIATIONS:

SHELF & POLE

SOLID CORE

STANDARD

STORAGE

SQUARE STRUCTURAL

TOCONC TOP OF CONCRETE

TREAD

TYPICAL

VERTICAL

WATERPROOF

WATER CLOSET

VOLT

WITHOUT

TOP OF CURB TOP OF SLAB

TOP OF WALL

SPECIFICATION STAINLESS STEEL

TOUNGE & GROOVE

TRASH COMPACTOR TRASH ENCLOSURE

VEGETABLE SINK

UNLESS OTHERWISE NOTED

SLIDING

	1 m 1/1 A m 1 m 1
ADJ	ADJUSTABLE
AFF	FINISHED FLOOR
ALUM	ALUMINUM
AB	ANCHOR BOLT
a BC	AT BASE CABINET
BC	BASE CABINET
BM	BEAM
В	BIDET
BLK	BLOCK
BD	BOARD
BOJ	BOTTOM OF JOIST
BOW	BOTTOM OF WALL
CAB	CABINET
CLG	CEILING
CJ	CEILING JOIST
CEM	CEMENT
CL	CENTER LINE
CER	CERAMIC
CLR	CLEAR
CM	COLD WATER
COL	COLUMN
COMP	
CONC	
CONT	
	CONSTRUCTION
CON JT	CONTROL JOINT
DET	DETAIL
DIA, D	DIAMETER
DW	DISHWASHER
DR	DOOR
DG	DECOMPOSED GRANITE
DBL GL	DOUBLE GLAZED
DF	DOUGLAS FIR
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING:
EA	EACH
ECP	EXTERIOR CEMENT PLASTER
EW	EACH WAY
ELEY	ELEVATION
EQ	EQUAL
FXIST	EXISTING
-	EXPANSION JOINT
• • • •	EXPOSED
• •	EXTERIOR
FOS	FACE OF STUD
Ħ	FINISH FLOOR
FG	FINISH GRADE
FIX	FIXTURE
	FLOOR DRAIN
	FLOOR JOIST
	FLUORESCENT
FTG	FOOTING
FAU	FORCED AIR UNIT
GI	GALVANIZED
GD GB	GARBAGE DISPOSAL
GR GA	GRADE GAUGE
	GYPSUM BOARD
	HARD WOOD
HDR	HEADER

HEATING

HOLLOW CORE

INSIDE DIAMETER

HORIZONTAL

HOT WATER

JUNCTION BOX

INTERIOR

_AMINATE

LAVITORY

MASONRY

MAXIMUM

METAL

MECHANICAL

MILLIMETER

MINIMUM

MOUNTED

NATURAL

NUMBER

ON CENTERS

OBSCURED.

PLASTER PLATE LINE

RADIUS

ROOF DRAIN

ROUGH OPENING

ROOF JOIST

SECTION SHEET

PLANTING AREA

NOT IN CONTRACT

OUTSIDE DIAMETER

OVERHEAD CABINET

POUNDS PER SQUARE INCH

PRESSURE TREATED

JOINT

JOIST

INT

RAD

GENERAL NOTES:

- ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE AND ASSOCIATED AMENDMENTS IN CITY OF LA MESA MUNICIPAL CODE (CDMC), AND THE 2022 CALIFORNIA BUILDING CODE (CBC) FOR THE NON-CONVENTIONAL FRAMING STRUCTURAL PROVISIONS.
- 2. A. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- B. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OR WORK.
- 3. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS, DIMENSIONS ARE TO FACE OF STUD OR SLAB UNLESS NOTED OTHERWISE ON DRAWINGS.
- 4. ALL LARGER SCALE DRAWING AND DETAILS SHALL TAKE PRECEDENCE OVER THOSE OF SMALLER SCALE.
- 5. YERIFY THERE IS AN EXISTING BACKWATER YALVE WITH THE BUILDING INSPECTOR.

RESIDENTIAL GREEN BUILDING STANDARD NOTES:

- STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION: PROJECTS WHICH DISTRURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE
- 2. GRADING AND PAYING: SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SUFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.) CGC 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.
- 3. LANDSCAPE: IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS. CGC 4.304.1
- 4. RECYCLING: A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC 4.408.1
- 5. RECYCLING THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2
- 6.0PERATION AND MAINTENANCE MANUAL: THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.1
- 1. POLLUTANT CONTROL: DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1
- 8. POLLUTANT CONTROL YOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS, COATINGS, CARPET AND COMPOSTION WOOD PRODUCTS. CGC 4.504.2.
- 9. INTERIOR MOISTURE CONTROL. THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECT. 4.505.3. BULDING MATERIAL WITH YISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC 4.505.3
- INDOOR AIR QUALITY BATHROOM FANS SHALL BE ENERGY STAR RATED VENTED DIRECTLY TO THE OUTSIDE & CONTROLLED BY A HUMIDISTAT. CGC 4.506.1.
- 11. PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS APRT OF THE CONSTRUCTION, CGC 102.3.
- 12. COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2019 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CFIR, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

JOHNSON RESIDENCE

GATESIDE RD. A.P.N. 499-030-49-00 LA MESA, CA. 91941

OWNER:

VIKKI & ROB JOHNSON RESIDENCE: 822 KALPATI CIR. UNIT C

CARLSBAD, CA. 92008

PHONE: (619) 504-3567

CONTACT INFORMATION:

MICHELLE PETTYCORD LIC *: 1080211 BUILDABLE, INC

PHONE *: (619) 685-0345 EMAIL: MICHELLE@SIMPLYBUILDABLECOM

KUSH DRAFTING - DESIGN:

HAMID KUSHKAKI

ADDRESS: 14288 DANIELSON ST. SUITE 201 POWAY, CA. 92064

PHONE #: (858) 271-4106

BUILDABLE, INC. - CONTRACTOR

& LANDSCAPE

NICK PARISI LIC*: 1080271

ADDRESS: 1205 FERRARA CT ESCONDIDO, CA. 92025

PHONE *: (760) 747-7700

KAPPA SURVEYING & ENGINEERING,

BILL DICK

ADDRESS: 8402 N. MAGNOLIA AVE, SUITE C SANTEE, CA. 92071

INC - CIVIL ENGINEERING

PHONE *: (619) 465-8948

LOT NO. LOT SQ. FT. 11,378 SQ. FT.

LEGAL DESCRIPTION:

THAT PORTION OF LOT 22 OF THE SUBDIVISION NO. 4, IN LOT 12, EX-MISSION RANCHO, IN THE CITY OF LA MESA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO LICENSED SURVEYOR'S MAP NO. 12, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, JUNE 13, 1892, WHICH LIES WITHIN A PARCEL OF LAND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEASTERLY CORNER OF LOT 8 OF SPRING VALLEY HIGHLANDS, ACCORDING TO MAP THEREOF NO. 2206, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY, THENCE WESTERLY ALONG THE SOUTHERLY LINE OF LOTS 8 AND 1, ACCORDING TO SAID MAP NO. 2206 TO THE SOUTHWEST CORNER OF SAID LOT 1± THENCE SOUTHERLY ALONG THE EAST LINE OF PARK LANE TO THE NORTHERLY LINE OF LOT 28 AS SHOWN ON SAID MAP NO. 2206 t THENCE EASTERLY ALONG SAID NORTHERLY LINE TO THE NORTHEASTERLY CORNER OF SAID LOT 28± THENCE NORTHERLY ALONG THE WESTERLY LINE OF GATESIDE ROAD AS SHOWN ON SAID MAP NO. 2206 TO THE POINT OF BEGINNING. EXCEPTING THEREFROM THAT PORTION CONVEYED TO FRANCIS HILL AND TERESA C. HILL, HUSBANDAND WIFE AS JOINT TENANTS BY DEED RECORDED DECEMBER 13, 1967 AS FILE NO. 195733.

AREA TABULATION:

IST FLOOR=	893 SQ. FT.
2ND FL <i>OO</i> R =	1,128 SQ. FT.
TOTAL LIVING AREA =	2,021 SQ. FT.
DECK =	25Ø SQ. FT.
2-CAR GARAGE =	461 SQ. FT.

SHEET INDEX:

ARCHITECTURAL

499-030-49-00

TITLE SHEET

2022 LOW RISE RESIDENTIAL MANDATORY MEASURES SUMMARY

FIRST & SECOND FLOOR PLAN

ROOF PLAN & AVERAGE GRADE ELEVATION

ELEVATIONS

DETAILS

ELECTRICAL PLAN

TITLE 24 (ENERGY)

T24 ENERGY CALCULATIONS

STRUCTURAL

GENERAL NOTES TYPICAL DETAILS

TYPICAL DETAILS & SCHEDULES

FOUNDATION & SECOND FLOOR FRAMING PLANS

ROOF FRAMING PLAN

FOUNDATION DETAILS

FLOOR FRAMING DETAILS

ROOF FRAMING DETAILS

SIMPSON STRONG WALL INFORMATION

SIMPSON STRONG WALL INFORMATION

SIMPSON STRONG WALL INFORMATION

WSWHI.3 SIMPSON STRONG WALL INFORMATION

SIMPSON STRONG WALL INFORMATION

SIMPSON STRONG WALL INFORMATION

SIMPSON STRONG WALL INFORMATION

TYPE OF CONSTRUCTION:

LOT COVERAGE:

1,354 SQ. FT. / 11,378 SQ. FT. (LOT)= 0.12

SPRINKLERS:

"HOME SHALL BE FIRE-SPRINKLERED" (UNDER SEPARATE PERMIT)

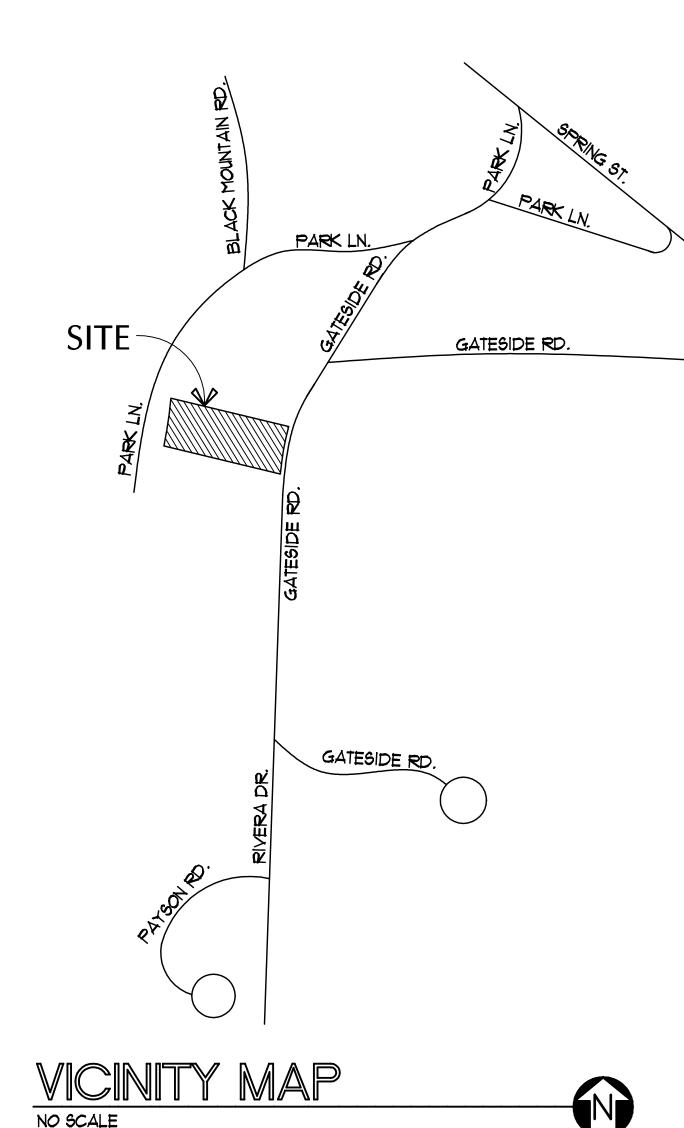
DEFERRED SUBMITTAL:

-PV SYSTEM (10 kW) (UNDER SEPARATE PERMIT)

SCOPE OF WORK

PROPOSED TO BUILD A FOUR BEDROOM HOME W/ 2-CAR GARGAE ON EMPTY LOT & RETAINING WALL AROUND THE PROPOSED HOME.

THESE PLANS SHALL COMPLY WITH THE THE 2022 CALIFORNIA BUILDING CODE, PROJECT SHALL COMPLY WITH THE FOLLOWING CODES: 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE AND ALL APPLICABLE CITY OF LA MESA CODES AND ORDINANCES.



CITY STAMPS:

3

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REVISIONS

DATE 11-07-2024 SCALE

DRAWN PROJECT



2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

(00	
Building Envelope	:
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011.*
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
0.440.0%	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from

Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped. Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be § 110.7: caulked, gasketed, or weather stripped. Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household § 110.8(a): Goods and Services (BHGS).

Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g). § 110.8(g): Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified

§ 110.8(j): Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration

as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. * Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value. Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood

framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102 Masonry walls must meet Tables 150.1-A or B. * Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alon

without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g). Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class III vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to

/apor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation. Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have § 150.0(q): a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45.

Fireplaces, Decorative Gas Appliances, and Gas Log: Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces. Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox. Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device. *

§ 150.0(e)2: § 150.0(e)3: Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. * Space Conditioning, Water Heating, and Plumbing System: Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other 110.0-§ 110.3: regulated appliances must be certified by the manufacturer to the California Energy Commission.

HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N. Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; § 110.2(b): and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a § 110.2(c):

nsulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank § 110.3(c)3: Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with § 110.3(c)6: hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.



2022 Single-Family Residential Mandatory Requirements Summary

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must § 150.0(m)13: be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3. *

Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole-

tilation and Inc	door Air Quality:
150.0(o)1:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 6
	Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.*

§ 150.0(o)1B:	dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o)1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(o)1C.
§ 150.0(o)1C:	Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses. Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.
§ 150.0(o)1G:	Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand-controlled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi. *
§ 150.0(o)1H&I:	Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o)1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o)1C.
§ 150.0(o)2:	Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(o)1G
ool and Spa Sys	stems and Equipment:
§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.*
§ 110.4(b)1:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	Pool Systems and Equipment Installation . Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves. *
ighting:	
§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9. *
§ 150.0(k)1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and liner closets with an efficacy of at least 45 lumens per watt.
150.0(k)1B:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*

Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight,

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a

luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor

and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met.

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k). *

§ 150.0(k)1C:

§ 150.0(k)1E:



2022 Single-Family Residential Mandatory Requirements Summary

Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances § 110.5: (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and uilding Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, § 150.0(h)1: Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2. Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any § 150.0(h)3A: Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the § 150.0(h)3B: Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code.* § 150.0(j)1: Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no § 150.0(j)2: adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5' x 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2" higher than the base of the water heater Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director.

Ducts and Fans: Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement. CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher; ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable LIL requirements, or aerosol sealant that meets LIL 723 § 150.0(m)1: The combination of mastic and either mesh or tape must be used to seal openings greater than \(\lambda'', \) If mastic or tape is used. Building cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in

Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands. Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction. Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic § 150.0(m)7:

Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents. Protection of Insulation. Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted canvas, or plastic cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating. § 150.0(m)10: Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in

accordance with Reference Residential Appendix RA3.1. Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the



2022 Single-Family Residential Mandatory Requirements Summary

§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems. *
§ 150.0(k)2A:	Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. *
§ 150.0(k)2B:	Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installed to comply with § 150.0(k).
§ 150.0(k)2C:	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(k)2D:	Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specified in § 150.0(k)2A.
§ 150.0(k)2E:	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.
§ 150.0(k)2F:	Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED ligh sources in these spaces must comply with NEMA SSL 7A.
§ 150.0(k)2K:	Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets applicable requirements may be used to meet these requirements.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
Solar Readiness:	
§ 110.10(a)1:	Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).
§110.10(b)1A:	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet.
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant.
§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pol circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

Electric and Energy Storage Ready



2022 Single-Family Residential Mandatory Requirements Summary

Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source. Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready," and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructe

§ 150.0(u) 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use." Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole

circuit breaker permanently marked as "For Future 240V use."

*Exceptions may apply.

5/6/22

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REVISIONS

CITY STAMPS:

DATE 11-07-2024 SCALE

DRAWN PROJECT

SHEET

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, LA MESA MUNICIPAL STORM WATER PERMIT, THE CITY OF LA MESA LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF LA MESA "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING / IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWIPPP) AND / OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPS AND, IF APPLICABLE THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION BMPS.
- 2. THE CONTRACTOR SHALL INSTALL & MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS & REINSTALLED AFTER RAIN IS OVER.
- 3. ALL CONSTRUCTION BMPS SHALL BE INSTALLED & PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- 4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING & GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION & SEDIMENT CONTROL MEASURES.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB CONTRACTORS & SUPPLIERS ARE AWARE OF ALL STORM WATER BMPS & IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP / WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, \$ / OR STOP WORK NOTICES.
- 6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONDIBLE FOR CLEANUP OF ALL SILT DEBRIS, AND MUD ON AFFECTED & ADJACENT STREET(S) & WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES / EQUIPMENT & CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAYS.
- 1. THE CONTRACTOR SHALL PROTECT NEW & EXISTING STORM WATER CONVEYANCE SYSTEM FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS & DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER & AS INDICATED IN THE SWPPP / WPCP.

MATERIALS:

FENCES: WOOD-CEDAR

RETAINING WALLS: - CMU BLOCK & GROUT/ MORTAR

EARTHWORK QUANTITIES:

b. EXISTING AMOUNT OF IMPERVIOUS AREA:

a. TOTAL DISTURBANCE AREA:

d. TOTAL IMPERVIOUS AREA:

e. IMPERVIOUS % INCREACE:

EARTHWORK QUANTITIES:

CUT QUANTITIES: 1,150 CYD

FILL QUANTITIES: Q CYD

IMPORT/EXPORT: _____ CYD

MAX. CUT DEPTH: Ø FT.

MAX. FILL DEPTH: 0 FT.

CONDITIONAL USE PERMIT.

TITLE 24 NOTES:

MECHANICAL NOTES:

EXHAUST DUCTS AND DRYER VETNS SHALL

ENVIROMENTAL AIR DUCTS AND EXHAUST

BE EQUIPPED WITH BACK-DRAFTS DAMPERS

TERMINATIONS SHALL TERMINATE NOT LESS

CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR

HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR

CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL

ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12

DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF

THE ASSOCIATED CFIR. CERTIFICATE OF OCCUPANCY WILL NOT BE

AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF

POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) O

FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE

F FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE

POSTED A THE BUILDING SITE BY A CERTIFIED HERS RATER. A R

EGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION

DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION OF THE

ASSOSIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE

ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20

SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING

ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.

THAN 3'-0" FROM A PROPERTY LINE AND

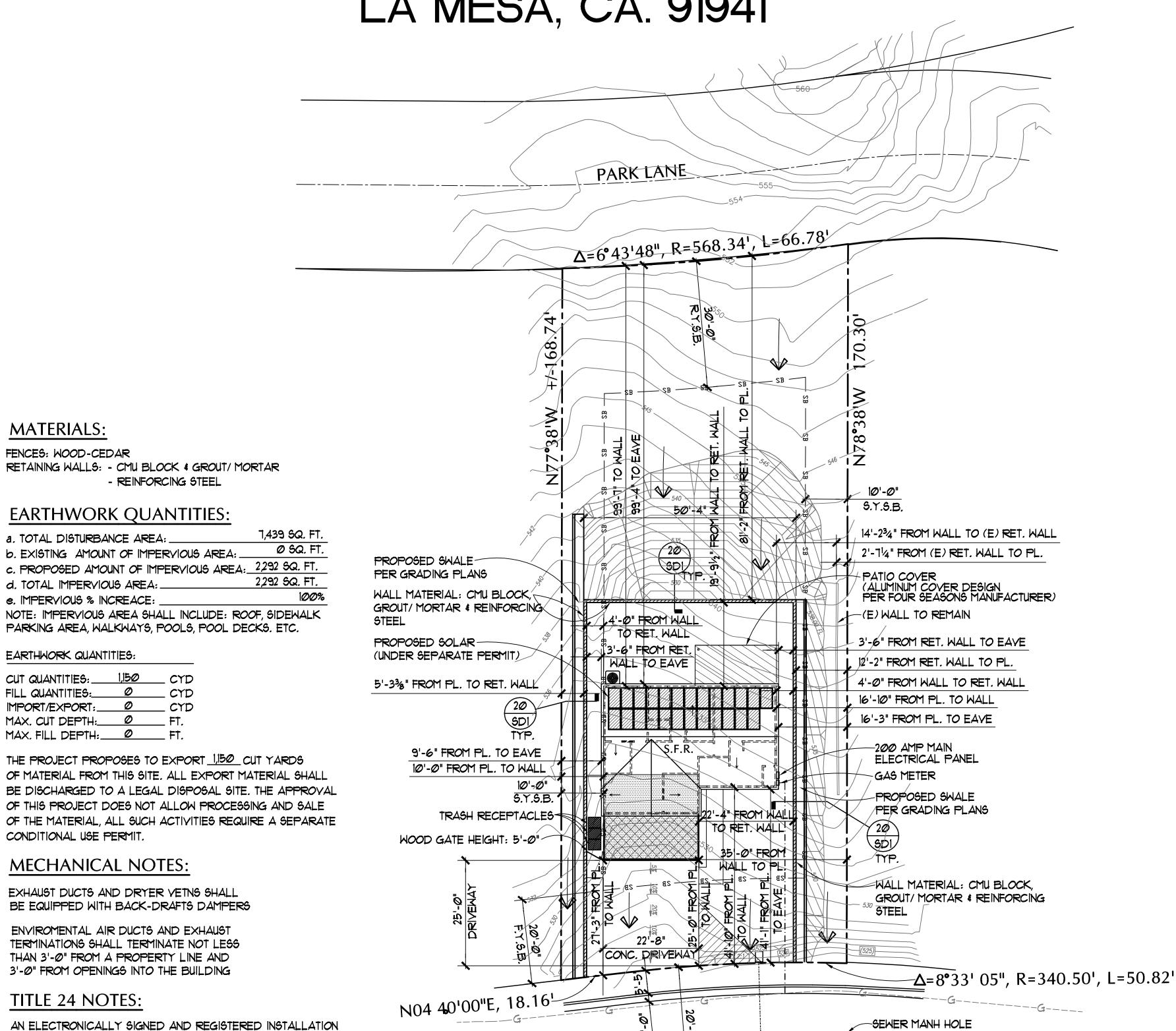
3'-0" FROM OPENINGS INTO THE BUILDING

- REINFORCING STEEL

- 8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, & MUD FROM ALL DITCHES & SWALES PRIOR TO & WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- 9. IF A NON-STORM WATER DISHARGE LEAVES THE SITE. THE CONTRACTOR SHALL IMMEDIALTELY STOP THE ACTIVITY & REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MASTERIAL, SEDIMENT, & DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM & PROPERLY DISPOSED OF BY THE CONTRACTOR.
- 10. EQUIPMENT & WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT
- 11. THE CONTRACTOR SHALL RESTORE & MAINTAIN ALL EROSION & SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND
- 12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER & SEDIMENT-LADEN DISCHARGES.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE & SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- 14. ALL EROSION & SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP / WPCP SHALL BE INSTALLED & MAINTAINED. ALL EROSION & SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED & INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- 15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAK CINTRACTOR, WUALIFIED CONTACT PERSON, EROSION CONTROL SUBCINTRACTOR IF ANY, ENGINEER OR WORK, OWNER / DEVELOPER, & THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION & SEDIMENT CONTROL MEASURES & OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- 16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS & MAINTAIN ALL BMPS DAILY & AS NEEDED. VISUAL INSPECTIONS & MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING, & AFETR EVERY RAIN EVENT & EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN & REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- 17. CONSTRUCTION ENTRANCE & EXIT AREA. TE, PORARY CONSTRUCTION ENTRANCE & EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT & OTHER POTENTIAL POLLUTANTS ONTO PAYED SURFACES & TRAVELED WAYS. WIDTH SHALL BE 10'*0" OR MINIMUM NECESSARY TO ACCOMMODATE VEHICLES & EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES, SHALL BE EFFECTVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3" STORM WATER MANAGEMENT & DISCHARGE CONTROL.

JOHNSON RESIDENCE

GATESIDE RD. A.P.N. 499-030-00 LA MESA, CA. 91941



SITE PLAN SCALE: 1" = 15'-0"

____ \$ OF STREET

(E) 10" WATER LINE

(E) 8" VC SEWER LINE

LEGEND ____ INDICATES NEW WALLS INDICATES SET BACKS --- INDICATES PROPERTY LINE ---- INDICATES STREET CENTER LINE DRAINAGE ARROWS INDICATES LOW ROOF INDICATES DECK INDICATES (E) GAS LINE ----- INDICATES (N) GAS LINE INDICATES (E) 10" WATER LINE INDICATES (E) 8" VC SEWER MAIN LINE ----- INDICATES (N) SEWER 6" LATERAL @ 2% INDICATES (N) WATER LINE 14. WIII INDICATES (N) CMU RETAINING WALL INDICATES FUTURE SOLAR PANELS UNDER SEPARATE PERMI (SEE SHEET A2) INDICATES 2-CAR GARAGE AREA

NOTES:

- I. CONTRACTOR TO HAULL ALL DAMAGED OR UNUSABLE MATERIAL TO THE CITY/ COUNTY APPROVED LOCATIONS.
- 2. NO WORK PROPOSED IN THE PUBLIC RIGHT OF WAY AS PART OF THIS BUILDING PERMIT APPLICATION.
- 3. NO PART OF STRUCTURES, RETAINING WALLS AND FOOTINGS SHALL ENCROACH INTO ADJACENT PROPERTIES, EASEMENTS OR PUBLIC RIGHT- OF- WAY
- 4. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO LOCATE PROPERTY LINES AND CONFORM TO SET BACK REQUIREMENTS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO THE CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREECH IN INSTALLED CONSTRUCTION BMP'S, WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET. A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET.
- 6. ALL STOCKPILES OF SOIL AND OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMF DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- 1. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
- 8. THE CONTRACTOR SHALL RESTORE ALL EROSION/ SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACHES ITS **EFFECTIVENESS**
- 9. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- 10. THE STORAGE OF ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
- 11. ALL EXISTING DRAINAGE INLETS TO BE PROTECTED DURING CONSTRUCTION, AND MEANS OF PROTECTION TO BE VISIBLE DURING INSPECTIONS.
- 12. MECHANICAL EQUIPMENT, IF INSTALLED, MUST OBSERVE MINIMUM BUILDING SETBACKS AND MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND FROM THE STREET.
- 13. PLAN CHANGES REQUIRE PRIOR APPROVAL OF THE COMMUNITY DEVELOPMENT DEPARTMENT. PROPOSED PLAN CHANGES SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.
- 14. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2022 CGBSC.
- 15. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
- 16. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- 17. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM) AT 80 PSI.
- 18. PROVIDE WATER CLOSET WITH A MAXIMUM FLOW OF 1.28 GALLONS FLUSH (GPF)
- 19. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
- 20. PER 2022 CGBSC, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTING (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC)
- 21. PER 2022 GREEN CODE, MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE WITH THE FOLLOWING:
- UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTEMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT

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REVISIONS

CITY STAMPS:

DATE 11-07-2024 SCALE

PROJECT

DRAWN

SHEET

A01

	DOOR SCHEDULE						WINDOW SCHEDULE				
MARK	SIZE	OPERATION TYPE	AREA (ft²)	U-FACTOR	SHGC	MARK	SIZE	OPERATION TYPE	AREA	U-FACTOR	SHGC
DI	18'-0" x 7'-0"	GARAGE	126	0.40	Ø.22	MI	5'-Ø" x 5'-Ø"	SLIDER	25	Ø.29	Ø.23
D2	3'-0" x 8'-0"	SWING	24	0.40	Ø.22	W2	3'-0" x 5'-0"	FIXED	15	Ø.22	Ø.23
D3	12'-0" × 8'-0"	CENTER SLIDER	96	Ø.28	0.23	W3	4'-0" × 4'-0	SLIDER	16	Ø.29	Ø.23
D4	2'-8" × 6'-8"	SELF LATCHING 4 SELF CLOSING	17.8	0.40	Ø.22	W4	3'-0" × 4'-6"	SLIDING	13.5	Ø.29	Ø.23
D5	2'-8" × 6'-8"	1-HR FIRE RATED 4 SELF CLOSING	17.8	0.40	Ø.22	W5	4'-Ø" x 1'-Ø"	SLIDING	4	Ø.29	Ø.23
D6	12'-0" × 6'-8"	SLIDER	80	Ø.28	0.23	M6	2'-Ø" x 4'-Ø"	SINGLE HUNG	8	Ø.29	Ø.23
דס	2'-0" × 6'-8"	SWING/ LOYOURED	13.3	Ø.28	Ø.23	MT	2'-6" × 4'-0"	SINGLE HUNG	10	Ø.29	Ø.23
			•		•	MS	2'-Ø" × 3'-Ø"	SINGLE HUNG	6	Ø.29	Ø.23
						M9	5'-Ø" × 4'-Ø"	SLIDER	2Ø	Ø.29	Ø.23
						MIØ	2'-Ø" x 1'-Ø"	FIXED	2	Ø.22	Ø.23
						MII	4'-Ø" x 1'-Ø"	FIXED	4	Ø.22	Ø.23
						W12	2'-0" x 2'-0"	FIXED	4	0.22	0 23

L	EGEND		
1.		INDICATES 2 x 4 @ 16" STUD WALLS	
2.		INDICATES 2 x 6 @ 16" STUD WALLS	
3.		INDICATES DECK AREA	_

INDICATES I HR FIRE RATED WALL PER A5

INDICATES CARBON MONOXIDE DETECTORS TO BE PERMANENTLY WIRED WITH BATTERY BACKUP POWER (HARD WIRE) IN A CENTRAL LOCATION AT THE NEW FLOOR, CONTRACTOR TO PROVIDE SMOKE DETECTORS IN ALL PROPOSED HALLWAYS OR AREAS LEADING TO EACH SLEEPING ROOM (INSTALLATION OF CARBON MONOXIDE DETECTORS SHALL COMPLY WITH CRC SEC. R314, PER 2022 CRC)

PERMANENTLY WIRED WITH BATTERY BACKUP POWER (HARD WIRE) IN A CENTRAL LOCATION AT THE NEW FLOOR. CONTRACTOR TO PROVIDE SMOKE DETECTORS IN ALL EXISTING & PROPOSED SLEEPING ROOMS \$ HALLWAYS OR AREAS LEADING TO EACH SLEEPING ROOM (INSTALLATION OF SMOKE DETECTORS SHALL COMPLY WITH CRC SEC. R314, PER 2022 CRC)

INDICATES SMOKE DETECTORS TO BE

RHEEM PERFORMANCE PLATINUM & HYBRID ELECTRIC HEATPUMP HIGH EFFICIENCY SMART TANK WATER HEATER MODEL*: XE4@TI@H45U@ 40 GAL. (PROVIDE 2 SEISMIC STRAPS)

RHEEM FURNANCE MODEL *: R96TA0102311M6A GAS FURNACE

NOTES:

- EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS
- 2. INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE-HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F
- 3. WATER HEATER SHALL BE STRAPPED TO THE BUILDING WITH AT LEAST TWO STRAPS TO PREVENT SEISMIC MOVEMENT, ONE STRAP WITHIN THE UPPER THIRD AND THE OTHER WITHIN THE LOWER THIRD OF THE WATER HEATER. THE LOWER STRAP SHALL NOT BE WITHIN 4" OF THE CONTROLS. CPC 507.2.
- 4. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES AND FALL PREVENTION DEVICES COMPLYING WITH ASTM F2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPEAND RESCUE OPENING AND SHALL NOT BE MORE THAN 70 INCHES (178 CM) ABOVE THE FINISHED FLOOR. THE RELEASE ME CHANISM SHALL BE MAINTAINED OPERABLE AT ALL TIMES R310.1.1.
- 5. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. CRC R311.2.
- 6 EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. CRC R311.2.

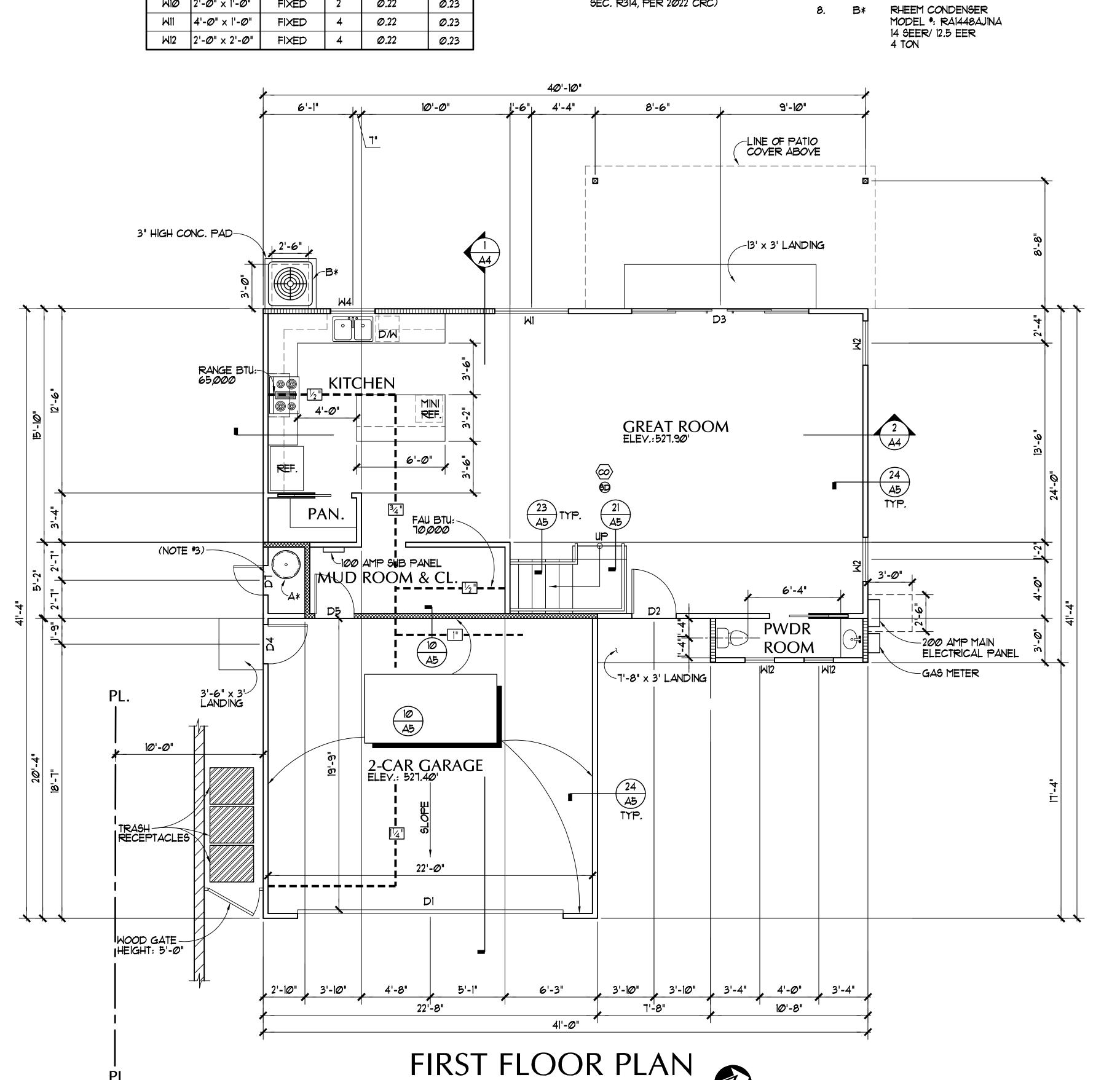


REVISIONS

	DATE	11-07-2024
	SCALE	

DRAWN PROJECT

A1



SCALE: 1/4" = 1'-0"

	DC	OOR SCHEI	DULE				WIN	DOW SCH	EDULI	 E	
MARK	SIZE	OPERATION TYPE	AREA (ft²)	U-FACTOR	SHGC	MARK	SIZE	OPERATION TYPE	AREA (ft²)	U-FACTOR	SHGC
DI	18'-0" x 7'-0"		126	0.40	Ø.22	MI	5'-Ø" x 5'-Ø"	SLIDER	25	Ø.29	Ø.23
D2	3'-0" x 8'-0"	SWING	24	0.40	Ø.22	W2	3'-0" x 5'-0"	FIXED	15	Ø.22	Ø.23
D3	12'-0" × 8'-0"	CENTER SLIDER	96	Ø.28	Ø.23	W3	4'-0" × 4'-0	SLIDER	16	Ø.29	Ø.23
D4	2'-8" × 6'-8"	SELF LATCHING:	17.8	0.40	Ø.22	W4	3'-0" x 4'-6"	SLIDING	13.5	Ø.29	Ø.23
D5	2'-8" × 6'-8"	1-HR FIRE RATED 4 SELF CLOSING	17.8	0.40	Ø.22	W5	4'-Ø" x 1'-Ø"	SLIDING	4	Ø.29	Ø.23
D6	12'-0" × 6'-8"		80	Ø.28	Ø.23	W6	2'-Ø" × 4'-Ø"	SINGLE HUNG	8	Ø.29	Ø.23
דם	2'-Ø" x 6'-8"	SHING/ LOYOURED	13.3	Ø.28	Ø.23	MI	2'-6" × 4'-Ø"	SINGLE HUNG	10	Ø.29	Ø.23
	!			l		M8	2'-Ø" × 3'-Ø"	SINGLE HUNG	6	Ø.29	Ø.23
						МЭ	5'-Ø" × 4'-Ø"	SLIDER	2Ø	Ø.29	Ø.23
						MIØ	2'-Ø" x 1'-Ø"	FIXED	2	Ø.22	Ø.23
						MII	4'-Ø" x 1'-Ø"	FIXED	4	Ø.22	Ø.23
						W12	2'-0" × 2'-0"	FIXED	4	0.22	0 23

L	EGEND	
1.		INDICATES 2 x 4 @ 16" STUD WALLS
2.		INDICATES 2 x 6 @ 16" STUD WALLS
3.		INDICATES DECK AREA
4.		INDICATES I HR FIRE RATED WALL PER (10)
_		AS

INDICATES CARBON MONOXIDE

DETECTORS TO BE PERMANENTLY

WIRED WITH BATTERY BACKUP POWER

(HARD WIRE) IN A CENTRAL LOCATION

AT THE NEW FLOOR, CONTRACTOR TO

PROVIDE SMOKE DETECTORS IN ALL

PROPOSED HALLWAYS OR AREAS

LEADING TO EACH SLEEPING ROOM

SEC. R314, PER 2022 CRC)

(INSTALLATION OF CARBON MONOXIDE

DETECTORS SHALL COMPLY WITH CRC

 $\langle \! \omega \! \rangle$

5.

INDICATES SMOKE DETECTORS TO BE PERMANENTLY WIRED WITH BATTERY BACKUP POWER (HARD WIRE) IN A CENTRAL LOCATION AT THE NEW FLOOR. CONTRACTOR TO PROVIDE SMOKE DETECTORS IN ALL EXISTING & PROPOSED SLEEPING ROOMS & HALLWAYS OR AREAS LEADING TO EACH SLEEPING ROOM (INSTALLATION OF SMOKE DETECTORS SHALL COMPLY WITH CRC SEC. R314, PER 2022 CRC)

RHEEM PERFORMANCE PLATINUM & HYBRID ELECTRIC HEATPUMP HIGH EFFICIENCY SMART TANK WATER HEATER MODEL*:XE40TI0H45U0 40 GAL. (PROVIDE 2 SEISMIC STRAPS)

RHEEM CONDENSER MODEL *: RA1448AJINA 14 SEER/ 12.5 EER 4 TON

RHEEM FURNANCE MODEL *: R96TAØ1Ø2317MSA GAS FURNACE

INDICATES WINDOWS TO BE TEMPERED

NOTES:

- 1. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS
- 2. INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE-HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F
- 3. WATER HEATER SHALL BE STRAPPED TO THE BUILDING WITH AT LEAST TWO STRAPS TO PREVENT SEISMIC MOVEMENT, ONE STRAP WITHIN THE UPPER THIRD AND THE OTHER WITHIN THE LOWER THIRD OF THE WATER HEATER. THE LOWER STRAP SHALL NOT BE WITHIN 4" OF THE CONTROLS. CPC 507.2.
- 4. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES AND FALL PREVENTION DEVICES COMPLYING WITH ASTM F2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPEAND RESCUE OPENING AND SHALL NOT BE MORE THAN 70 INCHES (178 CM) ABOVE THE FINISHED FLOOR. THE RELEASE ME CHANISM SHALL BE MAINTAINED OPERABLE AT ALL TIMES R310.1.1.
- 5. SHOWER ENCLOSURE IN THE MASTER BATH SHALL BE TEMPERED CRC R308.4.5.



REVISIONS

DATE ||-Ø7-2Ø24 SCALE

DRAWN PROJECT

A2

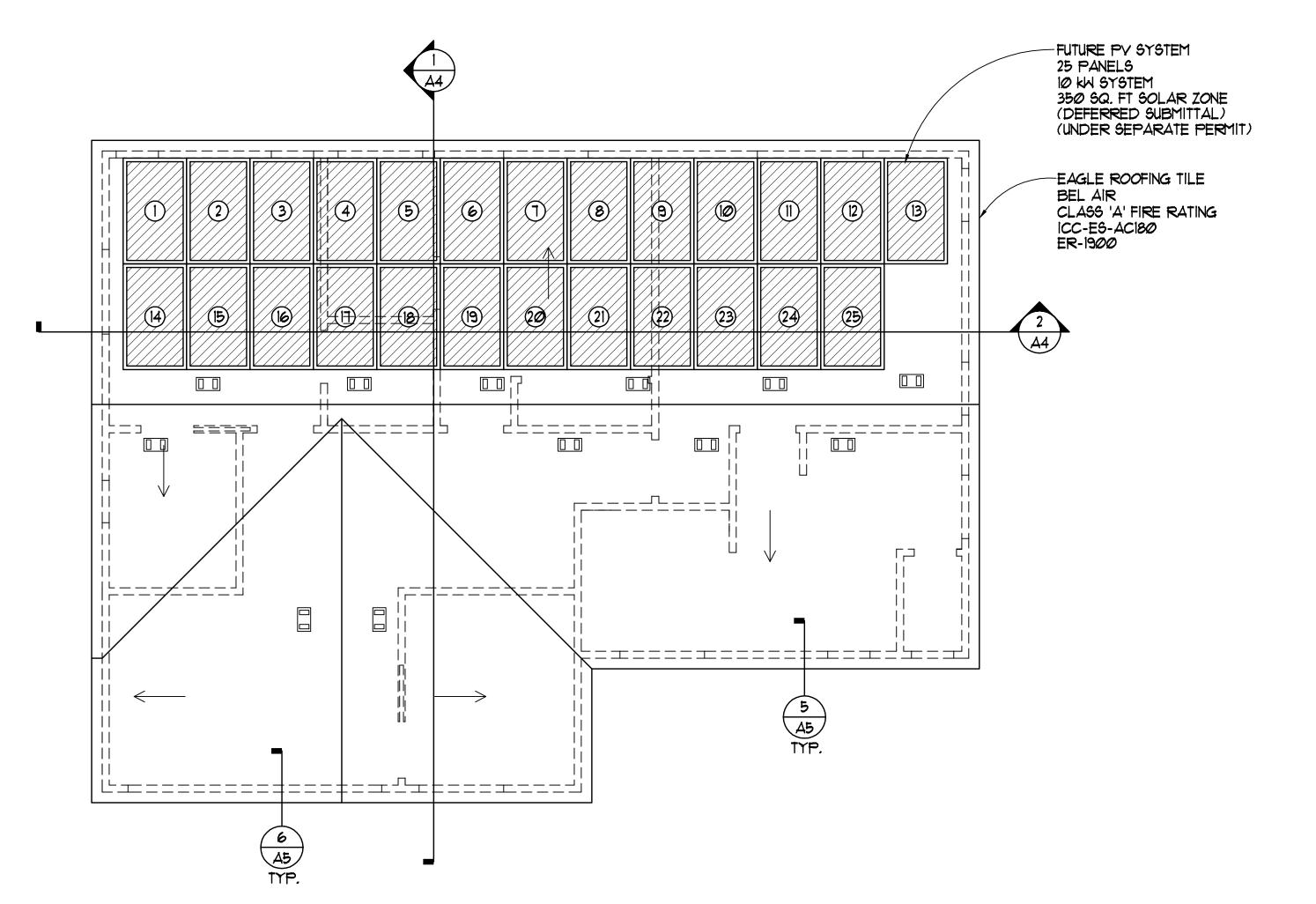
 $M12 | 2' - 0'' \times 2' - 0'' | FIXED | 4 | 0.22 | 0.23$ 41'-Ø" 3'-10" علم "2'-8" إلى "5'-8" على "5'-10" علم "5'-10" علم "5'-10" علم "5'-10" علم "5'-10" علم "5'-10" 7'-6" - PATIO COVER (ALUMINUM COVER DESIGN PER FOUR SEASONS MANUFACTURER) A4/ EGRESS EGRESS ം BEDROOM 3 BEDROOM 2 **MASTER** BEDROOM \<u>A4</u>/ **MASTER** BATH W.I.C. 15 A5 LAUNDRY LOFT ROOM -4" DRYER VENT TO BE A MAX. LENGTH OF 14' DECK A5 TYP. 42" ULTRALOX INTERLOCKING -ALUMINUM RAILING ESR-3485 3'-0" 2'-4" 2'-3" 1'-9" 1'-8" 3'-6" 3'-Ø"

8'-8"

41'-Ø"

SECOND FLOOR PLAN

14'-0"



LEGEND

INDICATES WALLS BELOW

INDICATES NUMBER OF SOLAR PANELS

INDICATES ROOF VENTS

ROOF VENTILATION CALCS.

AREA TO BE VENTILATED =1,128 S.F. 1,128/150 = 1.52 \approx 8 SQ. FT. OF NFA (NET FREE AREA OF VENT.) 8 SQ. FT. x 144= 1,152 SQ. INCH. OF NFA NEEDED

O'HAGIN CONCRETE TILE ROOF VENT: 26 GAUGE, G-90 GALY. STEEL. LOW PROFILE CONCRETE TILE ROOF VENT WITH 2" FLANGE AND 4" GALYANIZED WIRE MESH. (VENT MEETS ICC REQUIREMENTS) ICC-ES-9650A

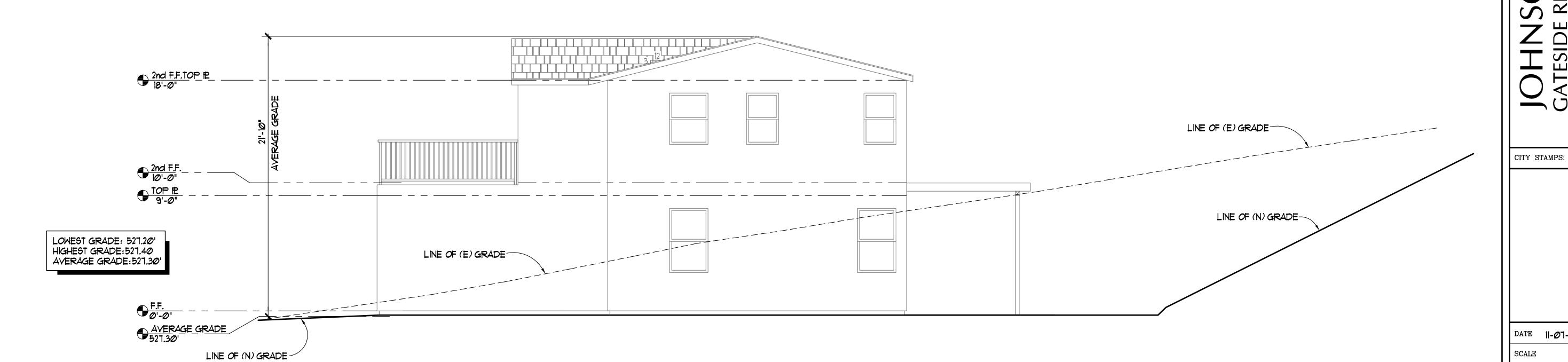
1,152 SQ. IN. VENT REQUIRED.

ROOF VENT = 98.75 SQ. IN. x 12 = 1,185 SQ. IN.

PROVIDED = 1,185 > 1,152 SQ. IN.

NET-FREE AREA (SQ. INCH.)= 98.75

SEE ROOF PLAN FOR VENT LOCATIONS.

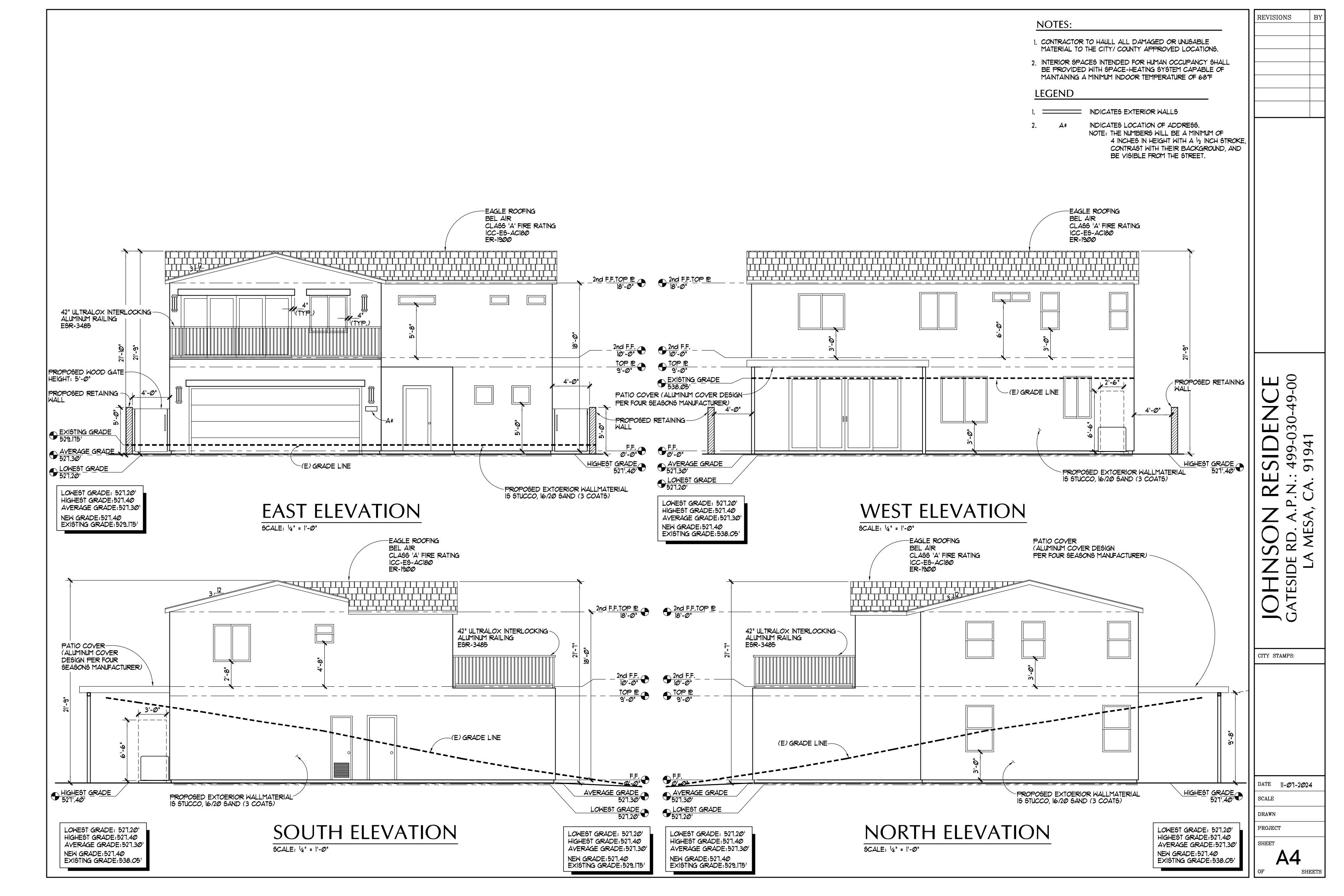


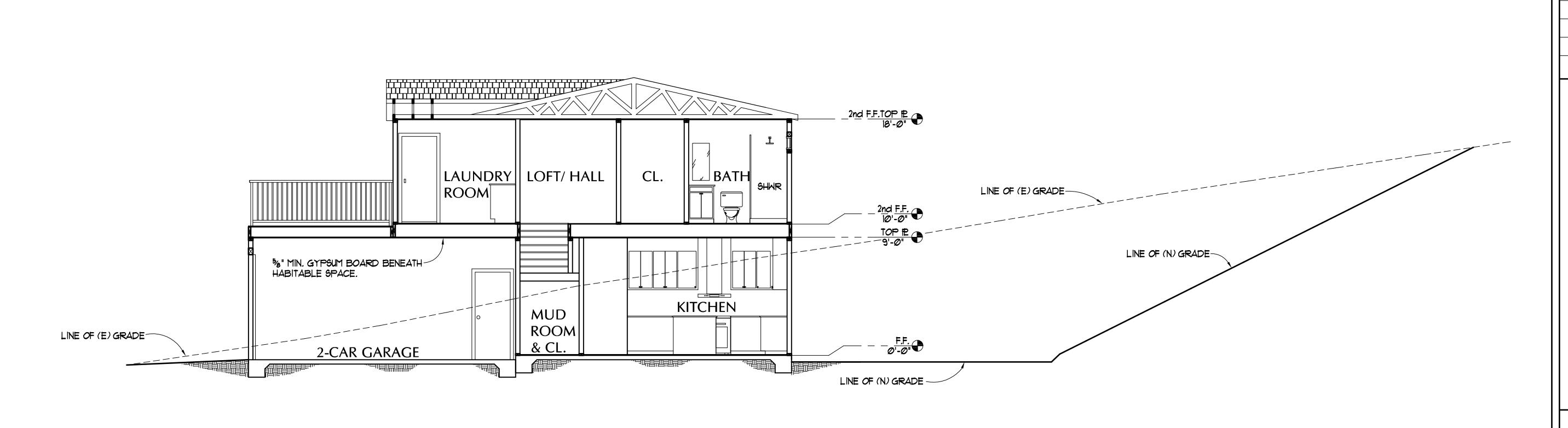
NORTH ELEVATION W/ AVERAGE GRADE SCALE: 1/4" = 1'-0"

ROOF PLAN

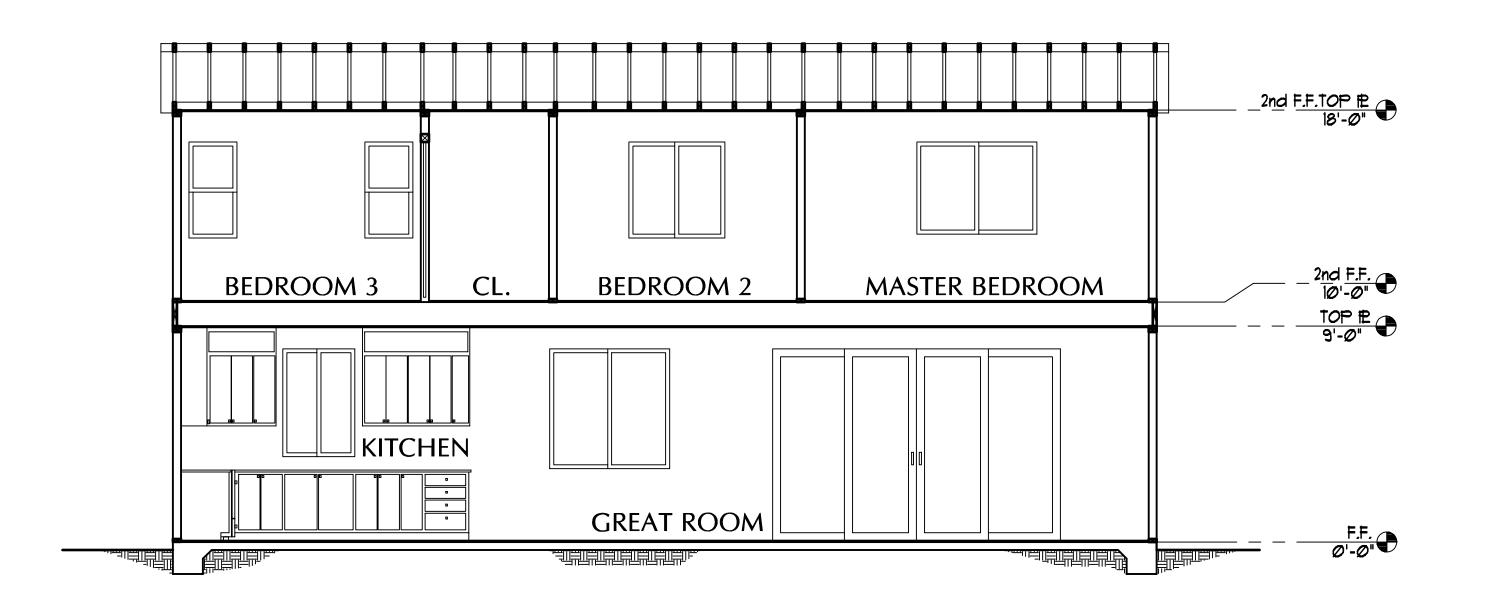
DATE 11-07-2024 SCALE

A3









SECTION (2)

JOHNSON RESIDENCE
GATESIDE RD. A.P.N.: 499-030-49-00
LA MESA, CA. 91941

CITY STAMPS:

DATE ||-Ø7-2Ø24 SCALE

DRAWN

PROJECT

A5

ACTIVITY.

- 1. NO WORK SHALL COMMENCE UNTIL ALL NECESSARY PERMITS HAVE BEEN OBTAINED FROM THE CITY AND OTHER APPROPRIATE AGENCIES.
- 2. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION AT 619-667-1166 AT LEAST 48-HOURS PRIOR TO COMMENCEMENT OF ANY TYPE OF GRADING OR CONSTRUCTION
- 3. ALL EXISTING UTILITIES OR STRUCTURES REPORTED BY THE UTILITY COMPANIES ARE INDICATED HEREON BASED ON INFORMATION OF RECORD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO MAKE A DETERMINATION AS TO THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL HE/SHE HAS MADE THIS DETERMINATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS/HER FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES. CALL UNDERGROUND SERVICE ALERT AT 1-800-422-4133 A LEAST TWO WORKING DAYS BEFORE STARTING CONSTRUCTION.
- 4. NEITHER THE OWNER, THE DESIGNER, NOR THE ENGINEER WILL ENFORCE SAFETY MEASURE REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT, WITH EXCEPTION FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ARCHITECT OR THE ENGINEER.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY OR FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE IMPROVEMENTS WITHOUT SUPPORTING AND PROTECTING SUCH IMPROVEMENTS FROM SETTLING, CRACKING, EROSION, SILTING. SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR ALL DAMAGES AND THE PERMITTEE SHALL REPAIR OR REMOVE AND REPLACE AT NO COST TO THE CITY.
- THE APPLICANT/DEVELOPER SHALL PROVIDE, BEFORE COMMENCEMENT OF ANY TYPE OF GRADING OPERATION AND CONSTRUCTION OF PRIVATE OR PUBLIC IMPROVEMENTS, A "HAUL ROUTE" MAP AND RELATED TRAFFIC CONTROL MAP WHICH WILL BE REVIEWED AND APPROVED BY THE CITY ENGINEER.
- 7. THE CITY OF LA MESA WILL NOT MAINTAIN, OR ASSUME RESPONSIBILITY OR LIABILITY FOR, PRIVATE DRAINAGE SYSTEMS OR RUNOFF. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN AND PREVENT DAMAGE FROM FLOODING TO ADJACENT PROPERTIES.
- 8. THE CONTRACTOR SHALL PROTECT EXISTING PUBLIC AND PRIVATE IMPROVEMENTS. IF ANY EXISTING IMPROVEMENTS ARE DAMAGED DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL REPAIR OR REMOVE AND REPLACE AT THEIR EXPENSE.
- 9. THE CENTERLINE STATIONING SHOWN ON THESE PLANS IS BASED ON
- SEWER MANHOLE #2 STATIONED AT 2+00.00, HELIX DWG NO. 8450, SHEET 11 10. UNLESS OTHERWISE SHOWN, ALL SEWER AND WATER LATERALS SHALL BE INSTALLED NORMAL TO THE MAIN.
- 11. CONSTRUCTION STAKING SHALL BE PERFORMED BY THE APPLICANT'S ENGINEER OF RECORD. PROPERTY LINES AND RIGHT OF WAY LINES SHALL BE STAKED IF REQUESTED BY THE INSPECTOR.
- 12. ALL TEMPORARY PAVING PLACED BY ANY CONTRACTOR, SUBCONTRACTOR OR UTILITY COMPANY SHALL REMAIN IN THE PUBLIC RIGHT-OF-WAY FOR NOT MORE THAN THIRTY (30) CALENDAR DAYS ON RESIDENTIAL STREETS AND SEVENTY TWO (72) HOURS ON ALL OTHER STREETS PRIOR TO PLACEMENT OF PERMANENT PAVEMENT

UTILITY NOTES

1. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND COORDINATE THEIR WORK WITH COMPANY REPRESENTATIVES. IT SHALL BE THE RESPONSIBILITY OF DEVELOPER TO CONTACT THE UTILITY AGENCIES, ADVISE THEM OF THE PROPOSED IMPROVEMENTS, AND BEAR THE COST OF RELOCATIONS AS NEEDED.

USA (48 HOURS IN ADVANCE)	1-800-422-4133
SDG&E	1-800-227-2600
TELEPHONE COMPANY	1-800-266-4683
COX CABLE	1-619-266-5220
HELIX WATER DISTRICT	1-619-596-3860
CITY OF LA MESA (SEWER, STORM DRAINS)	1-800-422-4133
SAN DIEGO COUNTY WATER AUTHORITY	1-858-522-6900

- 2. AN ADEQUATE WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL IS DELIVERED TO THE SITE.
- 3. ACCESS TO THE SITE SHALL BE MAINTAINED FOR THE USE OF HEAVY FIRE FIGHTING EQUIPMENT.
- 4. ALL PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND FOR THE COMPLETE FRONTAGE OF THE PROPERTY.
- 5. APPLICANTS CONSTRUCTING PUBLIC IMPROVEMENTS IN THE CITY AS REQUIRED, THAT INCLUDE THE INSTALLATION OF STREETS LIGHTS SHALL PAY TO THE CITY A STREET LIGHT ENERGIZING FEE PRIOR TO ACCEPTANCE OF IMPROVEMENTS, IN AN AMOUNT ESTABLISHED BY SAN DIEGO GAS & ELECTRIC.

EXISTING MONUMENTS, MARKERS, PROPERTY CORNERS, ETC.

THE CONTRACTOR SHALL RE-ESTABLISH AND SET ANY MONUMENT OR BENCHMARKS WHICH WILL BE DISTURBED DURING CONSTRUCTION/GRADING OPERATIONS. A CORNER RECORD OR RECORD OF SURVEY AS APPROPRIATE SHALL BE FILED BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE LAND SURVEYORS ACT.

HEARTLAND FIRE AND RESCUE PLANS APPROVED SUBJECT TO THE FOLLOWING:

PLANS ARE ACCEPTED FOR CONSTRUCTION SUBJECT TO THE REQUIREMENTS OF THE FIRE CODE AND BUILDING LAWS OF THE CITY OF LA MESA. CALIFORNIA. THE STAMPING OF THESE PLANS AND SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY, COUNTY, STATE, FEDERAL LAWS OR OTHER RESTRICTIONS, APPROVAL APPLIES TO PLANS AS SUBMITTED, AND FOR CONSTRUCTION INDICATED THEREON. CONSTRUCTION

BY:	DATE:	
FIRE MARSHAL	 	

APPROVAL IS SUBJECT TO FINAL INSPECTION AND ACCEPTANCE.

GRADING NOTES

- 1. ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND CITY OF LA MESA STANDARDS.
- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR PUBLIC ROAD
- OFFSITE IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY BEYOND THE PARCEL BOUNDARY MAY BE REQUIRED TO BE INSTALL, AS DETERMINED BY THE CITY ENGINEER, TO PROVIDE PROPER TRANSITION TO THE STREET AND SIDEWALK AND TO ADDRESS DRAINAGE.
- 4. THE APPLICANT SHALL REMOVE AND REPLACE EXISTING CURB AND SIDEWALK IF IT IS FOUND TO BE CRACKED, BROKEN, DISPLACED OR NOT IN COMPLIANCE WITH CURRENT ADA STANDARDS. EXISTING DRIVEWAYS TO BE REMOVED SHALL BE REPLACED WITH FULL HEIGHT CURB AND GUTTER THE CITY INSPECTOR WILL IDENTIFY THE LIMITS OF REMOVAL AND REPLACEMENT. ANY EXISTING PEDESTRIAN RAMPS ALONG YOUR FRONTAGE WILL BE BROUGHT UP TO CURRENT ADA REQUIREMENTS, AS NECESSARY.
- 5. GRADING PLANS ARE NOT APPROVED FOR PUBLIC IMPROVEMENTS, EXCEPT WHERE IDENTIFIED ON THE PLAN SHEETS.
- 6. FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE.
- 7. IMPORT MATERIAL SHALL BE OBTAINED FROM AND EXPORT MATERIAL SHALL BE DISPOSED TO A LEGAL SITE.
- 8. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED
- 9. THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS.
- 10. ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
- 11. FILL SLOPES SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 90% OF MAXIMUM DRY DENSITY OR AS RECOMMENDED BY THE SOILS / GEOTECHNICAL ENGINEER.
- 12. TOP OF RETAINING WALL WILL BE 6" ABOVE TOP OF SLOPE OR FINISH GRADE.
- 13. EARTHWORK QUANTITIES SHOWN HEREON ARE FOR BONDING PURPOSES ONLY.
- 14. ALL PROPOSED CONTOUR GRADES AND SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING, FINISHED FLOOR OR FINISHED GRADE IN LANDSCAPED AREAS.
- 15. THE OWNER/CONTRACTOR SHALL PROVIDE EROSION CONTROL AS REQUIRED BY THE CITY'S EROSION CONTROL POLICY.

- 16. CUT 1150 CY FILL 0 CY REMEDIAL CY IMPORT EXPORT 1150 CY
- 17. AREA OF HARDSCAPE 789 SQ. FT.
- 18. TOTAL DISTURBED AREA 7,439 SQ. FT.
- 19. EXISTING SITE SLOPE 16.5 %

SOILS/GEOTECHNICAL REPORT

1. A SITE SOILS INSPECTION AND REVIEW FOR THIS PROJECT WAS PREPARED BY: SOIL TESTERS, P.O. BOX 1195, LAKESIDE, CA 92040 TEL: (619) 443-0060

SITE INSPECTION, PROPOSED RESIDENTIAL BUILDING SITE

O PAYSON ROAD CITY OF LA MESA FILE NO. 1270J4-22

- 2. DAILY INSPECTION AND TESTING REPORTS SHALL BE PREPARED BY OR UNDER RESPONSIBILE CHARGE OF A CALIFORNIA REGISTERED GEOTECHNICAL OR CIVIL ENGINEER, SHALL INCLUDE A NOTATION AS TO THE INTENDED PURPOSE OF THE DOCUMENT(S), SUCH AS "DAILY REPORT" AND SHALL BEAR THE NAME AND LICENSE NUMBER OF THE ENGINEER OF RECORD. REPORTS SHALL BE IMMEDIATELY AVAILABLE FOR REVIEW BY CITY INSPECTORS UPON REQUEST. TWO COPIES OF REPORTS, STAMPED AND SIGNED BY THE ENGINEER OF RECORD SHALL BE SUBMITTED THROUGH CITY BUILDING DIVISION FOR REVIEW PRIOR TO FINAL GRADING INSPECTION.
- 3. THE CITY OF LA MESA MAY REQUIRE A SECOND SOILS ENGINEER TO VERIFY TESTS PREPARED BY THE PROJECT SOILS ENGINEER WHERE GOOD CAUSE EXISTS.
- 4. COMPACTION REPORTS SHALL BE PREPARED, STAMPED AND SIGNED BY CALIFORNIA REGISTERED GEOTECHNICAL ENGINEER AND/OR GEOLOGIST OF RECORD. REPORTS SHALL BE IMMEDIATELY AVAILABLE FOR REVIEW BY CITY INSPECTORS UPON REQUEST. TWO COPIES OF REPORTS, AS PART OF SOILS COMPLIANCE INSPECTION PROCESS, SHALL BE SUBMITTED THROUGH CITY BUILDING DIVISION FOR REVIEW PRIOR TO FINAL GRADING INSPECTION..
- 5. THE APPLICANT/DEVELOPER SHALL PAY FOR ALL TESTS TO BE PERFORMED BY THE GEOTECHNICAL/SOIL ENGINEER.

SOILS / GEOTECHNICAL ENGINEER **CERTIFICATION**

I HAVE REVIEWED THESE PLANS AND HAVE FOUND THEM TO BE IN CONFORMANCE WITH THE DESIGN AND CONSTRUCTION RECOMMENDATIONS AS SPECIFIED IN THE GEOTECHNICAL **INVESTIGATION REPORT PREPARED BY:**

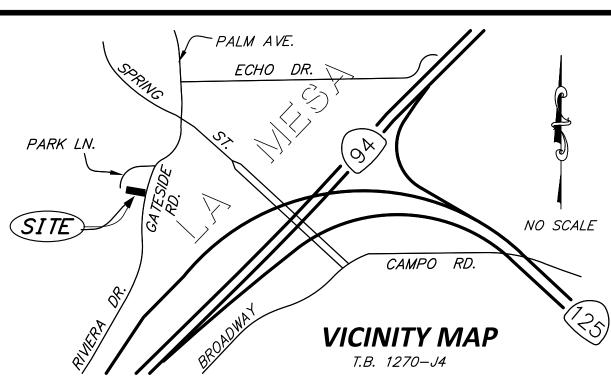
SOIL TESTERS P.O. BOX 1195, LAKESIDE, CA 92040 TEL: (619-443-0060

GEOTECHNICAL ENGINEER'S SIGNATURE REGISTRATION NO.: C34442, EXP. DATE: 9-30-23

"AS-GRADED" REPORT DATED

CONSTRUCTION NOISE

THE CONTRACTOR SHALL COMPLY WITH LA MESA MUNICIPAL CODE SECTION 10.80, NOISE REGULATION. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 AM AND 4:30 PM EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTH WORKING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS.



STORM WATER MANAGEMENT & DISCHARGE CONTROL

REFER TO STORM WATER COVENANT RECORDED FOR MAINTENANCE OF POST CONSTRUCTION WATER QUALITY MEASURES.

- 1. THE CONTRACTOR SHALL COMPLY WITH CITY MUNICIPAL CODE CHAPTER 7.18 (STORM WATER MANAGEMENT AND DISCHARGE CONTROL).
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A PLAN TO IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) TO ELIMINATE SAND, SILT, CONCRETE WASH, DEBRIS OR POLLUTANT DISCHARGE TO THE PUBLIC STREETS AND STORM DRAIN SYSTEM. SUCH PLAN SHALL BE SUBMITTED TO AND REVIEWED BY THE CITY ENGINEER PRIOR TO COMMENCEMENT OF ANY GRADING OR CONSTRUCTION ON THE SITE.
- THE CONTRACTOR SHALL IMPLEMENT THE EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLANS AND TAKE IMMEDIATE REMEDIAL AND PREVENTIVE ACTION WHEN POLLUTANT DISCHARGE OCCURS AND/OR AS DIRECTED BY THE CITY ENGINEER OR THE BUILDING OFFICIAL. THE CONTRACTOR SHALL BE REQUIRED TO PLACE ADDITIONAL EROSION CONTROL MATERIALS AS THE SITE CONDITIONS WARRANT.
- 4. PAVED AREAS SHALL BE SWEPT BY COMBINATION OF POWER BROOM AND/OR AIR VACUUM SWEEPERS.
- 5. ALL OF THE ABOVE CONDITIONS SHALL APPLY STARTING THE FIRST DAY OF GRADING AND/OR CONSTRUCTION AND SHALL REMAIN IN EFFECT UNTIL ALL GRADING AND/OR CONSTRUCTION WORK HAS BEEN COMPLETED.

TOTAL AREA: 11,378 SF NEW IMPERVIOUS AREA: 2,292 SF. EXISTING IMPERVIOUS AREA: 0 . IMPERVIOUS AREA INCREASE: 100 .% STORM WATER CONTACT: VICTORIA JOHNSON **AFTER HOURS:**

ALL CONSTRUCTION AND/OR DESIGN CHANGES TO THE APPROVED PLANS SHALL BE PROPOSED BY THE ENGINEER OF WORK AND SUBMITTED TO THE CITY ENGINEER FOR APPROVAL. CONSTRUCTION CHANGES SHALL BE INCORPORATED AT THE SITE AFTER APPROVAL BY THE CITY

PROJECT PRIORITY:

DEVELOPER'S/OWNER'S CERTIFICATE:

THE DEVELOPER/OWNER ACKNOWLEDGES THAT THE CITY'S REVIEW OF THE PLANS IS MINOR IN COMPARISON TO THE TIME THAT THE DEVELOPER'S/OWNER'S DESIGN TEAM SPENDS IN DESIGNING AND DRAFTING THE PLANS. IT IS THE RESPONSIBILITY OF THE DESIGN TEAM TO THOROUGHLY REVIEW EXISTING LOCAL/STATE/FEDERAL RULES AND LAWS. CONDITIONS. PLANS AND DESIGN GUIDELINES. IN ADDITION, THE DESIGN TEAM SHALL THOROUGHLY REVIEW PLANS FROM OTHER DISCIPLINES TO ENSURE THE PROJECT PLANS ARE CLEAR AND THERE ARE NO CONFLICTS. IT IS UNDERSTOOD THAT A FAILURE TO PRODUCE ACCURATE. NON-CONFLICTING PLANS WILL LIKELY RESULT IN DELAYS. THESE DELAYS CAN BE IN THE FORM OF FAILED INSPECTIONS, STOP WORK NOTICES, CONSTRUCTION CHANGES AND ADDITIONAL

THE DEVELOPER/OWNER ACKNOWLEDGES THAT SHOULD THE CONTRACTOR DEVIATE FROM THE PLANS OR THE STANDARDS REFERENCED IN THE PLANS THAT THIS WILL RESULT IN DELAYS. DEVIATIONS CAN RESULT IN A STOP WORK NOTICE AND/OR ADDITIONAL INSPECTIONS AND FEES. AT THE PRE-CONSTRUCTION MEETING THE CITY WILL INFORM THE CONTRACTOR THAT THEY SHOULD CONTACT THE DESIGN TEAM IN CASE THERE ARE ANY QUESTIONS ON THE PLANS. THE CITY'S INSPECTOR MAY INTERPRET THE PLANS, BUT THE CONTRACTOR SHALL CONTACT THE DESIGN TEAM FOR CLARIFICATION AND FINAL DIRECTION.

THE DEVELOPER/OWNER ACKNOWLEDGES AND SHALL HAVE THE ENGINEER OF WORK MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THE PLANS WHICH THE CITY ENGINEER OR THE ENGINEER OF WORK DETERMINE ARE NECESSARY AND DESIRABLE. ALL PLAN CHANGES SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO THE CONSTRUCTION AND IT IS UNDERSTOOD SHOULD CONSTRUCTION PROCEED WITHOUT APPROVAL, THE IMPROVEMENTS MAY BE REJECTED, DEMOLISHED AND/OR RECONSTRUCTED AT NO COST TO THE CITY.

THE DEVELOPER/OWNER ACKNOWLEDGES THAT THE ENGINEER OF WORK IS REQUIRED AND SHALL VERIFY THAT ALL ITEMS AS SHOWN ON THE PLANS ARE CONSTRUCTED PER THE PLAN AND ANY CHANGES NOTED AS PART OF THE AS-BUILT PROCESS. THE RELEASE OF PROJECT'S SECURITY/DEPOSITS SHALL NOT OCCUR UNTIL AFTER THE AS-BUILT PROCESS HAS BEEN COMPETED. A REFUNDABLE CASH DEPOSIT OF \$200/SHEET IS DUE WHEN THE GRADING OR ENCROACHMENT PERMIT IS APPLIED FOR AND WILL BE USED BY THE CITY TO OBTAIN AS-BUILT DRAWING INFORMATION IN INSTANCES WHERE AS-BUILTS WERE NOT PROPERLY FILED PRIOR TO RELEASE OF BONDS AND OBTAINING FINAL OCCUPANCY.

		•
SIGNATURE	DATE	
VICTORIA JOHNSON		
EVELOPER/OWNER NAME		
822 KALPATH CIRCLE C, CARLSBAD,	CA 92008	
ADDRESS:		
VICTORIA JOHNSON	-	
CONTACT PERSON	PHONE NO.	

A.C. / P.C.C. & TRENCH BACKFILL & COMPACTION

- 1. AT THE DISCRETION OF THE ENGINEERING INSPECTOR BASED UPON HIS REVIEW OF EXISTING CONDITIONS, PAVEMENT REPLACEMENT SHALL BE ALONG THE ENTIRE PROPERTY FRONTAGE TO STREET CENTERLINE.
- 2. ALL EXISTING IMPROVEMENTS, INCLUDING STREET PAVEMENT, SHALL BE SAW CUT.
- 3. A.C. SHALL BE LAID IN TWO (2) LIFTS MINIMUM. A.C. FOR THE BASE COURSE SHALL BE CLASS B-PG 64-10 (⅔"). A.C. FOR THE SURFACE COURSE SHALL BE CLASS D1-PG 64-10 (⅗"). REFER TO SECTION 203 OF GREEN BOOK. SURFACE COURSE SHALL BE 1.0" THICK MINIMUM. (USE CALTRANS SPECIFICATIONS FOR MAJOR/F.A.U. STREETS).
- 4. ON SITE PARKING LOTS SHALL BE PAVED WITH A MINIMUM OF 3" A.C. OVER 4" CLASS 2 OR D.G. BASE OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER BASED ON "R" VALUE.
- 5. THE STREET SECTION SHALL BE ADJUSTED DURING CONSTRUCTION IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND APPROVAL OF THE CITY ENGINEER. (REFER TO TYPICAL SECTION.)
- 6. ALL CONCRETE CURBS, SIDEWALKS, DRIVEWAYS, SWALES AND CROSS GUTTERS SHALL BE CONSTRUCTED ON A MINIMUM 3" DG BASE.
- 7. TRENCH BACKFILL FOR ALL UTILITIES IN PUBLIC RIGHT-OF-WAY AND IN PUBLIC EASEMENTS SHALL BE D.G. OR CLASS 2 MATERIAL. TRENCH BACKFILL FOR MAJOR/F.A.U. STREETS SHALL BE CLASS 2 MATERIAL. CLASS 2 MATERIAL SHALL MEET CALTRANS SPECIFICATIONS, SECTION 26-1.02a (3"
- 8. ALL ONSITE PRIVATE IMPROVEMENTS MAY BE CONSTRUCTED ON NATIVE OR OTHER SUITABLE BASE MATERIAL IF APPROVED BY A GEOTECHNICAL/SOILS ENGINEER.
- 9. A.C. PAVEMENT SECTIONS SHALL BE PER SOILS/GEOTECH RECOMMENDATIONS BUT AT A MINIMUM OF 4" ON 8" BASE AND 6" ON 10" BASE FOR MAJOR / F.A.U. STREETS OR 1" THICKER THAN EXISTING PAVEMENT THICKNESS, WHICHEVER IS GREATER.
- 10. THE UPPER 2.5 FEET OF THE TRENCH MEASURED FROM TOP OF PAVEMENT IN THE PUBLIC RIGHT-OF-WAY/PUBLIC STREETS SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95 PERCENT OF MAXIMUM DRY DENSITY
- 11. CLASS 2 MATERIAL SHALL MEET CALTRANS SPECIFICATIONS, SECTION 26-1.02A (3/4" MAXIMUM).
- 12. DISINTEGRATED GRANITE (D.G.) SHALL MEET THE GREEN BOOK SPECIFICATIONS, SECTION 400-2.31.
- 13. FOR MATERIAL TESTING, REFER TO CALTRANS SPECIFICATIONS, SECTION, 6-3.01

REQUIRED PERMITS

- 1. AN ENCROACHMENT PERMIT FROM THE CITY ENGINEER'S OFFICE WILL BE REQUIRED FOR ANY WORK IN THE CITY RIGHT-OF-WAY OR PUBLIC EASEMENTS. A SEPARATE TRAFFIC CONTROL PLAN WILL BE REQUIRED (SEE APPENDIX "A" OF THE SAN DIEGO REGIONAL STANDARDS).
- 2. ENCROACHMENT REMOVAL AGREEMENT, SUBJECT TO APPROVAL OF THE CITY ENGINEER, SHALL BE EXECUTED FOR ANY TYPE OF PRIVATE IMPROVEMENTS ENCROACHING INTO THE PUBLIC RIGHT OF WAY OR PUBLIC EASEMENT (E.G.: RETAINING WALL, FOOTING, FENCE, STEPS, SIGNS, STAMPED CONCRETE, ASPHALT CONCRETE DRIVEWAY, ETC.).
- 3. A GRADING PERMIT SHALL BE REQUIRED FROM THE BUILDING DEPARTMENT.
- 4. CONTRACTORS ARE REQUIRED TO OBTAIN A PERMIT FROM THE DEPARTMENT OF OCCUPATIONAL SAFETY & HEALTH (DOSH) FOR CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER AND INTO WHICH A PERSON IS REQUIRED TO DESCEND.
- 5. ALL ON-SITE RETAINING WALL CONSTRUCTION SHALL REQUIRE SEPARATE BUILDING
- 6. A LETTER OF PERMISSION IS REQUIRED FROM PROPERTY OWNERS IF GRADING AND/OR ANY OTHER WORK WILL BE PERFORMED ON ADJACENT PROPERTIES.
- 7. A TRANSPORTATION PERMIT IS REQUIRED FOR UNUSUALLY WIDE AND HEAVY LOADS.

LEGAL DESCRIPTION & APN's:

LEGAL DESCRIPTION: A PORTION OF LOT 22, OF THE SUBDIVISION NO. 4, IN LOT 12, EX-MISSION RANCHO IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO LICENSED SURVEYOR'S MAP NO. 12, FILED IN THE OFFICE OF THE COUNTY RECORDER, JUNE 13, 1892, AS DESCRIBED IN DEED RECORDED OCTOBER 29, 2014 AS DOC# 2014-0470043, O.R.

APN: 499-030-49-00

ENGINEER OF WORK

SOURCE OF TOPOGRAPHY:

THE CONTOURS/TOPO/ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEY AND MEASUREMENTS PERFORMED ON NOVEMBER 9, 2018 , BY KAPPA SURVEYING, INC , *RCE/LS NO.* LS 7844

CONSTRUCTION STAKING BY: KAPPA SURVEYING, INC , RCE/LS NO. LS 7844 NAME AND ADDRESS & TEL. #: 5402 N. MAGNOLIA AVENUE, SUITE C

SANTEE, CA 92071, (619) 449-2600

BY SIGNING BELOW THE ENGINEER OF WORK STATES THEY HAVE REVIEWED ALL APPLICABLE ACCOMPANYING PLAN SETS AND VERIFIED THE CONSISTENCY OF THE INFORMATION BETWEEN EACH DICIPLINE, INCLUDING BUT NOT LIMITED TO; CURRENT AS-BUILT RECORD INFORMATION FOR ALL UTILITY AGENCIES (SDG&E, COX CABLE, AT&T, AND CITY OF LA MESA FIBER/ELECTRICAL CONDUITS), ARCHITECTURAL AND LANDSCAPING. THEY VERIFY THEIR REVIEW OF THE ADA PATH OF TRAVEL IN THE R.O.W. WITH THE ONSITE ELEVATIONS TO ENSURE THEY COMPLY. THEY UNDERSTAND THAT FAILURE TO DO SO MAY RESULT IN CONSTRUCTION CHANGES OR CHANGE ORDERS AND ASSOCIATED REVIEW AND INSPECTION FEES. THE ENGINEER OF WORK ALSO ASKNOWLEDGES THEY HAVE READ AND UNDERSTAND THE DEVELOPER/OWNER'S CERTIFICATE.

"I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS & PROFESSIONS CODE AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF LA MESA IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN. "

CITY ENGINEER

WILLIAM R. DICK KAPPA SURVEYING AND ENGINEERING, INC TEL: (619) 449-2600, EMAIL: BILLD@KAPPINC.COM

ENGINEER OF WORK RCE NO.

WORK TO BE DONE:

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE IN ACCORDANCE WITH THESE PLANS AND STANDARD SPECIFICATIONS FOR THE CITY OF LA MESA AND TO THE SATISFACTION OF THE CITY ENGINEER.

STANDARD SPEC'S & STANDARD DRAWINGS:

- l. DESIGN CRITERIA FOR PUBLIC IMPROVEMENTS, ADOPTED BY THE CITY COUNCIL OF THE CITY OF LA MESA AS RESOLUTION NO. 15570, EFFECTIVE JULY 28, 1987. 2. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, ("GREEN BOOK"), 2018 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS.
- STANDARD SPECIFICATIONS AND STANDARD PLANS, DEPARTMENT OF TRANSPORTATION (CALTRANS)

2002 EDITION). 4. ALL WORK SHALL COMPLY WITH 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA PLUMBING CODE. 2016 CALIFORNIA ELECTRICAL CODE. 2016 CALIFORNIA FIRE CODE WITH CITY OF LA MESA MUNICIPAL CODE AMENDMENTS, 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, AND, 2016 CALIFORNIA ENERGY CODE WITH 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS." LMMC 14.10.010, 11.04.020 5. CITY OF LA MESA MUNICIPAL CODE, CHAPTER 14.05.

6. CITY OF LA MESA STANDARD DRAWINGS, INCLUDING SAN DIEGO AREA REGIONAL STANDARD DRAWINGS,

7. HELIX WATER DISTRICT WATER AGENCY STANDARDS (WAS), CURRENT EDITION.

EXISTING LEGEND

DESCRIPTION	STANDARD	SYMBOL
PROPERTY LINE		
EXISTING LOT LINE/RIGHT O	OF WAY LINE	
EXISTING WATER LINE		——— W———
SEWER WATER LINE		—— S ——
EXISTING GAS LINE		—— G ——
EXISTING STORM DRAIN		SD
EXISTING GROUND CONTOL	JRS	<u> 440 </u>
EXISTING SPOT ELEVATION		98.0
LEGEND		

LLULIND STANDARD QUANTITY DESCRIPTION SYMBOL

PROPERTY LINE PROPOSED GROUND CONTOURS ---- *475* -----472.4 PROPOSED SPOT ELEVATIONS **EXISTING SPOT ELEVATION**

CONCRETE BROW DITCH (PRIVATE) SDRSD D-75 360 LF MONOLITHIC CURB AND GUTTER SDRSD G-2 77 LF (PUBLIC) AC BERM (PUBLIC) SDRSD G-5 50 LF 314 SF SIDEWALK (PUBLIC) SDRSD G-7

CONC FLATWORK (PRIVATE) SDRSD G-7 **CONC DRIVEWAY** SDRSD G-14A (MOD)

CURB OUTLET SDRSD D-25a

SIDEWALK UNDERDRAIN SDRSD D-27 36"x36" GRATED CATCH BASIN "BROOKS OR EQUAL"

1 EA 1 EA 1" WATER SERVICE LATERAL WITH RP WS-03, WR-01, WS-01, WC-17 1 EA 6" SEWER LATERAL WITH PRIVATE SDRSD SC-01

SEWER CLEANOUT 76 SF TRENCH RESURFACING **DETAIL SHEET** STRUCTURAL WALL BY SEPARATE PERMIT 1,350 SF

DETAIL/SECTION LINE

SAWCUT LINE

12"x12" STORM DRAIN CLEANOUT "NDS OR EQUAL"

("-" = SAME SHEET)

795 SF

285 SF

2 EA

1 EA

1 EA

130 LF

GRADING PERMIT: GP-BUILDING PERMIT- RP-- ISSUED: PRIVATE CON

HEL	IX WATER DIST	RICT
TRACT	ENCROACHMENT PERMIT:	ISSU

APPROVED BY:

TIMOTHY J. ROSS DATE * SIGNATURE VALID 1 YEAR FROM DATE

LA MESA

GRADING / IMPROVEMENT PLANS FOR GATESIDE ROAD GRADING 499-030-49-00

CITY OF LA MESA, CALIFORNIA - PUBLIC WORKS/ENGINEERING DIVISION SHEET 1 OF 6 SHEETS

CITY ENGINEER DESCRIPTION BY APPROVED DATE FILMED RIGINAL

RECORD DRAWING GIS UPDATED: **REVIEWED BY: BULIDNG INSPECTOR** DATE

PUBLIC WORKS INSPECTOR DATE CITY MAINTENANCE ZON 9403.01 JTILITIES: DEVELOPMENT: DATE TRAFFIC: PUBLIC WORKS: DRAWING NUMBER

UNDERGROUND SERVICE ALERT

SECTION 4216 & 4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE @ 1-800-422-4133 TWO (2) WORKING DAYS BEFORE YOU DIG.

WEB ADDRESS: WWW.DIGALERT.ORG

REFERENCE PLANS CITY OF LA MESA DRAWING. NO'S DWG NO. 1755, SHEET 5

HELIX WATER DISTRICT DRAWING NO'S W.O. # 9602 W.O. # 8450

DESCRIPTION: BM NO. 3069Y04 3-1/2" BRASS DISC SET LOCATION: NORTH SIDE OF SPRING STREET, 65' NW OF N'LY PCR SPRING ST AND PALM RECORD FROM: LA MESA VERTICAL CONTROL BOOK ELEVATION: _489.832' DATUM: NGVD 29

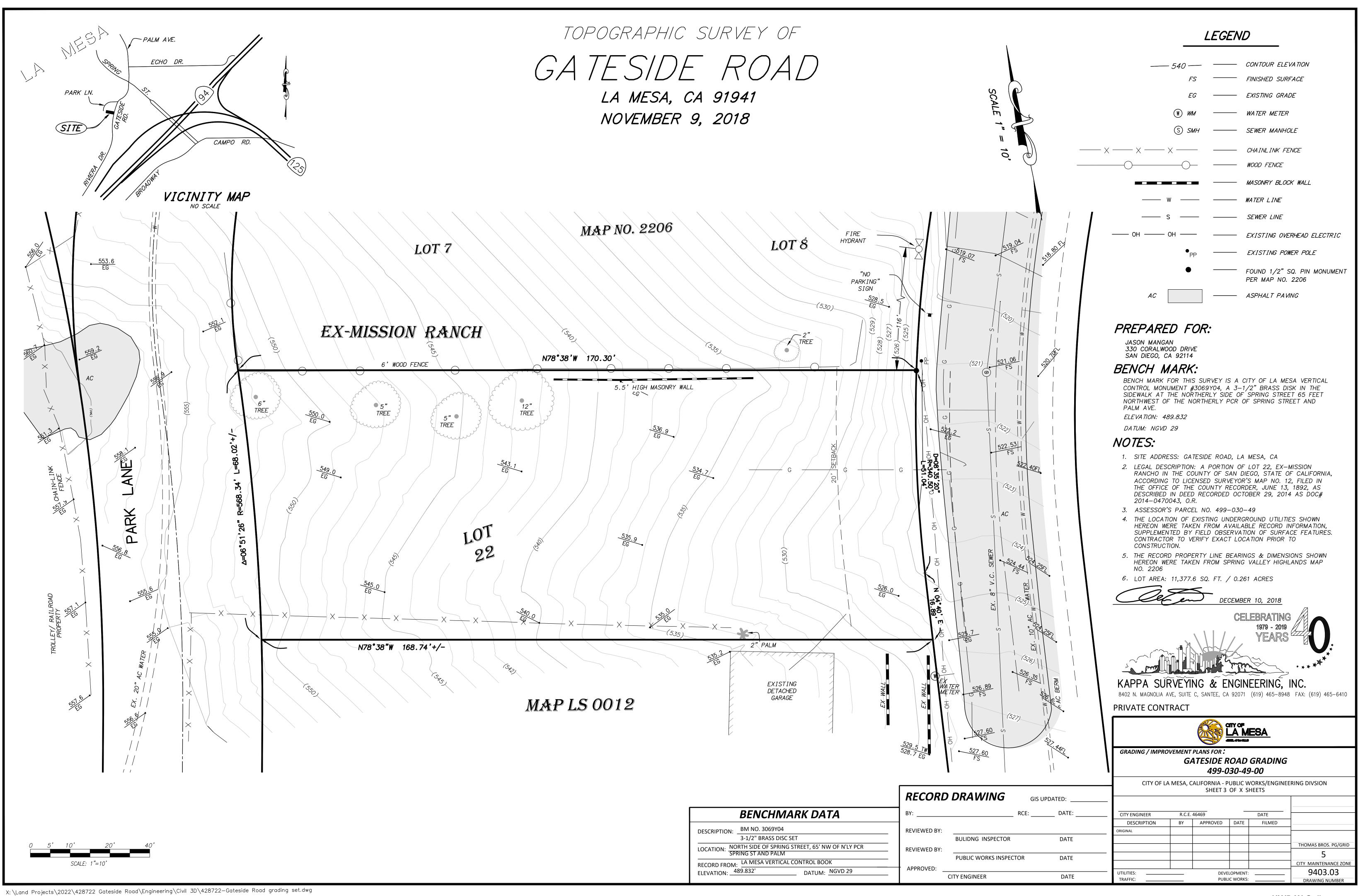
BENCHMARK DATA

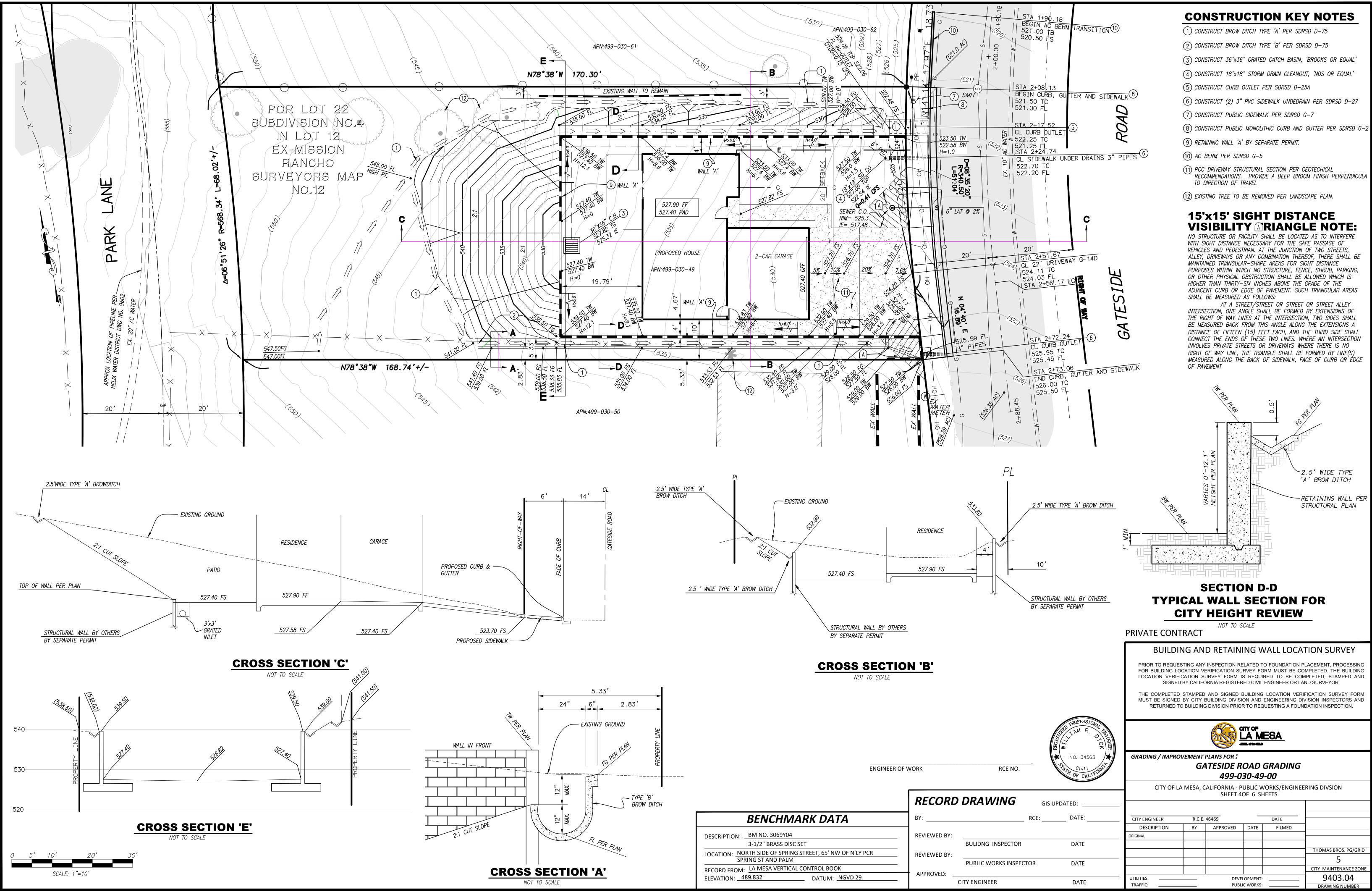
REVIEWED BY: APPROVED:

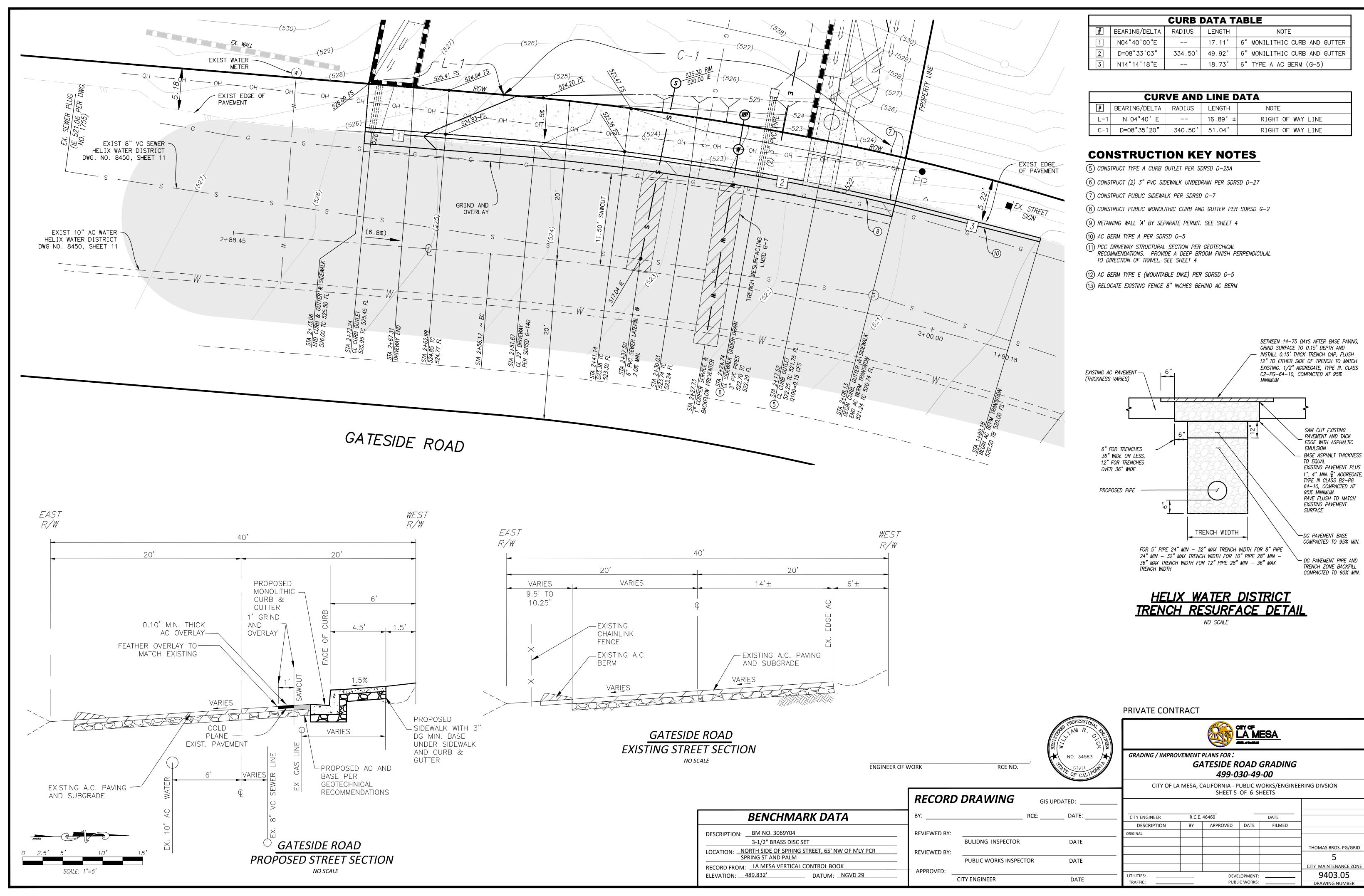
SCANNED BY:

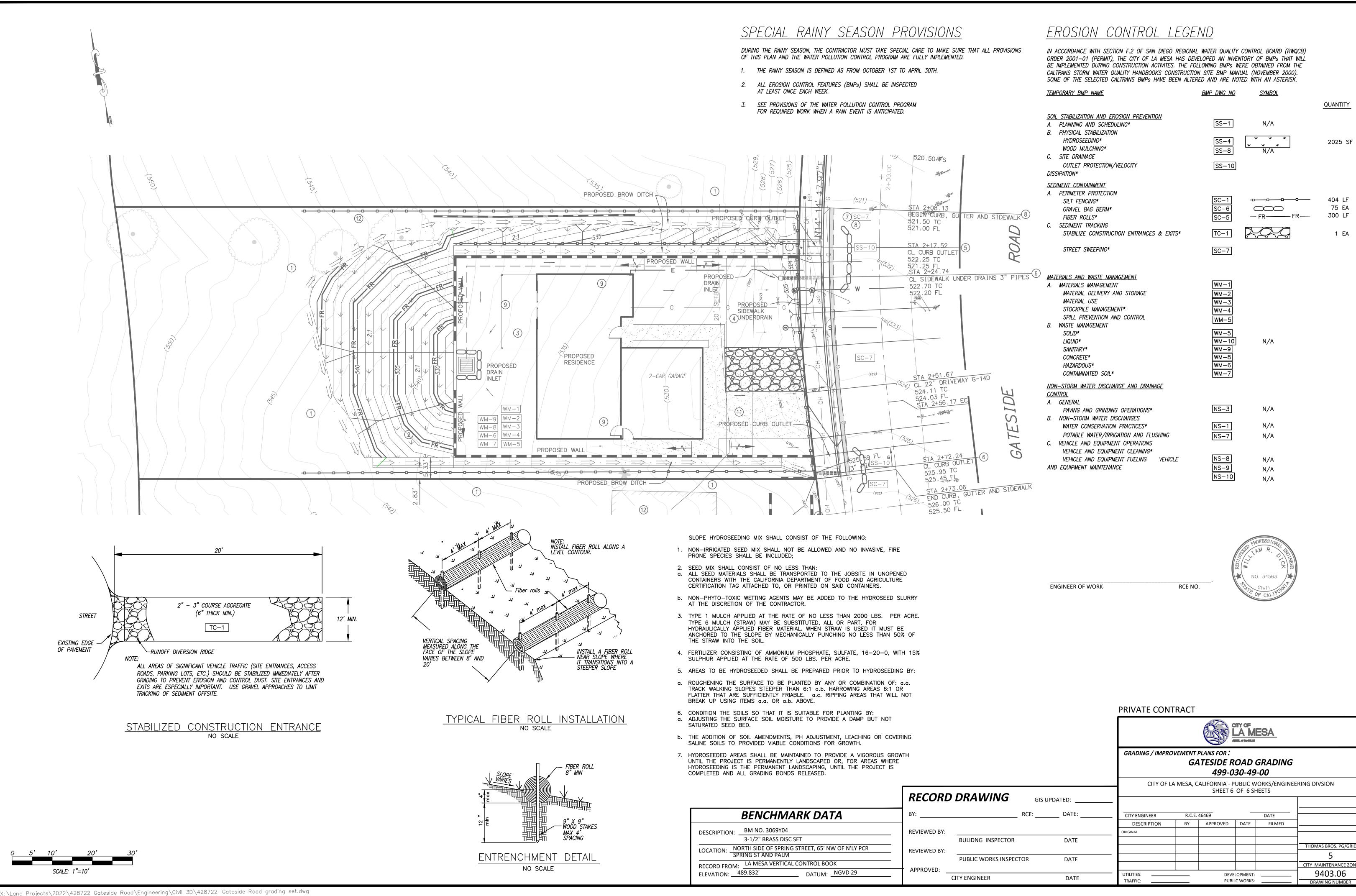
HWD W.O. #

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Johnson Residence Conceptual Landscaping Plan

Vacant Lot A.P.N. 499-030-49-00 La Mesa, CA. 91941

LANDSCAPE PLAN CONCEPT DESCRIPTION

Our landscape plan for the new single-family residential home is designed to provide street scape enhancement, adding shade, erosion control, and creating a beautiful property. We aim to enhance the current environment while prioritizing conservation and efficiency. To achieve this, we have carefully selected low-water-usage native plants, including a Chaparral Custom Mix tailored to thrive in our region's climate conditions. This mix includes a variety of native species such as Brittlebush, California Poppy, Dwarf Goldfields, Deerweed, Purshiangs lotus, California bluebells, White sage, White nightshade, Small Fescue, along with Holly Oak trees. These plants not only add visual interest and aesthetic appeal to the landscape but also promote biodiversity and support local ecosystems. By incorporating native species with low water requirements, our landscape design contributes to water conservation efforts while creating a sustainable and eco-friendly outdoor space for the homeowner to enjoy.

SHEET INDEX

SHEET 1 TITLE SHEET

SHEET 2 LANDSCAPE NOTES

SHEET 3 LANDSCAPE PLAN

SHEET 4 IRRIGATION NOTES

SHEET 5 IRRIGATION PLAN

LANDSCAPED AREA

LANDSCAPED AREA TOTAL: 2,301

LANDSCAPE PLANS GENERAL NOTES

- 1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF LA MESA LANDSCAPE REGULATIONS.
- 2. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE& IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BE THE OWNER. LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER CONDITIONS OF THE PERMIT.
- 3. IRRIGATION: A WATER EFFICIENT, AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASSE—RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED, THE PROPOSED IRRIGATION SYSTEM SHALL BE A COMBINATION OF POP—UP SPRY HEAD AND DRIP LINE.
- 4. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE SITE.
- 5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
- 6. ALL PROPOSED PLANTING AREAS SHALL BE TREATED WITH SOIL CONDITIONERS TO INCREASE AND RETAIN SOIL MOISTURE.
- 8. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
 9. SLOPE PLANTING SHALL ACHIEVE EFFECTIVE SOIL COVERAGE IN ACCORDANCE WITH THE CITY OF LA MESA GRADING ORDINANCE PRIOR TO FINISHED GRADE APPROVAL. IF EFFECTIVE SOIL COVERAGE IS NOT ACHIEVED IN THE REQUIRED TIME FRAME, THEN THE CONTRACTOR SHALL IMPLEMENT THE ADDITIONAL EROSION CONTROL MEASURES NOTE BELOW. EROSION CONTROL MEASURES SHALL BE:
- A) FIBER MATRIX APPLICATION (STABILIZED OR BONDED), OR
- B) EROSION CONTROL BLANKETS (STRAW OR COCONUT FIBER), OR
- C) COMPOSTED LANDSCAPE MULCH (3" INCH DEPTH MIN.) AND HYDROMULCH + TACKIFIER, AND/OR
- D) GROUNDCOVER PLANTING AND FIBER ROLLS IN ADDITION TO ABOVE MEASURES ALL PLANTING AREAS LESS THAN 3:1 SLOPE SHALL RECEIVE SHREDDED WOOD MULCH OR COMPOSTED LANDSCAPE MULCH IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.

 10. INSTALL ROOT CONTROL BARRIERS WITH TREES IN ACCORDANCE WITH CITY OF LA MESA, "LANDSCAPE STANDARDS" ROOT BARRIERS SHALL BE PLACED ADJACENT, AND PARALLEL TO, THE EDGES OF HARDSCAPE IMPROVEMENTS (NOT ENCIRCLING TREE ROOT BALLS).

 11. IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, AND ALL PLANTING AREAS SHALL BE COMPLETELY WATERED TO A MINIMUM DEPTH OF SIX (6) INCHES PRIOR TO START OF PLANTING
- WORK. CONTRACTOR SHALL COORDINATE LOCATION OF OF PLANTS WITH IRRIGATION PIPING AND EQUIPMENT.

 12. PRIOR TO START OF PLANTING WORK, PLANTING AREAS SHALL BE FREE OF WEEDS AND CONTRACTOR SHALL ESTABLISH FINISHED GRADES. AFTER COMPLETION OF PLANTING WORK.
- 13. CONTRACTOR SHALL APPLY PRE—EMERGENT HERBICIDE TO ALL PLANTING AREAS PRIOR TO SPREADING MULCH. HERBICIDES SHALL BE USED IN ACCORDANCE WITH APPLICABLE RULES AND RECULATIONS

CONTRACTOR SHALL FINE GRADE ALL PLANTING AREAS AND REMOVE SURFACE ROCKS, CLODS

CITY OF LA MESA GENERAL NOTES:

- 1. All work shall comply with 2019 Edition of CCR, Title 24, which adopts and amends: 2021 IBC to 2022 California Building Code:
- IBC to 2022 California Building Code; 2021 IRC to 2022 California Residential Code;
- 2021 UMC to 2022 California Mechanical Code; 2021 UPC to 2022 California Plumbing Code;
- 2020 NEC to 2022 California Electrical Code;
- 2022 California Fire Code and City of La Mesa Municipal Code (LMMC) amendments; 2022 California Green Building Standards Code; 2022 California Building Energy Code.
- 2. Plans shall comply with City of La Mesa "Water Efficient Landscape Regulations" ordinance, (LMMC Chapter 14.29), and all other applicable municipal codes and ordinances.
- 3. Contractors shall comply with Construction and Demolition Debris Diversion Deposit Program in accordance with La Mesa Municipal Code, Chapter 14.27.
- 4. An Operation and Maintenance Manual, acceptable to the authority having jurisdiction and in compliance with 2022 California Green Building Standards Code (CGBSC), Chapter 4, Section 4.410.1, shall be provided to owner or occupant. Manual shall be available for review by building inspector at final inspection (CGBSC 4.410.1).
- 5. Contractor shall provide storm water and non-storm water pollution prevention measures in accordance with City of La Mesa Grading Ordinance (LMMC Chapter 14.05); Storm Water Management & Discharge Control Ordinance (LMMC Chapter 7.18); "Storm Water Best Management Practices Manual," and other applicable codes and ordinances.
- 6. Owner/Developer/Contractor shall obtain an Encroachment Maintenance and Removal Agreement as determined by the City Engineer prior to the construction of any private improvements, including installation of required street trees, in the public rights—of—way and City—held easements. Permits and agreements shall be reviewed and approved by the Department of Public Works.
- 7. Contractor shall notify the City's Community Development Department at least two working days prior to start of landscape work.
- 8. Owner/Developer/HOA shall permanently and fully maintain landscape improvements within the public rights—of—way as shown on Plans.
- 9. Contractor shall provide an agricultural suitability soils analysis report from a certified agronomic testing laboratory for all landscaped areas. Submit two (2) copies of the report to the City's representative prior to start of landscape work. Soil analysis and recommendations shall be made part of required Soil Management Report submitted with the Certificate of Completion.
- 10. Owner/Developer shall provide as—built plans of the irrigation system to the City prior to final acceptance. As—built plans shall be one mylar reproducible set on standard City "D"—size sheets.
- 11. California Government Code 4216 mandates that an excavator planning to conduct an excavation shall notify the appropriate regional notification center of the excavator's intent to excavate at least two working days, and not more than 14 calendar days, before beginning that excavation. Contractor shall notify DigAlert® (toll-free 811 or 1-800-422-4133) prior to start of excavation in public rights-of-way, utility and City-held easements.
- 12. Property Owner and Designer shall sign and submit the required Landscape Certificate of Completion, including supporting documentation and irrigation audit, to the City of La Mesa Community Development Department / Planning Division prior to final landscape inspection, and acceptance of the project by the City.
- 13. Refer to Site Plan for required Low Impact Development (L. I. D.) measures.

Note:

- a) Adhesives and primers VOC limits shall comply with CGBSC Table 4.504.1;
- b) Sealants and primers VOC limits shall comply with CGBSC Table 4.504.2;
- c) Paints, coatings and primers VOC limits shall comply with CGBSC Table 4.504.3. Documentation showing materials used shall be available for review by building inspector prior to final inspections. Documentation shall comply with California Green Building Standards Code (CGBSC) 4.504.2.4 and CGBSC 4.504.5.1

Rev. 04/01/23

	OWNER / PERMITTEE		A Dui	اطما	
NAME:	VIKKI JOHNSON AND ROB SELLERS		Sui Bui	Idabi	
ADDRESS:	822 Kalpath Circle	 14	105 FERRARA CT, ES	SCONDIDO CA	92025
	Carlsbad, CA 92008	 7	60-685-0345		
TEI EDHONE	NO: <u>499-030-49-00</u>	 AF	PROVED CHA	NGES	
	GAL DESCRIPTION:	NO.	DESCRIPTION:	APPROVED BY:	DATE:
	239-030-64-00				
SITE ADDR	ESS: 8514 GATESIDE RD, LA MESA CA 91941				

Jiidable	
ESCONDIDO CA 92025	PRIVATE CONTRACT
	SHEET CITY OF LA MESA 5 1 SHEETS
HANGES	TITLE SHEET FOR:
APPROVED DATE:	JOHNSON CONCEPTUAL LANDSCAPE PLAN
	CALIFORNIA COORDINATE INDEX XXX-XXXX
	SEE CERTIFICATION
	PERMIT NO: TBD

PLANTING SPECIFICATIONS
PART I GENERAL

1.01 GENERAL REQUIREMENTS

A. CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND SITE RESTRICTIONS.

B. CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF ALL SITE UTILITIES ANY UTILITY OR GRADING INFORMATION PROVIDED ON THE CONTRACT DOCUMENTS IS FOR THE CONTRACTOR'S REFERENCE. THERE IS NO GUARANTEE AS TO THE ACCURACY OF THE INFORMATION. CONTRACTOR SHALL LOCATE AND VERIFY UTILITY LOCATIONS TO HIS SATISFACTIONS.

C. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL REPAIRS MADE NECESSARY BY THE NEGLIGENCE OF HIS CREWS.

D. THE GENERAL AND SPECIAL CONDITIONS AND NOTES OF THE CONTRACT APPLY

TO THE WORK OF THIS SECTION THE SAME AS THOUGH WRITTEN HEREIN.

E. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED PRIOR TO BEGINNING WORK AS TO ANY DISCREPANCIES BETWEEN THE RECOMMENDATIONS ON THE CONTRACT DOCUMENTS AND THE SITE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED.

1.02 ORDINANCES AND REGULATIONS.

A. ALL LOCAL, MUNICIPAL AND SATE LAWS AND RULES & REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE PART OR THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BE THE CONTRACTOR. ANYTHING CONTAINED IN THE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CONFLICT WITH ANY OF THE ABOVE RULES, REGULATIONS OR REQUIREMENTS OF THE SAME. HOWEVER, WHEN THE SPECIFICATIONS AND/OR DRAWINGS CALL FOR, OR DESCRIBE MATERIALS, WORKMANSHIP OR CONSTRUCTION OF BETTER QUALITY, HIGHER STANDARDS OR A LARGER SIZE, SPECIFICATIONS AND/OR DRAWINGS SHALL TAKE PRECEDENCE OVER THE REQUIREMENTS OF THE SAID RULES AND REGULATIONS.

B. CONTRACTOR SHALL OBTAIN PERMITS AND PAY ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THE IMPROVEMENTS.

1.03 SCOPE OF WORK

A. THE WORK INCLUDES ALL SERVICES, LABOR MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY TO PERFORM THE WORK ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN AND AS REQUIRED TO COMPLETE THE CONTRACT PROPERLY.

B. THE CONTRACTOR SHALL PROTECT THE WORK, ADJACENT PROPERTY AND THE PUBLIC, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE, INJURY AND LOSS DUE TO HIS ACTS OR NEGLECT.

C. THE CONTRACTOR SHALL SUBMIT UNIT COST'S TO THE OWNER FOR ADDITIONS OR DELETIONS TO THE CONTRACT DRAWINGS.

D. WORK NOT INCLUDED: N.I.C., BY OTHERS, EXISTING.

1.04 DEFINITIONS

A. LANDSCAPE ARCHITECT: QUALIFIED PROFESSIONAL OVERSEEING CONSTRUCTION AND INSTALLATION OF ALL LANDSCAPE WORK AS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL CONTACT OWNER TO ASCERTAIN NAME OF INDIVIDUAL OR FIRM APPOINTED AS THE OVERSEEING PARTY.

1.05 SCHEDULE OF WORK

A. UPON AWARD OF THE CONTRACT A WORK SCHEDULE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CARRYING OUT THE WORK. UPON APPROVAL, NO MODIFICATIONS SHALL BE MADE TO THIS SCHEDULE WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.

B. FINISH GRADING AND LANDSCAPE INSTALLATION SCHEDULE OF WORK SHALL BE PERFORMED DURING THOSE PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE, IN ACCORDANCE WITH LOCALLY ACCEPTED HORTICULTURAL PRACTICE. 1.06 COORDINATION

A. CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT ANY DEVIATIONS BETWEEN CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND THE SITE. FAILURE TO DO SO PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS AND RESULTING IN REPLACING, AND/OR RELOCATING IMPROVEMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSE.

B. CARE SHALL BE TAKEN TO COORDINATE THE WORK AT ALL TIMES WITH OTHERS CONTRACTOR'S WORKING IN AND ADJACENT TO THE AREAS IN THIS CONTRACT. THIS IS TO INSURE AN ORDERLY AND EFFICIENT INSTALLATION PROCEDURE, AND TO MINIMIZE CONFLICTS WITH OTHER CONSTRUCTION OPERATIONS.

1.07 STANDARDS

A. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH SOUND NURSERY PRACTICE PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. THE CONTRACTOR SHALL PROVIDE THE NAME, ADDRESS AND PHONE NUMBER OF THE JOB SUPERVISOR FOR 24 HOUR AVAILABILITY. THE SUPERVISOR SHALL BE ON THE JOB SITE WHEN EVER PLANTING IS IN PROCESS.

B. PROVIDE PLANT MATERIALS TRUE NAME AND VARIETY ESTABLISHED BY "SUNSET WESTERN GARDEN BOOK", PUBLISHED BY LANE PUBLISHING, MENLO PARK, CA 1995. C. PLAN MATERIALS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI STANDARDS FOR TYPE AND SPECIE CALLED FOR ON PLANTING PLAN. PROVIDE SINGLE STEM TREE EXCEPT WHERE SPECIAL FORMS ARE SHOWN OR LISTED.

1.08 SUBSTITUTIONS
A. NO SUBSTITUTIONS OF PLANT MATERIALS OR OTHER CONSTRUCTION MATERIALS WILL BE PERMITTED WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF PLANT MATERIAL SUBSTITUTIONS ARE ACCEPTED AND ARE OF LESS VALUE THE THOSE INDICATED OR SPECIFIED THE CONTRACT PRICE WILL BE ADJUSTED IN ACCORDANCE WITH THE PROVISIONS OF THE CONTRACT.

B. THE RIGHT TO CHANGE: THE LANDSCAPE ARCHITECT RESERVE THE RIGHT O CHANGE SPECIES, VARIETY AND OR SIZES OF THE PLANT MATERIALS TO BE FURNISHED, PROVIDED THAT THE COST OF SUCH PLANT CHANGES DOES NOT EXCEED THE COST OF THE PLANTS IN THE ORIGINAL BID. THE CONTRACTOR SHALL BE NOTIFIED AND THE CHANGES CONFIRMED IN WRITING PRIOR TO THE PLANTING OPERATION COMMENCING. CHANGES IN SIZE OR VARIETY OF ANY PLANT MATERIAL FURNISHED THAT REQUIRED OR ADDITION IN COST SHALL REQUIRE AN ADJUSTMENT IN THE CONTRACT COST PRIOR TO PLANTING.

1.09 REJECTIONS

A. ANY MATERIAL AND/OR WORK MAY BE REJECTED IF IN THE OPINION OF THE LANDSCAPE ARCHITECT SUCH DOES NOT MEET THE REQUIREMENT AND THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT HIS EXPENSE. REJECTED WORK SHALL BE REDONE IN A TIMELY MANNER AND APPROVED BY THE OWNERS REPRESENTATIVE. THIS INCLUDES MATERIALS THAT HAVE BEEN PLANTED WITHOUT PRIOR ACCEPTANCE.

1.10 PROTECTION OF PLANTS, EXISTING WORK AND IMPROVEMENTS

A. THROUGHOUT CONSTRUCTION AND MAINTENANCE THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT AND AVOID DAMAGE TO UTILITIES, PAVING PLANTING, STRUCTURES, FIXTURES, DRAINAGE AND IRRIGATION LINES, ETC.. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGE, TO SUCH IMPROVEMENTS AND SHALL COMPLETELY REPAIR OR REPLACE THE SAME AT NO COST TO THE OWNER.

RESPONSIBLE PARTY IN DETERMINING THE CONDITION OF THE PLANT MATERIAL SIZE

SECTIONB.

EXISTING PLANT MATERIALS, PLANTING AREAS AND PLANTS SHALL BE PROTECTED AGAINST TRESPASSING, THEFT, VANDALISM AND DAMAGE OF ANY KIND, IF ANY PLANTS BECOME DAMAGED STOLEN, OR INJURED THEY SHALL BE TREATED OR REPLACE AT THE CONTRACTORS EXPENSE. REPLACEMENT PLANTS SHALL BE OF EQUAL VALUE OF THE ORIGINAL PLANT MATERIAL OR IF NO REPLACEMENT IS AVAILABLE THE CONTRACTOR SHALL REIMBURSE THE OWNER FOR THE COST OF THE MATERIAL AND INSTALLATION. THE LANDSCAPE ARCHITECT SHALL BE THE

OF REPLACEMENT AND/ OR COST COMPENSATION.

1.11 CLEAN UP

A. DURING THE COURSE OF PLANTING OPERATIONS, EXCESS CONSTRUCTION WASTE MATERIALS SHALL BE REMOVED AND DISPOSED OF OFF—SITE AT A LEGAL DISPOSAL SITE.

B. PRIOR TO NOTICE OF COMPLETION, THE ENTIRE LANDSCAPED AREA SHALL BE CLEANED TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE.

1.12 SITE OBSERVATIONS

A. CONTRACTOR SHALL GIVE FORTY—EIGHT (48) HOURS NOTICE AND SET APPOINTMENTS FOR ALL SITE OBSERVATIONS.

B. SITE OBSERVATIONS.

B. SITE OBSERVATIONS BY THE LANDSCAPE ARCHITECT SHALL BE SCHEDULED AS IN THE NOTES ON PLANS OR AS DIRECTED BY THE OWNER.

C. OBSERVATIONS SHALL BE CALLED FOR TAT THE END OF ALL PLANTING OPERATIONS FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH PLANS AND SPECIFICATIONS, INTENT, WORKMANSHIP, AND CLEANUP. CONTRACTOR SHALL SECURE WRITTEN VERIFICATION OF OBSERVATION DATA, AND MAKE ANY CORRECTIONS REQUIRED TO WORK BEFORE BEGINNING THE MAINTENANCE PERIOD.

D. IN THE EVENT THE CONTRACTOR REQUESTS OBSERVATION OF WORK AND SAID WORK IS INCOMPLETE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBSERVATION COST INCURRED BY THE LANDSCAPE ARCHITECT.

1.13 FINAL SITE OBSERVATION AND ACCEPTANCE

A. FINAL SITE OBSERVATION OS THE PLANTING WILL BE MADE AT THE CONTRACTORS REQUEST AND UPON COMPLETION OF THE MAINTENANCE OF THE MAINTENANCE PERIOD.

B. THE WORK UNDER THIS CONTRACT WILL BE ACCEPTED BY THE LANDSCAPE ARCHITECT UPON THE SATISFACTORY COMPLETION OF ALL WORK, INCLUDING MAINTENANCE, BUT EXCLUSIVE OF THE GUARANTEE OF PLANT MATERIALS.

1.14 GUARANTEE AND REPLACEMENT

A. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS PLANTED UNDER THIS CONTRACT SHALL BE IN GOOD, HEALTHY AND FLOURISHING CONDITION OF ACTIVE GROWTH AT THE END OF ONE GROWING YEAR FROM THE DATE OF ACCEPTANCE. ALL OTHER PLANT MATERIALS SHALL BE GUARANTEED UNTIL FINAL ACCEPTANCE OF THE MAINTENANCE

B. ALL DEAD PLANTS AND ALL PLANTS THAT LOSE MORE THAN 30% OF THEIR ORIGINAL LEAVES, OR AS DETERMINED BY THE OWNER WITHIN (10) DAYS OF NOTICE.

C. REPLACEMENT PLANT MATERIAL AND SEEDING SHALL BE OF COMPARABLE QUALITY REPLACED SHALL BE GUARANTEED FOR THE ORIGINAL PERIOD, STARTING FROM THE DATE

1.15 SUBMITTALS

A. SUBMIT LIST WITH SOURCES AND QUANTITIES TO LANDSCAPE ARCHITECT OF SOIL AMENDMENTS, FERTILIZERS, PLANT MATERIALS, MULCH, SEEDS, AND SOD WITH QUANTITIES OF EACH TO BE USED ON THE JOB. RETAIN AND SUBMIT RECEIPTS AS REQUESTED BY THE LANDSCAPE ARCHITECT.

1.16 PUBLIC SAFETY

A. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO INSURE THE SAFETY OF ALL WORKERS, PEDESTRIANS,

AND ADJACENT PROPERTY IN ACCORDANCE WITH CALIFORNIA/OSHA REQUIREMENTS. THE LANDSCAPE

ARCHITECT AND HIS CONSULTANT IN THE FIELD OF SAFETY ENGINEERING. WE DO NOT DIRECT THE CONTRACTORS OPERATIONS AND WE CAN NOT BE RESPONSIBLE FOR PERSONNEL OTHER THAN OUR OWN ON THE SITE. THE SAFETY OF OTHERS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE

CONTRACTOR SHALL

NOTIFY THE LANDSCAPE ARCHITECT IS HE CONSIDERS ANY OF THE RECOMMENDED ACTION

NOTIFY THE LANDSCAPE ARCHITECT IF HE CONSIDERS ANY OF THE RECOMMENDED ACTIONS IN THE

CONTRACT DOCUMENTS TO BE UNSAFE.

1.17 AS—BUILT INFORMATION

A. A SET OF CONTRACT DRAWINGS THAT ARE VERIFIED BY THE CONTRACTOR TO BE AN 'APPROVED SET' OF THE GOVERNING AGENCY SHALL BE KEPT AT THE SITE OFFICE DURING CONSTRUCTION. ALL WORK THAT IS INSTALLED SHALL BE REVIEWED FOR CONFORMANCE WITH THE PLANS. IF NEW WORK OR WORK AS SHOWN ON THE PLANS IS DIFFERENT, THE CONTRACTOR SHALL BE KEPT CURRENT AS THE WORK PROGRESSES AND SHALL BE AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE UPON REQUEST. AT 2 WEEKS PRIOR TO THE "NOTICE OF COMPLETION", THESE OR A COPY OF THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER'S REPRESENTATIVE. PART 2 — MATERIALS

2.01 PLANT MATERIALS

OF REPLACEMENT.

A. ALL PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST ONE YEAR.

B. PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE NORMAL

HABITS OF GROWTH. THEY SHALL BE FREE OF DISEASE, INSECT PESTS OR THEIR EGGS, SUN—SCALE INJURIES ABRASIONS OR DISFIGUREMENTS HAVE HEALTHY WELL—DEVELOPED ROOT SYSTEMS.

C. TREES SHALL HAVE STRAIGHT TRUNKS UNLESS OTHERWISE SPECIFIED, WITH THE LEADERS INTACT, UNDAMAGED, AND UNCUT. DAMAGED OR PRUNED TERMINAL LEADERS WILL BE CAUSE FOR REJECTION. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY EXCEPT UPON THE SPECIAL APPROVAL OF THE LANDSCAPE ARCHITECT.

D. ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED ON THE PLANTING PLAN EXCEPT THAT PLANTS LARGER THAN SPECIFIED MAY BE USED. USED OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.

E. CONTAINER STOCK (1, 5, 15, GAL., AND BOX SIZES) SHALL HAVE GROWN IN THE CONTAINERS
IN WHICH DELIVERED FOR AT LEAST 6 MONTHS BUT NOT OVER TWO YEARS, AND SHALL IN
NO CASE BE ACCEPTED IF A ROOT BOUND CONDITION HAS BECOME PREVALENT.

2.02 LANDSCAPE MATERIALS

OUT OF CANS AND HANDLE BY EARTH BALL ONLY.

C. PLANTS SHALL BE SET ON UNAMENDED NATIV

SETTLING. AFTER BACKFILLING, PLANT CROWN SHAL

D. AFTER PLACING IN PIT, WORK "PLANTING BACK

A. "PLANTING TABLETS" SHALL BE BEST-TABS PLANTING TABLETS 20-10-5 10/21 GRAM TABLETS SHRUBS AND TREES, WATER AND FIRMLY TAMP TO INSURE SOIL IN AND ABOUT ALL ROOTS.

OR APPROVED EQUIVALENT.

B. "MULCH" SHALL BE BARK OR WOOD MULCH FROM ONE OF THE FOLLOWING SOURCES: SHREDDED FIR OR CEDAR OR RECYCLED TREE AND SHRUB CLIPPINGS. MULCH SHALL BE GREATER THAN 1/4" DIAMETER AND NO LARGER THAN 1/2" DIAMETER. MULCH SHALL BE FREE STICKS, STONES, CLAY, CLODS, DEBRIS AND FOREIGN INORGANIC MATERIAL.

C. "HERBICIDE" SHALL BE ROUND—UP BY MONSANTO CORPORATION.

D. "PRE—EMERGENT" HERBICIDE SHALL BE TREFLAN, SURFLAN, EPTAN OR EQUIVALENT.

E. "MOW STRIPS" SHALL BE AS SPECIFIED ON CONSTRUCTION DOCUMENTS.
F. "NAILS", "WIRES", "HARDWARE, "STAPLES" AND "TURNBUCKLES" SHALL BE HOT DIPPED GALVANIZED.

G. "TREE STAKES" SHALL BE 2" DIAMETER BY 8' LENGTH COPPER NAPTHENATE TREATED LODGE POLE PINE STAKES, OR EQUAL, ACCORDING TO THE FOLLOWING SCHEDULE: 15 GALLON 1-8' STAKE

24" BOX OR LARGER 2-10' STAKES

H. "EROSION CONTROL FABRIC BLANKET" SHALL BE NORTH AMERICAN GREEN, MODEL SC 150.

I. "ROOT BARRIERS" SHALL BE BIO-BARRIER BY DOW ELANCO 1(800) 352-6776.

J. "DECORATIVE ROCK" OR "BOULDERS" SHALL BE AS SPECIFIED ON PLANS.

2.03 HYDROSEED MATERIALS

A. SEED MIX — AS SPECIFIED ON PLANS.

B. "WOOD PULP" SHALL BE SILVAFIBER BY WEYERHAUSER OR APPROVED EQUAL, AT A RATE OF 1000 LBS./ACRE.

C. "TACKIFIER" SHALL BE M-BINDER FROM STOVER SEED OR APPROVED EQUAL, AT A RATE OF 60 LBS,/ACRE.

PART 3 — INSTALLATION 3.01 GENERAL REQUIREMENTS

A. INSTALLER MUST EXAMINE THE SUBGRADE, VERIFY THE ELEVATION AND OBSERVE THE CONDITION UNDER WHICH WORK IS TO BE PERFORMED. IF SITE CONDITIONS VARY FROM THOSE SHOWN ON THE DRAWINGS, CONTRACTOR SHALL NOTIFY THE LANDSCAPE

ARCHITECT AND GENERAL CONTRACTOR BEFORE COMMENCING WORK.

B. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR FORESEEN SUCH AS, BUT NOT LIMITED TO PAVING, RUBBLE FILL, ENGINEERING FILL, ADVERSE DRAINAGE CONDITIONS, TOXIC SUBSTANCES OR OBSTRUCTIONS, NOTIFY OWNER'S REPRESENTATIVE BEFORE PLANTING.

3.02 WEED KILL
A. IRRIGATE SITE NORMALLY FOR TWO WEEKS TO GERMINATE WEEDS. APPLY CONTACT HERBICIDE PER MANUFACTURER.

B. WHEN ALL WEEDS HAVE PERISHED AND THE ACTIVE PERIOD OF HERBICIDE HAS EXPIRED ALL WEEDS SHALL BE COMPLETELY TURNED UNDER BY PLOWING. ROTOTILLING OR OTHER MECHANICAL. MEANS. IF PERSISTENT REPEAT APPLICATION TO ASSURE ERADICATION.

C. ALL HERBICIDE APPLICATIONS SHALL BE PERFORMED BY A LICENSED AND BONDED OPERATOR.

D. APPLY PRE-EMERGENT HERBICIDE AS NOTED UNDER MATERIALS AND AT THE RATES SPECIFIED BY THE MANUFACTURE.

3.03 SOIL PREPARATION
A. SOIL PREPARATION SHALL OCCUR NOT MORE THAN 30 DAYS PRIOR TO PLANTING. ALL PLANTING ARES WITH ASPHALT, ENGINEERED FILL OR OTHER DELETERIOUS MATERIAL SHALL BE THOROUGHLY DUG OUT THROUGH SUB-BASE MATERIAL AND BACKFILL WITH

B. APPLY SOIL AMENDMENTS RECOMMENDED IN SOILS TEST, EVENLY AND AT THE SPECIFIED APPLICATION RATES. SEE CONTRACT DOCUMENTS FOR SPECIFIC RECOMMENDATIONS.

C. ROTOTILL TOP 6" OF SOIL TO A LOOSE AND FRIABLE CONSISTENCY.

D. SLOPES STEEPER THAN 3:1 SHALL BE RAKED, BUT SHALL NOT RECEIVE SOIL AMENDMENTS EXCEPT AT EACH PLANT PIT BACKFILL.

3.04 FINISH GRADING
A. FINISH GRADING AFTER SOIL PREPARATION SHALL ESTABLISH FINAL FLOW LINES AND

A. FINISH GRADING AFTER SOIL PREPARATION SHALL ESTABLISH FINAL FLOW LINES AND GRADIENTS FOR UNIFORM WATER DRAINAGE.

B. FINISHED GRADES SHALL BE SMOOTH, COMPACTED AND FREE FROM IRREGULAR CHANGES. SWALES SHALL READILY DRAIN AND BE FREE OF LUMPS OR HOLLOWS. ALL PLANTING BEDS SHALL DRAIN REGULARLY AS NOTED ON THE CONSTRUCTION DOCUMENTS OR AT A MINIMUM OF 2% AWAY FROM BUILDINGS, WALLS AND TOWARD ROADWAYS, DRAINS AND CATCH BASINS.

C. MOUNDS SHALL BE SHAPED AND SCULPTED TO CREATED A SMOOTH AND IRREGULAR NATURAL EFFECT AND SHALL BE OF ELEVATIONS AS INDICATED ON THE CONTRACT DOCUMENTS.

D. FINISH GRADES SHALL BE A MINIMUM OF 1" BELOW ADJACENT PAVING IN LAWN AREAS AND 2" BELOW IN GROUND COVER/SHRUB BEDS. WHERE DRAINAGE FLOW IS INTERRUPTED BY MOW STRIPS, TRANSITION TO LEVEL WITH GRADE AT THESE LOCATIONS SO AS NOT TO OBSTRUCT FLOW. WHERE PAVEMENT OBSTRUCTS FLOW, CONTACT THE OWNER FOR DIRECTION.

3.05 LAYOUT
A. LAYOUT OF ALL TREES, SHRUB MASSES, HEADER BOARDS, AND OTHER LANDSCAPE
ELEMENTS SHALL BE STAKED BY THE CONTRACTOR IN THE FIELD FOR APPROVAL BY THE
LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

B. PLANT ARRANGEMENTS ARE SHOWN ON DRAWINGS. HOWEVER, FINAL LOCATION AND/OR ORIENTATION OF ANY OR ALL PLANTS SHALL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL MAKE ANY CHANGES IN LOCATIONS OF PROPOSED PLANTING, AS MAY BE REQUIRED, WITHOUT ADDITIONAL COST TO THE OWNER.

C. PRIOR TO PLANTING, CONTRACTOR SHALL SURVEY SITE FOR POTENTIAL PLANT MATERIAL CONFLICTS. POTENTIAL CONFLICTS INCLUDE, BUT NOT LIMITED TO PLANT MATERIAL OBSTRUCTIONS TO SIGNS, ROOF OVERHANGS, PEDESTRIAN AND VEHICULAR TRAFFIC, AND SLOPE/LEVEL AREAS WHICH DIFFER IN ELEVATION OF CONFIGURATION FROM EXISTING SITE PLANTING CONDITIONS.

3.06 EXCAVATION OF PLANTING PITS AND BEDS

A. ALL EXCAVATED HOLES SHALL HAVE ROUGHENED SURFACES, NOT GLAZED, AND SHALL BE

OF THE MINIMUM SIZES INDICATED ON DRAWINGS.

B. UNDER NO CIRCUMSTANCES SHALL ANY PLANT PIT OR BED REMAIN OPEN OVERNIGHT UNLESS IT IS PROPERLY BARRICADED.

C. FILL EXCAVATIONS FOR ALL REPRESENTATIVE SITE CONDITIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATED OUT OVER A HOUR PERIOD. REFILL HOLE AND IF WATER IS NOT ABSORBED WITHIN 12 HOURS OF THE SECOND FILLING, CONTACT LANDSCAPE ARCHITECT FOR DIRECTION.

3.07 PLANTING

A. AFTER PLANTING PITS HAVE BEEN DUG, ADD "PLANTING TABLETS" TO THE PLANTING PITS ACCORDING TO THE FOLLOWING SCHEDULE.
PLANT SIZE AMOUNT

ROOTED CUTTINGS, LINERS, 4 INCH POTS

1 GALLON 2-10 GRAM, TABLETS 5 GALLON 3-10 GRAM, TABLETS

15 GALLON /24" 6-10 GRAM, TABLETS

B. CANNED STOCK SHALL BE REMOVED CAREFULLY FROM CANS AFTER LIGHTLY COMPRESSING THE SIDES OF THE CONTAINERS TO LOOSEN THE ROOT BALL. SLIDE PLANTS

OUT OF CANS AND HANDLE BY EARTH BALL ONLY.

C. PLANTS SHALL BE SET ON UNAMENDED NATIVE SOIL FIRMLY TAMPED TO PREVENT
SETTLING. AFTER BACKFILLING, PLANT CROWN SHALL BE KEPT IN A VERTICAL POSITION.

D. AFTER PLACING IN PIT, WORK "PLANTING BACKFILL MIX "AROUND BALL OF GROUNDCOVER,
SHRUBS AND TREES, WATER AND FIRMLY TAMP TO INSURE SOIL IN AND ABOUT ALL ROOTS.

E. NO PLANT WILL BE ACCEPTED IF THE ROOTBALL IS BROKEN OR CRACKED, EITHER BEFORE,
DURING OR AFTER THE PROCESS OF INSTALLATION.

F. STAKE TREES IMMEDIATELY AFTER PLANTING AS PER PLANTING DETAILS.
G. PRIOR TO PLANTING ALL SPRAY IRRIGATION SHALL BE FULLY OPERATIONAL AND DRIP

IRRIGATION AREAS SHALL HAVE SUPPLY LINE INSTALLATION.

H. ALL PLANTS UNLESS NOTED OTHERWISE ON PLANS SHALL BE THOROUGHLY WATERED AT TIME OF PLANTING, TAKING CARE NOT TO COVER CROWNS OF PLANTS WITH WET SOIL.

PLANTS SHALL BE KEPT ADEQUATELY WATERED UNTIL TIME OF ACCEPTANCE.

I. GROUND COVER PLANTING SHALL BE AS NOTED ON PLANS AND PLANTED ON TRIANGULAR

SPACING. EXTEND GROUND COVER TO WITHIN 12 INCHES OF ADJACENT SHRUBS OR TREE TRUNKS.

3.08 MULCHING

A. MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND GROUND COVERS. MULCH SHALL BE APPLIED UNIFORMLY TO COVER ALL PLANTING BED SURFACES, INCLUDING DRIP COMPLETED IRRIGATION LINES, TO A COMPLETED DEPTH OF 3 INCHES MINIMUM. 3.09 FINAL GRADING

A. THE FINISHED SURFACE SHALL BE SMOOTH, COMPACTED AND FREE FROM IRREGULAR CHANGES, SWALES SHALL READILY DRAIN AND BE FREE OR LUMPS OR HOLLOW. ALL PLANTING BEDS SHALL DRAIN READILY AT A MINIMUM OF 2% AND BE FREE FROM PONDING OR STANDING WATER AT ALL TIMES, IN AREAS WHERE PLANTING BEDS RETAINED BY WALLS CURBS, TERRACES OR OTHER HARD SURFACES, CARE SHALL BE TAKEN TO PROVIDE PROPER DRAINAGE.

B. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE ENTIRE

PLANTING
AREA SMOOTH AND EVEN, TO INSURE THAT FINISH GRADES SHALL BE 1 INCH BELOW THE SURFACE OF WALLS, CURBS AND PAVED AREAS, AND IN ALL CASES WITHOUT ABRUPT CHANGES IN GRADIENT.

C. THE GROUND SURFACE SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO SEEDING TO DETERMINE SUITABILITY FOR PLANTING. THE CONTRACTOR SHALL OBTAIN SUCH APPROVAL BEFORE PROCEEDING.

3.10 HYDROSEEDING

A. HYDROSEED MIX: SEE PLANTING PLANS
B. EQUIPMENT AND APPLICATION: HYDRAULIC EQUIPMENT USED FOR THE APPLICATION OF SLURRY SHALL HAVE A BUILT IN AGITATION SYSTEM WITH AN OPERATING CAPACITY SUFFICIENT TO AGITATE, SUSPEND AND HOMOGENEOUSLY MIX THE ABOVE SLURRY. DISTRIBUTION LINES SHALL BE LARGE ENOUGH TO PREVENT STOPPAGE AND TO PROVIDE EVEN DISTRIBUTION OF THE SLURRY OVER THE GROUND. THE PUMP SHALL BE CAPABLE

EXERTING AT LEAST 150PSI AT THE NOZZLE OR SUFFICIENT ADDITIONAL PRESSURE FOR PROPER COVERAGE. THE SLURRY TANK SHALL HAVE A MINIMUM CAPACITY OF 1,500 GALLONS AND SHALL BE MOUNTED ON A TRAVELING UNIT WHICH WILL PLACE THE SLURRY TANK AND SPRAY NOZZLES WITHIN SUFFICIENT PROXIMITY TO THE AREAS TO BE SEEDED SO AS TO PROVIDED UNIFORM DISTRIBUTION WITHOUT WASTE AND SHALL BE THOROUGHLY CLEAN AND FREE OF SEED SPECIES THAT ARE NOT SPECIFIED.

C. APPLICATION: THE OPERATOR SHALL SPRAY THE SURFACES WITH A UNIFORM, VISIBLE COAT BY USING THE GREEN COLOR OF THE WOOD PULP AS A GUIDE. THE SLURRY SHALL

APPLIED IN A SWEEPING MOTION, IN AN ARCHED STREAM ALLOWING THE WOOD FIBERS TO BUILD ON EACH OTHER UNTIL A GOOD COAT IS ACHIEVED AND THE MATERIAL IS SPREAD

THE REQUIRED RATE.

D. TIME LIMIT: ALL SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED TO THE SURFACES WITHIN

4 HOURS AFTER MIXING WILL BE REJECTED AND REMOVED FROM THE PROJECT AT THE CONTRACTOR'S EXPENSE.

3.11 MAINTENANCE/ ESTABLISHMENT PERIOD

A. THE ENTIRE PROJECT SHALL BE MAINTAINED FOR PERIOD OF ONE YEAR, COMMENCING FROM THE TIME ALL IRRIGATION AND LANDSCAPE WORK HAS BEE COMPLETED, OBSERVED BY THE LANDSCAPE ARCHITECT, AND WRITTEN NOTICE OF COMPLETION PROVIDED. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE ACCORDING TO THE FORGOING ARTICLES AND OF THE SPECIAL PROVISIONS AND TO THE SATISFACTION OF THE OWNER.

OF THE OWNER.

B. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS INCLUDED IN THE CONTRACT DOCUMENTS DURING THE PROGRESS OF THE WORK, HAS BEEN COMPLETED, OBSERVED BY THE LANDSCAPE ARCHITECT, AND WRITTEN NOTICE OF COMPLETION PROVIDED. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE ACCORDING TO THE FORGOING ARTICLES AND OF THE SPECIAL PROVISIONS AND TO THE SATISFACTION OF THE OWNER.

C. MAINTENANCE OF PLANTED AREAS SHALL INCLUDE, BUT BE LIMITED TO WATERING PRUNING, EROSION REPAIR, AND REPLACEMENT OF SICK, DEAD OR DAMAGED PLANTS TO PROPER GRADES OR UPRIGHT POSITION, MOWING, DEBRIS REMOVAL AND ALL OTHER CARE NECESSARY FOR PROPER GROWTH AND APPEARANCE OF THE PLANTS.

D. DAMAGE RESULTING FROM GULLIES, WASHOUTS, OR OTHER EROSION SHALL BE

REPAIRED
BY FILLING AND TAMPING, RE FERTILIZING AND RE-SEEDING OR REPLANTING BY THE CONTRACTOR AT HIS EXPENSE IF SUCH DAMAGE OCCURS PRIOR TO ACCEPTANCE OF

WORK UNDER CONTRACT.

E. ALL SHRUBS AND TREES SHALL BE MAINTAINED IN THEIR NATURAL SHAPES. TALL OR SCRAGGLY BRANCHES SHALL BE THINNED OUT WHERE NECESSARY. IN NO CASE SHALL TREES OR SHRUBS BE TRIMMED BY HEADING OR SHEARING. ANY PLANTS SEVERELY PRUNED IN THIS MANNER SHALL BE REMOVED AND REPLACE AT CONTRACTOR'S EXPENSE F. DURING THE MAINTENANCE PERIOD, ANY PLANT INDICATING WEAKNESS OR PROBABILITY OF DYING, OR HAVE LOST MORE THAN 30% OF LEAVES SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.

G. TREE STAKE WHICH FOR ANY REASON ARE DAMAGED OR RENDERED INADEQUATE FOR SUPPORT SHALL BE REPAIRED AND RESTORED TO THEIR ORIGINAL CONDITIONS. TREE TIES SHALL BE ATTACHED SECURELY.

H. CONSTANT DILIGENCE SHALL BE MAINTAINED FOR THE ADVENT OF DISEASE, INSECTS,

AND/OR RODENT INFESTATIONS AND PROPER PREVENTATIVE OR CONTROL MEASURES TAKEN.

ALL WEEDS IN GROUNDCOVER AREAS SHALL BE PULLED AS THEY APPEAR AND PRIOR O

SETTING SEED DURING THE MAINTENANCE PERIOD.

J. ALL WALKS, CURBS, AND GUTTERS SHALL BE KEPT CLEAR OF DEBRIS, MUD, DUST,

STANDING WATER BY SWEEPING AND MOPPING AS REQUIRED TO MAINTAIN CLEANLINESS THROUGHOUT.

K. DURING THE MAINTENANCE PERIOD ALL AREAS INCLUDED IN THE CONTRACT SHALL BE CLEAN AND FREE OF DEBRIS AND WEEDS. ALL PLANT MATERIALS SHALL BE LIVE, HEALTHY, AND FREE OF INFESTATION. IF ANY ITEM OR PORTION OF THE CONTRACT WORK IS NOT ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AT THE TIME OF FINAL INSPECTION, AT THE TIME OF FINAL INSPECTION, CONTRACT FOR ANY ADDITIONAL PERIOD OF TIME AS MAY BE REQUIRED TO REPAIR DEFECTIVE TIMED OR PORTION.

L. SETTLING OF MULCHED AREAS AND EROSION OF MULCH WITHIN THE MAINTENANCE

PERIOD
SHALL BE SUPPLEMENTED WITH ADDITIONAL MULCH AT THE CONTRACTORS EXPENSE TO

MEET THE DEPTH AND COVERAGE SPECIFIED.

M. SETTLING OF AREAS WHICH CAUSES WATER TO POND OR INTERRUPT DRAINAGE FLOWS SHALL BE REPAIRED TO MAINTAIN POSITIVE DRAINAGE.

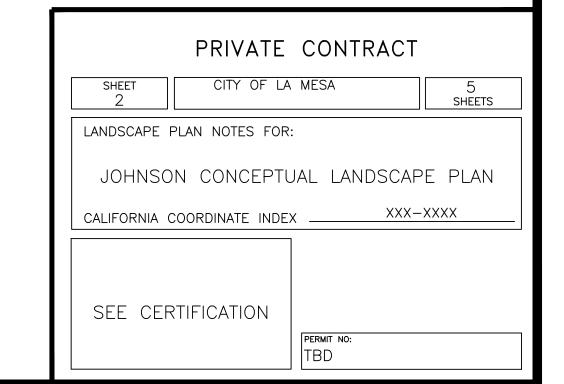
3.12 WRITTEN NOTICE

A. AT THE END OF THE SPECIFIED ESTABLISHMENT PERIOD, THE CONTRACTOR SHALL PRESENT

RESPONSIBILITY OF THE OWNER.

THE REQUIRED MAINTENANCE AND SUBMIT THE RECORD DRAWINGS. FURTHER MAINTENANCE WILL BE THE

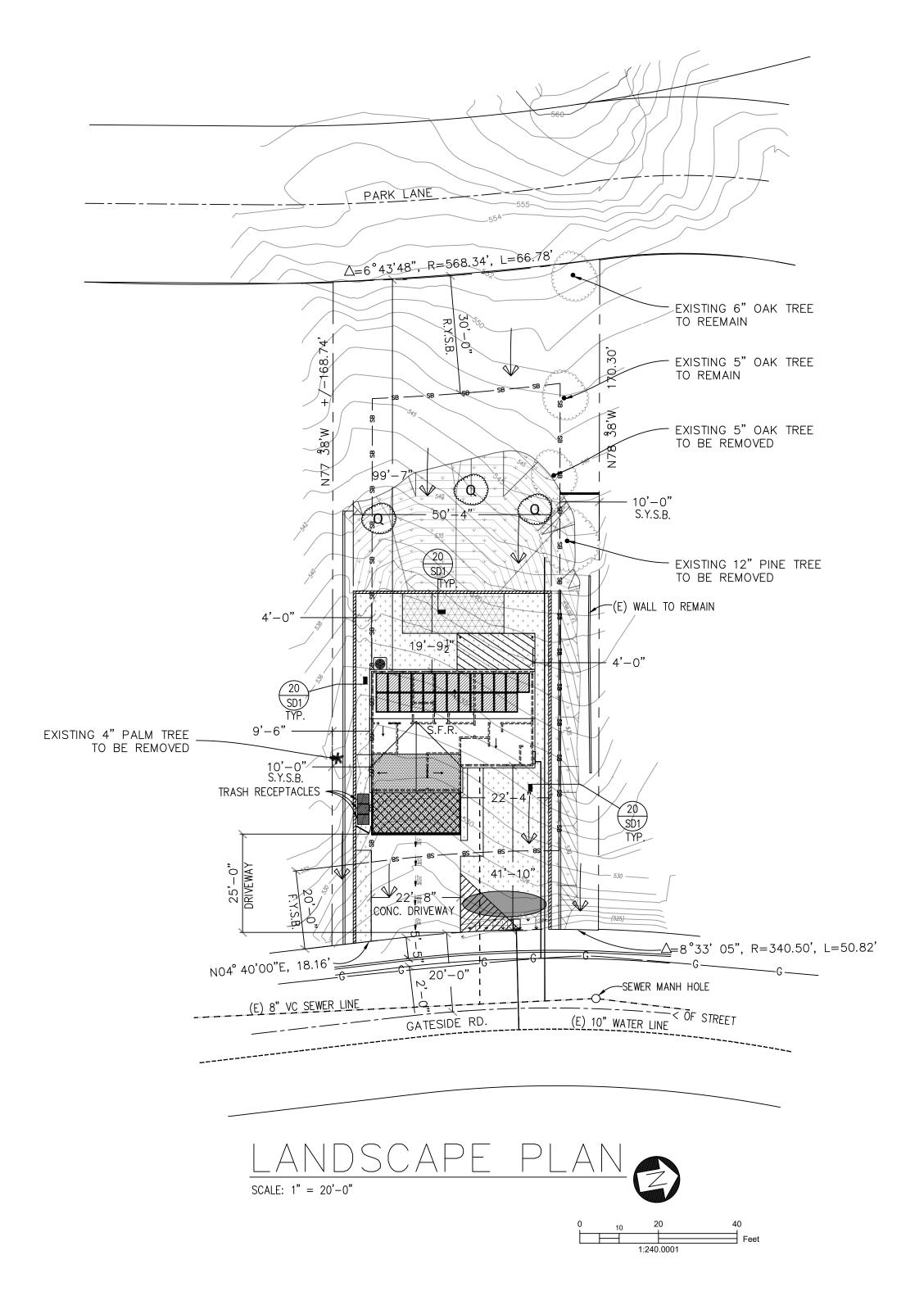
WRITTEN NOTICE TO THE LANDSCAPE ARCHITECT AND OR OWNER THAT HE HAS COMPLETED



LEGEND

_____ INDICATES NEW WALLS ----- INDICATES SET BACKS . — INDICATES PROPERTY LINE ------ INDICATES STREET CENTER LINE DRAINAGE ARROWS INDICATES LOW ROOF INDICATES DECK ——G—— INDICATES (E) GAS LINE . ———— INDICATES (N) GAS LINE 10. ---- INDICATES (E) 10" WATER LINE 11. — INDICATES (E) 8" VC SEWER MAIN LINE 12. — INDICATES (N) SEWER 6" LATERAL @ 2% — INDICATES (N) WATER LINE 14. ZIIIIII INDICATES (N) RETAINING WALL INDICATES FUTURE SOLAR PANELS (SEE SHEET A2) INDICATES 2-CAR GARAGE AREA

BONDED FIBER MATRIX



LANDSCAPE PLAN LEGEND

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TREES

		Tree Legend			
SYM	BOTANICAL	COMMON NAME	SIZE	WUCOLS	QUANT
Q	QUERCUS ILEX	HOLLY OAK	5 GAL	LOW	3

2. BONDED FIBER MATRIX HYRDROSEED

CHAPARRAL CUSTOM MIX		SIZE	WUCOLS
Encelia farinosa (Brittlebush)—Eschscholzia californica (California Poppy)—Lasthenia californica (Dwarf Goldfields) —Lotus scoparius (Deerweed)—Lotus purshianus (Purshiangs Iotus) —Phacelia campanularia (California bluebells)—Salvia apiana (White sage)—Solanum douglasii (White nightshade)—Vulpia microstachys (Small Fescue)	54 LBS/ACRE	2,301 SF	LOW

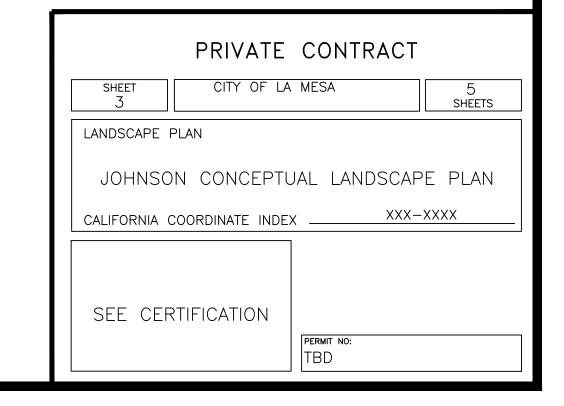
4. VEGETATED LID DETENTION BASIN (<100 SF, <1' DEPTH)

GRAVEL 3/8 IN. GRAVEL, GREY

6 FREES TO BE REMOVED

LANDSCAPE PLAN CONCEPT DESCRIPTION

Our landscape plan for the new single—family residential home is designed to provide street scape enhancement, adding shade, erosion control, and creating a beautiful property. We aim to enhance the current environment while prioritizing conservation and efficiency. To achieve this, we have carefully selected low—water—usage plants, including a Chaparral Custom Mix tailored to thrive in our region's climate conditions. This mix includes a variety of native species such as Brittlebush, California Poppy, Dwarf Goldfields, Deerweed, Purshiangs lotus, California bluebells, White sage, White nightshade, Small Fesuce, along with Holly Oak trees. These plants not only add visual interest and aesthetic appeal to the landscape but also promote biodiversity and support local ecosystems. By incorporating native species with low water requirements, our landscape design contributes to water conservation efforts while creating a sustainable and eco—friendly outdoor space for the homeowner to enjoy.



IRRIGATION SPECIFICATIONS

PART 1.00 GENERAL

1.01 GENERAL REQUIREMENTS A. THE CONTRACTOR SHALL FURNISH ALL LABOR, TOOLS MACHINERY, MATERIAL, AND PROCESSES NECESSARY TO COMPLETE THE IRRIGATION SYSTEM DESCRIBED HEREIN AND SHOWN ON THE CONTRACT DOCUMENTS.

B. CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS

SITE RESTRICTIONS.

C. CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF ALL SITE UTILITIES. ANY UTILITY OR GRADING INFORMATION PROVIDED ON THE CONTRACT DOCUMENTS IS FOR THE CONTRACTOR'S REFERENCE. THERE IS NO GUARANTEE AS TO THE ACCURACY OF THE INFORMATION. CONTRACTOR SHALL LOCATE AND VERIFY UTILITY LOCATIONS TO HIS SATISFACTION.

D. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL REPAIRS MADE NECESSARY BY

NEGLIGENCE OF HIS CREWS. E. THE GENERAL AND SPECIAL CONDITIONS AND NOTES OF THE CONTRACT APPLY TO THE WORK OF THIS SECTION THE SAME AS THOUGH WRITTEN HEREIN.

F. CONTRACTOR SHALL VERIFY EXISTING WATER PRESSURE BEFORE INSTALLING IRRIGATION SYSTEM.

1.02 ORDINANCES AND REGULATIONS

A. ALL LOCAL, MUNICIPAL AND STATE LAWS AND RULES & REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. ANYTHING CONTAINED IN THE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CONFLICT WITH ANY OF THE ABOVE RULES REGULATIONS, OR CONTRACT DOCUMENTS OF THE SAME. HOWEVER, WHEN THE SPECIFICATIONS AND OR CONTRACT DOCUMENTS CALL FOR, OR DESCRIBE MATERIALS, WORKMANSHIP OR CONSTRUCTION OF HIGHER QUALITY, HIGHER STANDARDS OR A LARGER SIZE, SPECIFICATIONS AND OR CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE OVER THE REQUIREMENTS OF THE SAID RULE AND REGULATIONS. B. CONTRACTOR SHALL OBTAIN PERMITS AND PAY ALL FEES ASSOCIATED WITH THE

CONSTRUCTION OF THE IMPROVEMENTS. 1.03 SCOPE OF WORK

A. THE WORK INCLUDES ALL SERVICES, LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY TO PERFORM THE WORK ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN AND AS REQUIRED TO COMPLETE THE CONTRACT PROPERLY. B. THE CONTRACTOR SHALL PROTECT THE WORK, ADJACENT PROPERTY AND THE PUBLIC, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE, INJURY AND LOSS DUE TO HIS ACTS OR NEGLECT.

C. THE CONTRACTOR SHALL SUBMIT UNIT COSTS TO THE OWNER FOR ADDITIONS OR

DELETIONS TO THE CONTRACT DOCUMENTS. D. WORK NOT INCLUDED: N.I.C., BY OTHERS, EXISTING

1.04 SCHEDULE OF WORK

A. UPON AWARD OF THE CONTRACT A WORK SCHEDULE SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR CARRYING OUT THE WORK. UPON APPROVAL, NO MODIFICATIONS SHALL BE MAKE TO THIS SCHEDULE WITHOUT THE WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.

B. FINISH GRADING AND LANDSCAPE INSTALLATION SCHEDULE OR WORK SHALL BE PERFORMED DURING THOSE PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED HORTICULTURAL PRACTICE. 1.05 COORDINATION

A. CONTRACTOR SHALL REPORT TO THE OWNER'S REPRESENTATIVE ANY DEVIATIONS BETWEEN CONSTRUCTION CONTRACT DOCUMENTS, SPECIFICATIONS, AND THE SITE. FAILURE TO DO SO PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS AND RESULTING IN REPLACING AND OR RELOCATING IMPROVEMENTS. SHALL BE AT THE CONTRACTORS

B. CARE SHALL BE TAKEN TO COORDINATE THE WORK AT ALL TIMES WITH OTHER CONTRACTORS WORKING IN AND ADJACENT TO THE AREAS IN THIS CONTRACT. THIS IS TO INSURE AN ORDERLY AND EFFICIENT INSTALLATION PROCEDURE, AND TO MINIMIZE CONFLICTS WITH OTHER CONSTRUCTION OPERATIONS.

1.06 EXPLANATION OF CONTRACT DOCUMENTS A. DUE TO THE SCALE OF CONTRACT DOCUMENTS, IT IS NOT POSSIBLE TO SHOW ALL OFFSETS, FITTING, OR SLEEVES WHICH MAY BE REQUIRED. CAREFULLY INSPECT ALL CONDITION OF WORK ACCORDING TO THE ACTUAL SITE AND PLAN INSTALLATION ACCORDINGLY FURNISHING ALL PIPE AND FITTINGS TO MEET THE SYSTEMS REQUIREMENTS. CONTRACTOR SHALL REPORT ANY CONFLICTS PRIOR TO BEGINNING WORK TO THE OWNER'S REPRESENTATIVE. WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING AND ARCHITECTURAL FEATURES.

1.07 SUBSTITUTIONS A. NO SUBSTITUTIONS OF IRRIGATION EQUIPMENT OR OTHER CONSTRUCTION MATERIAL

WILL BE PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF IRRIGATION EQUIPMENT SUBSTITUTIONS ARE ACCEPTED AND ARE OF LESS VALUE THEN THOSE SPECIFIED, THE CONTRACT PRICE WILL BE ADJUSTED IN ACCORDANCE WITH THE PROVISIONS OF THE CONTRACT.

B. THE RIGHT TO CHANGE: THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO CHANGE THE MANUFACTURER, MODEL AND/OR SIZES OF IRRIGATION EQUIPMENT TO BE FURNISHED, PROVIDED THAT THE COST OF SUCH EQUIPMENT CHANGES TO THE ORIGINAL BID. THE CONTRACTOR SHALL BE NOTIFIED AND THE CHANGES CONFIRMED IN WRITING PRIOR TO THE IRRIGATION INSTALLATION OPERATION COMMENCING. CHANGES IN ANY IRRIGATION EQUIPMENT FURNISHED THAT REQUIRES A REDUCTION OR ADDITION IN COST SHALL REQUIRE AN ADJUSTMENT IN THE CONTRACT COST. 1.08 REJECTIONS

A. ANY IRRIGATION EQUIPMENT AND OF WORK MAY BE REJECTED IF IN THE OPINION OF

OWNER'S REPRESENTATIVE SUCH DOES NOT MEET THE REQUIREMENT AND THE SPECIFICATIONS. ALL REJECTED WORK AND OR IRRIGATION EQUIPMENT SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT HIS EXPENSE. REJECTED WORK SHALL BE REDONE IN A TIMELY MANNER AND APPROVED BY THE OWNER'S REPRESENTATIVE. 1.09 SUBMITTALS A. SUBSTITUTIONS:

SUBMIT 3 COPIES OF THE CATALOG INFORMATION ON MATERIAL WHICH ARE TO BE SUBMITTED FOR SUBSTITUTION. COMPLETE MATERIAL LIST SHALL BE SUBMITTED PRIOR TO PERFORMING ANY WORK. NO SUBSTITUTION WILL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.

1.10 RECORD CONTRACT DOCUMENTS (AS-BUILT) INFORMATION

A. A SET OF CONTRACT DOCUMENTS SHALL BE KEPT AT THE SITE OFFICE DURING CONSTRUCTION. ALL WORK THAT IS INSTALLED SHALL BE REVIEWED FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS. IF NEW WORK OF WORK AS SHOWN ON THE CONTRACT DOCUMENTS IS DIFFERENT. THE CONTRACTOR SHALL NOTE THE INSTALLATION RECORD DRAWING. THE MARKED CONTRACT DOCUMENTS SHALL BE KEPT CURRENT AS THE WORK PROGRESSES AND SHALL BE AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE UPON REQUEST. AT 2 WEEKS PRIOR TO THE "NOTICE OF COMPLETION". THESE OR A COPY OF THE AS-BUILT CONTRACT DOCUMENTS SHALL BE DELIVERED TO THE LANDSCAPE ARCHITECT. FINAL IRRIGATION AS-BUILT PLANS WILL BE REQUIRED TO BE REVIEWED AND SIGNED BY THE CITY PRIOR TO PLANNING DEPARTMENT SIGNING THE PERMIT CARD.

1.11 DELIVERY, STORAGE, AND HANDLING A. DELIVER, UNLOAD, STORE, AND HANDLE MATERIALS, PACKAGING, BUNDLING, PRODUCTS,

DR, WEATHERPROOF, WATERPROOF CONDITION IN MANNER TO PREVENT DAMAGE, BREAKAGE, DETERIORATION, INTRUSION, INTRUSION, IGNITION, EXCESSIVE EXPOSURE TO SUN, AND VANDALISM. DELIVER IN ORIGINAL UNOPENED PACKAGING CONTAINERS PROMINENTLY DISPLAYING MANUFACTURER NAME, VOLUME, QUANTITY, CONTENTS, INSTRUCTIONS, AND CONFORMANCE TO LOCAL, STATE, AND FEDERAL LAW. REMOVE AND REPLACE CRACKED, BROKEN OR CONTAMINATED ITEMS OR ELEMENTS PREMATURELY EXPOSED TO MOISTURE. INCLEMENT WEATHER SNOW, ICE, TEMPERATURE EXTREMES, FIRE, OR JOB SITE DAMAGE.

HANDLING OF PVC PIPE-EXERCISE CARE IN HANDLING, LOADING AND STORING OF PVC

ALL PVC PIPE SHALL BE TRANSPORTED IN A VEHICLE WHICH ALLOW LENGTH OF PIPE TO LIE FLAT SO AS NOT TO SUBJECT IT TO UNDUE BENDING OR CONCENTRATED EXTERNAL LOADS. ALL SECTIONS OF PIPE THAT HAVE BEEN DENTED OR DAMAGED SHALL BE DISCARDED, AND IF INSTALLED, SHALL BE REMOVED AND REPLACED WITH NEW PAVING

A. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO INSURE THE SAFETY OF ALL WORKERS, PEDESTRIANS AND ADJACENT PROPERTY IN ACCORDANCE WITH CALIFORNIA/OSHA REQUIREMENTS, THE LANDSCAPE ARCHITECT AND OR CONSULTANTS DO NOT PRACTICE OR NOT PRACTICE OR CONSULT IN THE FIELD OF SAFETY ENGINEERING. THE LANDSCAPE ARCHITECT DOES NOT DIRECT THE CONTRACTORS OPERATIONS AND IS NOT RESPONSIBLE FOR PERSONNEL OTHER THAN OUT OWN ON THE SITE. THE SAFETY OF OTHERS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF HE CONSIDERS ANY OF THE RECOMMENDED ACTIONS IN THE CONTRACT DOCUMENTS TO BE UNSAFE. B. PROTECTION OF PROPERTY

PRESERVE AND PROTECT ALL TREES, PLANTS, MONUMENTS, STRUCTURES, AND PAVED AREAS FORM DAMAGED DUE TO WORK OF THIS SECTION, IN THE EVENT DAMAGED DOES OCCUR, ALL DAMAGE SHALL BE COMPLETELY REPAIRED OR REPLACED TO SATISFACTION OF OWNER AND PAID BY CONTRACTOR.

2. PROTECT BUILDINGS, WALKS, WALLS AND OTHER PROPERTY FROM DAMAGE. MARK AND BARRICADE OPEN DITCHES. DAMAGE CAUSED TO ASPHALT, CONCRETE, OR OTHER BUILDING MATERIAL SURFACES SHALL BE REPAIRED OR REPLACED AT TO OWNER. RESTORE DISTURBED AREAS TO ORIGINAL CONDITION. REPLACEMENT OF PAVING AND CURBS - WHERE TRENCHES AND LINES CROSS EXISTING ROADWAYS, PATHS, CURBING, ETC, DAMAGE TO THESE SHALL BE KEPT TO A MINIMUM AND SHALL BE RESTORED TO ORIGINAL CONDITION.

C. EXISTING TREE: ALL TRENCHING OR OTHER WORK UNDER LIMB SPREAD OF ANY AND ALL EVERGREENS OR LOW BRANCHING DECIDUOUS MATERIAL SHALL BE DONE BY HAND OR BY OTHER METHODS SO AS TO PREVENT DAMAGE TO LIMBS OR BRANCHES.

2. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATION, IN AREAS WHERE 2INCH AND LARGER ROOTS OCCUR, SHALL BE DONE BY HAND.ROOTS 2 INCHES OR LARGER IN DIAMETER, EXCEPT DIRECTLY IN THE PATH OF PIPE OF CONDUIT, SHALL BE TUNNELED UNDER AND SHALL BE HEAVILY WRAPPED WITH BURLAP TO PREVENT SCARRING OR EXCESSIVE DRYING. WHERE A TRENCHING MACHINE IS OPERATED CLOSE TO TREES HAVE SMALLER THAN 2INCHES IN DIAMETER, WALL OF TRENCH ADJACENT TO TREE HAND TRIMMED, MAKING CLEAN CUTS THROUGH ROOTS. ROOTS 1INCH AND LARGER DIAMETER SHALL BE PAINTED WITH TWO COATS OF "TREE SEAL". TRENCHES ADJACENT TO TREES SHALL BE CLOSED WITHIN 24 HOURS, AND WHEN THIS IS NOT POSSIBLE SIDE OF TRENCH ADJACENT TO TREE SHALL BE KEPT SHADED WITH MOISTENED BURLAP OR CANVAS.

D. PROTECTION AND REPAIR OF UNDERGROUND LINE REQUEST PROPER UTILITY COMPANY TO STAKE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND ELECTRIC, GAL OR TELEPHONE LINE. TAKE WHATEVER PRECAUTIONS ARE NECESSARY TO PROTECT THESE UNDERGROUND LINE FROM DAMAGE. IN THE EVENT DAMAGE DOES OCCUR, ALL DAMAGE SHALL BE REPAIRED BY CONTRACTOR, AND ALL COSTS OF SUCH REPAIRS SHALL BE PAID BY CONTRACTOR. 1.13 WARRANTY / GUARANTEE

A. CONTRACTOR SHALL WARRANT MATERIALS AGAINST DEFECTS FOR A PERIOD OF ON YEAR FROM NOTICE OF COMPLETION. CONTRACTOR SHALL GUARANTEE WORKMANSHIP FOR SIMILAR PERIOD. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING MATERIAL WARRANTY ITEMS WITH MANUFACTURER / DISTRIBUTOR.

B. SETTLING OF BACKFILLED TRENCHES WHICH MAY OCCUR DURING GUARANTEE PERIOD SHALL BE REPAIRED BY CONTRACTOR AT NO EXPENSE TO OWNER, INCLUDING COMPLETE RESTORATION OF DAMAGED PROPERTY.

C. EXPENSES DUE TO VANDALISM PRIOR TO NOTICE OF COMPLETION SHALL BE BORNE BY CONTRACTOR.

1.14 MAINTENANCE A. FURNISH THE FOLLOWING MAINTENANCE ITEMS TO OWNER PRIOR TO NOTICE OF

1. (2) SETS OF SPECIAL TOOLS REQUIRED FOR REMOVING DISASSEMBLING, AND ADJUSTING EACH TYPE OF SPRINKLER HEAD VALVE SUPPLIED ON THIS PROJECT. 2. (2) KEYS FOR EACH AUTOMATIC CONTROLLER, LOCKING VALVE BOXES AND LOCKING QUICK COUPLER.

(4) IRRIGATION HEADS WITH NOZZLES (OF EACH TYPE USED) FOR EVERY 100 IRRIGATION

4. OPERATION MANUALS FOR CONTROLLERS AND ANY OTHER EQUIPMENT USED PROJECT. 5. A REDUCED KEY MAP OF THE SITE HIGHLIGHTING EACH VALVE CONTROL AREA WITH A DIFFERENT COLOR. THIS MAP SHALL BE LAMINATED AND SHALL FIT INSIDE OF THE

6. CONTRACTOR SHALL MAINTAIN TEMPORARY IRRIGATION SYSTEM AREAS FOR A MINIMUM OF WITH SAME GUARANTEES AND REMOVE ABOVE GRADE SYSTEM AT THE END OF ESTABLISHMENT

PART 2.00 MATERIALS

2.01 PIPE AND FITTINGS A. MAIN LINES (CONSTANT PRESSURE) 2" AND LARGER SHALL BE POLYVINYL—CHLORIDE (PVC) 1120-160/200 P.S.I. CLASS 315 WITH SOLVENT WELD CONNECTIONS; 1-1/2" AND SMALLER SHALL BE PVC SCHEDULE 40.

1. SOLVENT WELD MAINLINE: AT CHANGES IN DIRECTION OR BRANCHES MAINS, USE APPROPRIATE SCHEDULE 40 PVC FITTINGS AS APPROVED BY THE UNIFORM PLUMBING

B. LATERAL LINE (NON-PRESSURE) 3/4" AND LARGER SHALL BE SCH. 40 PVC PLASTIC PIPE. SOLVENT WELD LATERAL LINE: AT CHANGES IN DIRECTION OR BRANCH MAINS, USE APPROPRIATE SCH. 40 PVC FITTINGS AS APPROVED BY THE UNIFORM PLUMBING CODE.

C. FLEXIBLE TUBING SHALL BE PVC FLEXIBLE AS SPECIFIED IN CONTRACT DOCUMENTS CONNECTIONS BETWEEN MAIN LINES AND REMOTE CONTROL VALVES SHALL BE OF SCH.80 PVC THREADED BOTH ENDS NIPPLES AND FITTINGS.

E. RISER SHALL BE AS FOLLOW: SCHEDULE 80 PVC THREADED NIPPLES AND SCHEDULE 80 ELLS AS SHOWN IN THE CONSTRUCTION DETAILS. 2.02 MISCELLANEOUS INSTALLATION MATERIALS

A. SOLVENT CEMENT AND PRIMER FOR SOLVENT WELD JOINTS SHALL BE OF MAKE AND TYPE APPROVED BY MANUFACTURER(S) OF PIPE AND FITTINGS. CEMENT SHALL BE MAINTAINED AT PROPER CONSISTENCY THROUGHOUT USE.

B. PIPE JOINT COMPOUND SHALL BE NON.HARDENING, NO TOXIC MATERIALS DESIGNED SPECIFICALLY FOR USE ON THREADED CONNECTIONS IN WATER CARRYING PIPE. PERFORMANCE SHALL BE SAME AS TEFLON TAPE. 2.03 MISCELLANEOUS EQUIPMENT

PROVIDE ALL EQUIPMENT CALLED FOR BY THE CONTRACT DOCUMENTS. VALVE BOXES:

MANUAL VALVES, DRIP LINE BLOW-OUT STUBS, AND WIRE SPLICE BOX-10 AND 6" RAINBIRD ROUND BOX. 2. 34

INCH THROUGH 2 INCH CONTROL VALVES - RAINBIRD12" STANDARD BOX.

3. DRIP VALVE ASSEMBLIES - RAINBIRD 12" STANDARD BOX.

C. ELECTRICAL CONTROL WIRING.

LOW VOLTAGE. ELECTRICAL CONTROL WIRE - AWG UF UL APPROVED NO 14 GAUGE DIRECT BURIAL E. COPPER WIRE FOR ALL COMMON WIRES.

E. WIRE COLORS:

CONTROL WIRES - RED.

2. COMMON WIRES - WHITE. 3. MASTER VALVE WIRE - BLUE

4. SPARE WIRES - GREEN (LABELED AT TERMINATIONS)

F. IF MULTIPLE CONTROLLERS ARE UTILIZED AND WIRE PATHS OF DIFFERENT CONTROLLERS CROSS EACH OTHER, BOTH COMMON AND CONTROL WIRES FROM EACH CONTROLLER SHALL BE DIFFERENT COLORS APPROVED BY LANDSCAPE ARCHITECT.

G. CONTROL WIRE CONNECTION SHALL BE MADE WITH 3M DIRECT BURY SPLICE, RAINBIRD PENTITE CONNECTORS, OR SIMILAR DRY METHOD.

H. ELECTRIC CONTROL VALVES- AS SPECIFIED IN CONTRACT DOCUMENTS

I. SPRINKLER HEADS- AS SPECIFIED IN CONTRACT DOCUMENTS. FABRICATE RISER UNITS IN ACCORDANCE WITH DETAILS IN CONTRACT DOCUMENTS. - WITH RISER NIPPLES OF

SAME SIZE AS RISER OPENING IN SPRINKLER BODY. J. PRESSURE GAUGES - SHALL BE AS SPECIFIED IN CONTRACT DOCUMENTS.

O. BACKFLOW PREVENTION DEVICE - AS SPECIFIED IN CONTRACT DOCUMENTS.

K. STRAINER - SHALL BE AS SPECIFIED IN CONTRACT DOCUMENTS. L. PRESSURE REDUCING VALVE AS SPECIFIED IN CONTRACT DOCUMENTS

M. AUTOMATIC CONTROLLER - AS SPECIFIED IN CONTRACT DOCUMENTS. N. BALL VALVES - AS SPECIFIED IN CONTRACT DOCUMENTS.

PART 3.00-INSTALLATION

3.01 PREPARATION A. SCHEDULE AND COORDINATE PLACEMENT OF EQUIPMENT IN A MANNER TO EFFECT THE EARLIEST COMPLETION OF WORK IN CONFORMANCE WITH CONSTRUCTION AND PROGRESS SCHEDULE.

3.02 LAYOUT A. LAYOUT WORK AS ACCURATELY AS POSSIBLE IN ACCORDANCE WITH DIAGRAMMATIC CONTRACT DOCUMENTS, WHERE CONDITIONS DO NOT PERMIT LOCATION OF PIPING VALVES AND HEADS WHERE SHOWN NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY AN

DETERMINE RELOCATION IN JOINT CONFERENCE. B. RUN PIPELINES AND AUTOMATIC CONTROL WIRING IN COMMON TRENCHES WHEREVER PRACTICAL.

3.03 EXCAVATING AND TRENCHING A. INSTALL SLEEVING UNDER EXISTING ASPHALT PAVING AND CONCRETE WALKS TO

ACCOMMODATE PIPING AND WIRING. B. TRENCHING - TRENCH EXCAVATION SHALL FOLLOW, AS MUCH AS POSSIBLE LAYOUT SHOWN

IN CONTRACT DOCUMENTS. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. TRENCH BOTTOM SHALL BE CLEAN AND SMOOTH WITH ALL ROCK AND ORGANIC DEBRIS REMOVED. PRESSURE SUPPLY LINE TRENCHES SHALL BE OVER EXCAVATED AS REQUIRED TO ALLOW FOR BEDDING MATERIAL.

PIPING SMALLER THAN 3 INCHES - TRENCHES SHALL HAVE A MINIMUM WIDTH OF 7 INCHES LINE CLEARANCE-PROVIDE NOT LESS THAN 6 INCHES OF CLEARANCE BETWEEN EACH LINE, AND NOT LESS THAN 12 INCHES OF CLEARANCE BETWEEN LINES OF OTHER TRADES. PIPE AND WIRE DEPTH:

PRESSURE SUPPLY PIPING - 18 INCHES FROM TOP OF PIPE TO FINISHED GRADE. NON-PRESSURE PIPING (POP-UP) - 12 INCHES FROM TOP OF PIPE TO FINISHED GRADE.

CONTROL WIRING - SIDE OF PRESSURE ASSEMBLY LINE. BORING WILL BE PERMITTED ONLY WHERE PIPE MUST PASS UNDER OBSTRUCTIONS WHICH CANNOT BE REMOVED. IN BACKFILLING BORE, FINAL DENSITY OF BACKFILL SHALL MATCH THAT OF SURROUNDING SOIL. IT IS ACCEPTABLE T USE SLEEVES OF SUITABLE DIAMETER INSTALLED FIRST BY JACKING OR BORING, AND PIPE LAIN THROUGH SLEEVES. OBSERVE SAME PRECAUTIONS AS THOUGH PIPE WERE INSTALLED IN OPEN TRENCH. 3.04 ASSEMBLING PIPELINES

A. ALL PIPE SHALL BE ASSEMBLED FREE FROM DIRT AND PIPE SCALE. FIELD CUT ENDS SHALL BE REAMED ONLY TO FULL DIAMETER WITH ROUGHED EDGES AND BURRS REMOVED. B. SOLVENT WELD JOINT: EACH INSTALLER SHALL BE PROPERLY TRAINED IN TECHNIQUES FOR MAKING CORRECT JOINTS PRIOR TO PERFORMING WORK ON THE SITE:

PREPARE JOINT BY FIRST MAKING SURE THE PIPE END IS SQUARE, THEN DEBURRING THE PIPE END AND CLEANING PIPE AND FITTING OF DIRT, DUST AND MOISTURE. 2. SNAKE PIPE IN TRENCH AS MUCH AS POSSIBLE TO ALLOW FOR EXPANSION AND CONTRACTION.

DRY-INSERT PIPE INTO FITTING TO CHECK FOR MIS-SIZING. PIPE SHOULD ENTER FITTING 1/3-

TO 2/3- DEPTH OF SOCKET. 4. LAY PIPE AND MAKE ALL PLASTIC TO PLASTIC JOINTS IN ACCORDANCE WITH

MANUFACTURERS RECOMMENDATIONS. 5. SOLVENT WELD JOINTS SHALL BE MADE BY PROCESS AND MATERIALS AS RECOMMENDED BY THE MANUFACTURER.

6. CURE JOINT A MINIMUM OF THIRTY (30) MINUTES BEFORE HANDLING AND AT LEAST (24) HOURS BEFORE ALLOWING WATER IN THE PIPE. C. THREADED JOINT:

FIELD THREADING OF PLASTIC OR FITTINGS IS NOT PERMITTED FACTORY FORMED THREADS ONLY WILL BE PERMITTED. 2. FACTORY MADE NIPPLES SHALL BE USED WHEREVER POSSIBLE, FIELD-CUT THREAD IN METALLIC PIPE WILL BE PERMITTED ONLY WHERE ABSOLUTELY NECESSARY WHEN FILED

THREADING, CUT THREADS ACCURATELY ON AXIS WITH SHARP DIES. 3. ALL THREADED JOINTS SHALL BE MADE UP WITH PIPE JOINT COMPOUND. APPLY COMPOUND TO MALE THREADS ONLY.

4. WHERE ASSEMBLING METALLIC PIPE TO METALLIC PIPE FITTING OR VALVE, NO MORE THAN THREE(3) FULL THREADS SHALL BE VISIBLE WHEN JOINT IS MAKE UP. 5. WHERE ASSEMBLING SOFT METAL (BRASS OR COPPER) OR PLASTIC PIPE, USE STRAP TYPE

FRICTION WRENCH ONLY DO NOT USE METAL-JAWD WRENCH. D. CAP OR PLUG OPENINGS AS PIPELINE IS ASSEMBLED TO PREVENT ENTRANCE OF DIRT OBSTRUCTION. REMOVE CAPS OR PLUGS ONLY WHEN NECESSARY TO CONTINUE ASSEMBLY WHERE PIPES OR CONTROL WIRES PASS THROUGH SLEEVES PROVIDE REMOVABLE

3.05 REMOTE CONTROL VALVES A. INSTALL WHERE SHOWN IN CONTRACT DOCUMENTS AND GROUP TOGETHER WHERE

NON-DECAYING PLUG AT ENDS OF SLEEVE TO PREVENT ENTRANCE OF EARTH.

PRACTICAL. LIMIT ONE REMOTE CONTROL VALVE PER BOX. B. LOCATE VALVE BOXES 12" FROM AND PERPENDICULAR TO WALK EDGES, BUILDINGS AND

WALLS. PROVIDE 6" BETWEEN VALVE BOXES WHERE VALVES ARE GROUPED TOGETHER. THOROUGHLY FLUSH MAIN LINE BEFORE INSTALLING VALVE INSTALL IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE.

E. LABEL CONTROL LINE WIRE AT EACH VALVE WITH A 2-1/4"x2-3/4" POLYURETHANE ID. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE AND LOCATE INSIDE VALVE BOX.

F. INSTALL VALVE BOXES FLUSH WITH GRADE IN LAWN AREAS AND 2" ABOVE GRADE IN SHRUB AREAS. 3.06 AUTOMATIC CONTROL WIRING

A. RUN WIRING ALONG PRESSURIZED MAINLINES WHEREVER PRACTICAL. TIE WIRES IN BUNDLES PIPE WRAPPING TAPE AT 10' INTERVALS AND ALLOW SLACK FOR CONTRACTION BETWEEN

STRAPPING. B. LOOP A MINIMUM OF THREE (3) FEET OF EXTRA WIRE IN EACH VALVE BOX; MOTH CONTROL WIRE AND

GROUND WIRE. C. CONNECTIONS SHALL BE MADE BY CRIMPING WIRES WITH BRASS CONNECTORS AND SEALING EPOXY RESIN SEALER PACKS.

D. SPLICING WILL NOT BE PERMITTED BETWEEN VALVES AND CONTROLLER. WHERE CONTROL LINES PASS UNDER PAVING, THEY SHALL PASS THROUGH SCHEDULE 40 ELECTRICAL

PVC CONDUIT. F. (INSTALL ALL CONTROL WIRE SPLICES NOT OCCURRING AT CONTROL VALVE IN A SEPARATE

VALVE BOX). NOT APPLICABLE TO THIS CONTRACT -OMIT G. INSTALL ONE CONTROL WIRE FOR EACH CONTROL VALVE.

H. RUN (1) SPARE, NO. 14 GAUGE WIRE FROM CONTROLLER PEDESTAL TO EACH ELECTRICAL

VALVE MANIFOLD ON EACH AND EVERY LEG OF PRESSURE SUPPLY LINE. I. LABEL SPARE WIRES AT CONTROLLER AND WIRE STUB BOX.

3.07 AUTOMATIC CONTROLLER

A. PROVIDE AND INSTALL AUTOMATIC IRRIGATION CONTROLLER IN APPROXIMATE LOCATIONS SHOWN IN CONTRACT DOCUMENTS. VERIFY THE EXACT LOCATION ON THE SITE WITH THE LANDSCAPE ARCHITECT. PROVIDE CONDUIT AND WIRE AND CONNECT TO 120 VOLT SWITCH (POWER BY OTHERS) ACCESSIBLE TO CONTROLLER FOR EASE OF MAINTENANCE. B. CONNECT CONTROL LINES TO CONTROLLER IN SEQUENTIAL ARRANGEMENT ACCORDING TO ASSIGNED IDENTIFICATION NUMBER OF VALVE. EACH CONTROL LINE WIRE SHALL BE LABELED AT CONTROLLER WITH A PERMANENT NON-FADING LABEL INDICATING STATION NUMBER OF VALVE CONTROLLED. ATTACH LABEL TO CONTROL WIRE.

3.08 BACKFILLING

A. BACKFILLING - DO NOT BEGIN BACKFILLING OPERATIONS UNTIL REQUIRED SYSTEM TESTS HAVE BEEN COMPLETED. LEAVE TRENCHES SLIGHTLY MOUNDED TO ALLOW RE SETTLEMENT AFTER BACKFILLING IS COMPLETED. TRENCHES SHALL BE FINISH GRADED PRIOR TO WALK-TROUGH OF SYSTEM BY LANDSCAPE ARCHITECT.

1. MATERIALS - EXCAVATED MATERIAL IS GENERALLY CONSIDERED SATISFACTORY FOR BACKFILL PURPOSES AFTER COMPETING BEDDING REQUIREMENTS. BACKFILL MATERIAL SHALL BE FREE OF RUBBISH, VEGETABLE MATTER, FROZEN MATERIALS, AND STONES LARGER THAN 2 INCHES IN MAXIMUM DIMENSIONS. DO NOT MIX SUBSOIL WITH TOPSOIL. MATERIAL NOT SUITABLE FOR BACKFILL SHALL BE HAULED AWAY. CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL IF EXCAVATED MATERIAL IS COMPACTION AND FINAL GRADE REQUIREMENTS.

2. OPEN EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH OSHA REGULATIONS. COMPACT BACKFILL TO 90% MAXIMUM DENSITY IN 6" LIFTS DETERMINED IN ACCORDANCE WITH ASTM D155-7 UTILIZING THE FOLLOWING METHODS:

B. MECHANICAL TAMPING.

C. PUDDLING OR PONDING, PUDDLING OR PONDING AND OR JETTING IS PROHIBITED WITHIN 10'-0" OF FOUNDATION WALLS.

D. PIPING UNDER PAVING:

PROVIDE FOR A MINIMUM OF 36 INCHES BETWEEN THE TIP OF THE PIPE AND BOTTOM OF THE AGGREGATED BASE FOR ALL PRESSURE AND NON PRESSURE PIPING INSTALLED UNDER ASPHALTIC CONCRETE OR CONCRETE PAVING.

2. PIPING LOCATED UNDER AREAS AREAS WHERE ASPHALT OR CONCRETE PAVING WILL BE INSTALLED SHALL BE BEDDED WITH CONSTRUCTION GRADE SAND OR SQUEEGEE (A LAYER 6 INCHES BELOW PIPE AND 4 INCHES ABOVE PIPE). 3. COMPACTED BACKFILL MATERIAL IN 6 INCHES LIFT AT 95% MAXIMUM DENSITY DETERMINED IN

ACCORDANCE WITH ASTM D1557 USING MANUAL OR MECHANICAL TAMPING DEVICES. 4 CONTROLLER WIRES LOCATED UNDER STREETS OR OTHER PERMANENT IMPROVEMENTS SHALL BE INSTALLED IN THE SEPARATE PVC CORRESPONDING TO THE TYPE DEPTH SPECIFIED ABOVE. 5. SET IN PLACE, CAP, AND PRESSURE TEST ALL PIPING UNDER PAVING IN PRESENCE OF OWNER

TO BACKFILLING AND PAVING OPERATIONS.

6. PIPING UNDER EXISTING WALKS OR CONCRETE PAVEMENT SHALL BE DONE BY JACKING, BORING OR HYDRAULIC DRIVING BUT WHERE CUTTING OR BREAKING OF WALKS AND OR CONCRETE IS NECESSARY IT SHALL BE DONE AND REPLACED AT NO COST TO OWNER. OBTAIN PERMISSION AND PRIOR APPROVAL TO CUT OR BREAK WALKS AND/OR CONCRETE FRO OWNER.

3.09 SPRINKLER HEADS A. THOROUGHLY FLUSH LINES BEFORE INSTALLING HEADS.

B. LOCATE HEADS AS SHOWN IN THE CONTRACT DOCUMENTS AND DETAILS AND NO CLOSER THAN 12" BUILDINGS.

C. ADJUST SPRINKLER HEADS FOR PROPER DISTRIBUTION AND TRIM NO TO SPRAY ONTO WALKS, BUILDINGS, ETC.

D. ADJUST PART CIRCLE HEADS FOR PROPER COVERAGE. PLANT REPLACEMENT SHALL NOT INTERFERE WITH INTENDED SPRINKLER HEAD COVERAGE,. PIPING OR OTHER EQUIPMENT. CONSULTANT MAY REQUEST NOZZLE CHANGES OR ADJUSTMENTS, WITHOUT ADDITIONAL COASTS TO THE OWNER. 3.10 TESTS

A. NOTIFY LANDSCAPE ARCHITECT AT LEAST 48HOURS IN ADVANCE OF TESTING.

B. PERFORM TESTING AT CONTRACTORS OWN EXPENSE. C. CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER

PRESSURE. NO FITTING SHALL BE COVERED. D. FLUSHING- AFTER PIPING, RISERS, AND VALVES ARE IN PLACE AND CONNECTED, BUT PRIOR T INSTALLATION OF SPRINKLER HEADS, THOROUGHLY FLUSH PIPING SYSTEM UNDER FILL HEAD WATER PRESSURE FROM DEAD END FITTINGS. MAINTAIN FLUSHING FOR 5 MINUTES THOUGH FURTHERMOST VALVE. CAP RISERS AFTER FLUSHING

E. APPLY THE FOLLOWING TESTS AFTER SOLVENT WELD PLASTIC PIPE JOINTS HAVE CURED AT LEAST HOURS.

F. TESTING- CONDUCT TESTS IN PRESENCE OF LANDSCAPE ARCHITECT. ARRANGE FOR PRESENE OF LANDSCAPE ARCHITECT, 48 HOURS IN ADVANCE OF TESTING. SUPPLY FORCE PUMP AND ALL OTHER TEST EQUIPMENT. 1. AFTER BACKFILLING, AND INSTALLATION OF ALL CONTROL VALVES, FILL IN PRESENCE OF LANDSCAPE

ARCHITECT WITH WATER, AND PRESSURIZE TO 40 P.S.I. OVER THE DESIGNATED STATIC PRESSURE OR 125 P.S.I. WHICHEVER IS GREATER FOR A PERIOD OF 6 HOURS. 2. LEAKAGE, PRESSURE LOSS - TEST IS ACCEPTABLE IF NO LEAKAGE OR LOSS OF PRESSURE IS

EVIDENT DURING TEST PERIOD.

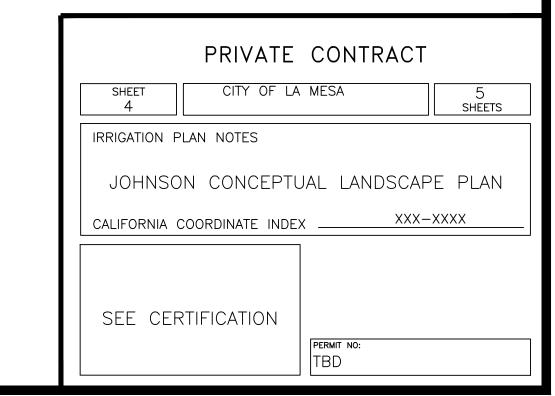
3. LEAKS-DETECT AND REPAIR LEAKS. RETEST SYSTEM UNTIL TEST PRESSURE CAN BE MAINTAINED FOR DURATION OF TEST. TEST REMOTELY CONTROLLED LATERAL LINES WITH WATER AT 100 P.S.I. FOR 2 HOURS AND VISUALLY

INSPECT FOR LEAKS. RETEST AFTER CORRECTING DEFECTS.

3.11 ADJUSTING A. UPON COMPLETION OF INSTALLATION, "FINE—TUNE" ENTIRE SYSTEM BY REGULATING VALVES, ADJUSTING PATTERNS AND BREAK-UP ARMS/SCREWS, AND SETTING PRESSURE REDUCING VALVES AT PROPER PRESSURE TO PROVIDE OPTIMUM AND EFFICIENT COVERAGE. FLUSH AND ADJUST ALL SPRINKLERS HEADS FOR OPTIMUM AND EFFICIENT COVERAGE. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS ROADWAYS, AND BUILDINGS. HEADS OF THE SAME TYPE SHALL BE OPERATING AT SAME PRESSURE. B. IF IT IS DETERMINED THAT IRRIGATION ADJUSTMENTS WILL PROVIDE PROPER AND MORE ADEQUATE COVERAGE, MAKE SUCH ADJUSTMENTS PRIOR TO NOTICE OF COMPLETION AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS MAY ALSO INCLUDE CHANGES IN NOZZLE SIZES, DEGREES OF ARC, AND CONTROL VALVE THROTTLING. C. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE

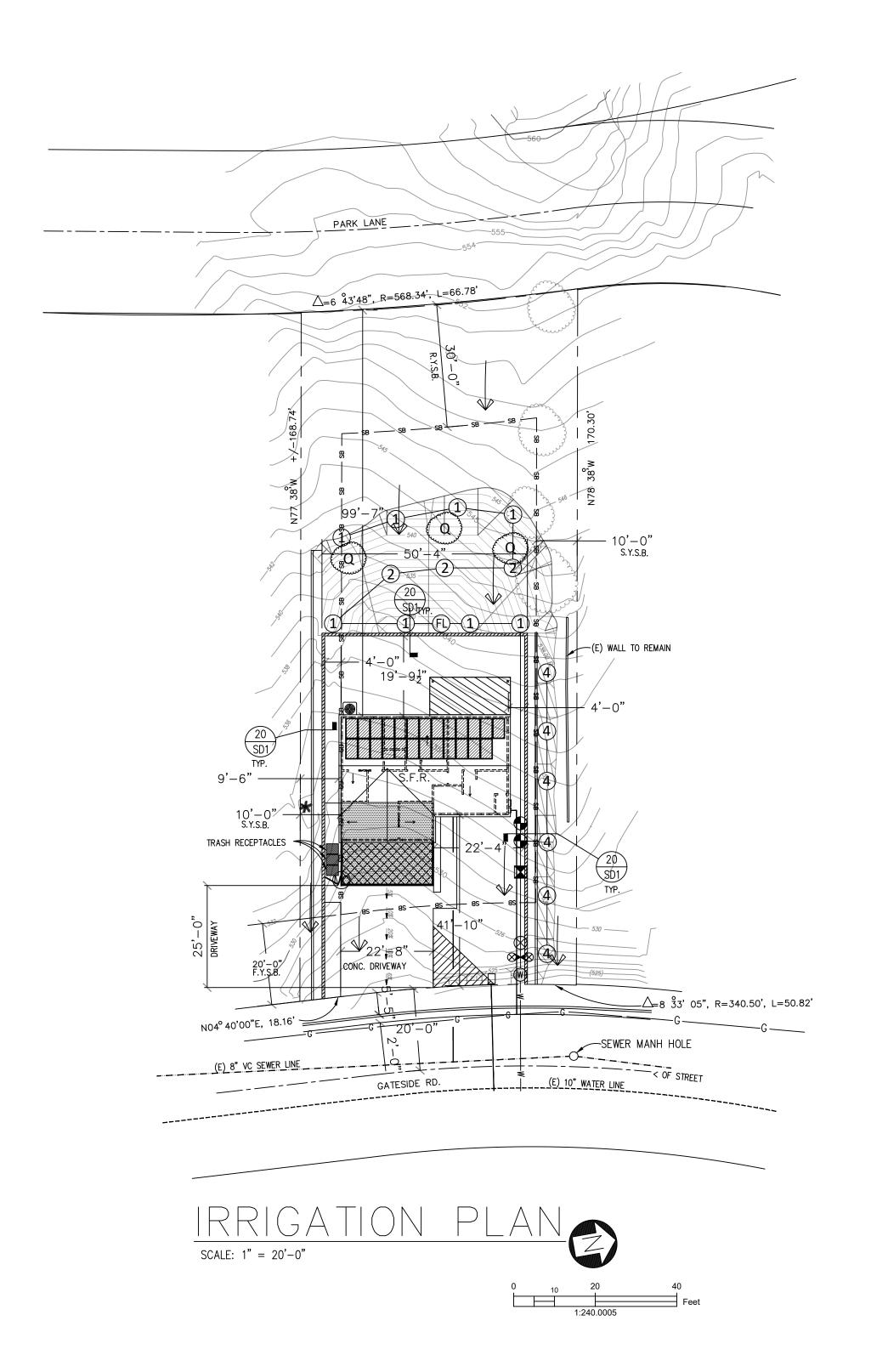
DESIGNATED. D. ARES WHICH DO NOT CONFORM TO DESIGNATED OPERATION REQUIREMENTS DUE TO UNAUTHORIZED CHANGES OR POOR INSTALLATION PRACTICES SHALL BE IMMEDIATELY CORRECTED AT NO ADDITIONAL COAST TO THE OWNER. 3.12 CLEANING

A. MAINTAIN CONTINUOUS CLEANING OPERATION THROUGHOUT WORK. DISPOSE OF, OFF-SITE AT LEGAL DISPOSAL SITE AND AT NO ADDITIONAL COST TO OWNER, ALL THRASH OR DEBRIS GENERATED BY INSTALLATION OF IRRIGATION SYSTEM.



LEGEND _____ INDICATES NEW WALLS ----- INDICATES SET BACKS 3. — INDICATES PROPERTY LINE 4. ──── INDICATES STREET CENTER LINE INDICATES LOW ROOF INDICATES DECK 8. ——G—— INDICATES (E) GAS LINE 9. ———— INDICATES (N) GAS LINE 10. — — INDICATES (E) 10" WATER LINE 11. — INDICATES (E) 8" VC SEWER MAIN LINE 12. — INDICATES (N) SEWER 6" LATERAL @ 2% 13. — INDICATES (N) WATER LINE 15. INDICATES FUTURE SOLAR PANELS (SEE SHEET A2) INDICATES 2-CAR GARAGE AREA

BONDED FIBER MATRIX



IRRIGATION LEGEND: MODEL NUMBER SYM. MANUF. ESCRIPTION DETAIL **FEBCO** 3/4" 825YA W/ REDUCED PRESSURE BACKFLOW PREVENTER 16/SHT.L5 WILKINS 500YSBR PRESSURE REDUCING VALVE AS REQUIRED QUICK COUPLER VALVE. LINE SIZED TYP. INSTALLED HUNTER QCV-100 14/SHT.L5 \bigoplus IN A VALVE BOX HUNTER ACZ0101 DRIP CONTROL ZONE KIT-REMOTE CONTROL VALVE 19/SHT.L5 FILTER, SCREE, PRESS, REGULATOR FLUSH CAP 13/SHT.L5 \otimes HAMMOND 8901 SERIES BALL VALVE, LINE SIZED IN A VALVE BOX lacktriangleHUNTER ICV SERIES IRRIGATION VALVE: PRESSURE REDUCING 12/SHT.L5 REMOVE CONTROL VALVE, SIZE PER PLAN PW PIPE PVC SCH. 40 LATERAL LINE, SIZE PER PLAN 15/SHT.L5 PVC SCH. 40 PRESSURE MAINLINE 1" 15/SHT.L5 PW PIPE 2X PIPE Ø" PVC SCH. 40 IRRIGATION SLEEVING PW PIPE 18/SHT.L5 NETAFIM TECHLINE HCVXR NETAFIM DRIP LINE. .53 GPH. 113/SHT.L5 12" EMITTER SPACING FL NETAFIM TLFV-1 AUTOMETIC FLUSH VALVE I10/SHT.L6 (C) MODULAR 4 STATION CONTROLLER WI-FI ENABLED HPC-400 112/SHT.L4 HUNTER MCHUNTER I11/SHT.L5 MINI-CLICK RAIN SENSOR WITH WALL MOUNT MODEL NUMBER DESCRIPTION RAD GPM PSI PR.IN/HR. DETAIL SYM.MANUF. (1) HUNTER PROS-06-PRS40-CV-MP1000-90 MP ROTATOR ADJ 90°-210° 8-15' .21-.42 40 0.41/0.48 I1/SHT.L6 (2) HUNTER PROS-06-PRS40-CV-MP1000-360 MP ROTATOR 360° 8-15' .75 40 0.41/0.48 I1/SHT.L6 (3) HUNTER PROS-06-PRS40-CV-MP CORNER MP ROTATOR ADJ 45°-105° 40 0.41/0.48 I1/SHT.L6 (4) HUNTER PROS-06-PRS40-CU-MP-SS-530HT MP ROTATOR SIDE STRIP 5x30" 5-30' .4-4.5 40 0.41/0.48 I1/SHT.L6 HUNTER PROS-06-PRS40-CV-MP800-90 6-15' .23-.42 40 0.83/0.96 I1SHT.L6 MP ROTATOR ADJ 90°-210° 17/SHT.L6 HUNTER PROS-06-PRS40-CV-50-PCN 2 POP-UP BUBBLER PER SYMBOL 0.5 30 MISCELLANEOUS CONNECTION FROM PVC LATERAL LINE TO DRIP IRRIGATION LATERAL PIPE SIZING: VALVE CALLOUT: VEL. SCH. 40 PIPE CONTROLLER STATION 3/4" 0 - 74.42 4.62 1-1/4" 13-22 4.85 1-1/2" 23-30 4.84 31-50 4.87 IRRIGATION NOTES: 1. IRRIGATION SYSTEM IS SHOWN DIAGRAMMATICALLY. LOCATE ALL PIPE AND EQUIPMENT WITHIN PLANTING AREAS WHERE EVER POSSIBLE. USE CHECK VALVE TO PREVENT LOW HEAD DRAINAGE WHERE NEEDED. ADJUST ALL HEADS TO AVOID OVERTHROW ONTO WALLS, WALKS, WINDOWS. REDUCE RADIUS WITH ADJUSTABLE SCREW FOR UNIFORM COVERAGE AND MINIMUM OVERTHROW OF AREA. 4. TREE LOCATIONS TAKE PRECEDENCE OVER IRRIGATION PIPING AND BUBBLER LINES. STAKE TREE LOCATIONS PRIOR TO TRENCHING. 5. CONTRACTOR SHALL ARRANGE AND PAY FOR ALL NECESSARY CONNECTIONS FOR 120V A.C. ELECTRICAL SERVICE TO THE IRRIGATION CONTROLLER. 6. CONTRACTOR SHALL INSPECT THE SITE AND VERIFY ALL CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. TO ALLOW FOR ADEQUATE IRRIGATION COVERAGE AS SHOWN ON PLAN, ADJUST BUBBLE HEAD SPRAY HEADS TO COMPENSATE FOR CHANGE IN AREAS. 7. TO ENSURE PROPER LOCATIONS OF IRRIGATION SLEEVES INSTALLATION COORDINATE LOCATION OF MAINLINE BUBBLER LINE AND CONTROL WIRES WITH ALL OTHER RELATED TRADES AS REQUIRED. 8. ALL BRASS FITTINGS TO BE RED BRASS TYPICAL. 9. USE 3/4" TEFLON TAPE ON ALL THREAD CONNECTIONS. 10. IRRIGATION SYSTEM IS DESIGNED FROM A STATIC WATER PRESSURE OF 65 P.S.I. & 22 G.P.M. FROM POTABLE SERVICE LINE TYPICAL. CONTRACTOR SHALL VERIFY WATER PRESSURE AT WORST CONDITION AND CONTACT THE LANDSCAPE ARCHITECT IF ANY INCONSISTENCIES 11. CONTROL WIRE SCHEDULE: (MAX LENGTH RUNS) <u>CONTROL/ COMMON:</u> <u>NO.14</u> NO.12 NO.10 1,700' 2,000' 2,400' 2,700' 2,700' 3,300' 3,800' NO.12 NO.10 4,300' 5,200' 6,700' 12. ABOVE WIRING SCHEDULE IN BASED ON A 24 VOLT AUTOMATIC IRRIGATION CONTROLLER & WIRE SIZE BASED ON OPERATING ONE VALVE AT 13. ALL IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO STANDARDS AND SPECIFICATIONS. 14. NOTIFY LANDSCAPE ARCHITECT FOR COVERAGE TEST PRIOR TO PLANTING. 15. ANY PIPE NOT LABELED THAT IS DOWNSTREAM OF A 1" LATERAL, IS TO BE 3/4". 16. ALL IRRIGATION EQUIPMENT (EXCEPT UNDERGROUND) SHALL BE LOCATED MINIMUM OF 24" FROM ANY HARDSACPE PAVING. 17. ALL ZONE ON-SITE SHALL HAVE DYNAMIC PRESSURE OF 50PSI OR LESS.

18. RAINS SENSOR SHALL BE MOUNTED ON 8' POLE AWAY FROM ANY IRRIGATION OVERSPRAY AND OVERHANGS. INSTALL PER MANUFACTURES

PRIVATE CONTRACT

SHEET CITY OF LA MESA 5
SHEETS

IRRIGATION PLAN

JOHNSON CONCEPTUAL LANDSCAPE PLAN

CALIFORNIA COORDINATE INDEX XXX—XXXX

SEE CERTIFICATION

SEE CERTIFICATION

SEE CERTIFICATION

This project has specified a WIFI—enabled irrigation controller to obtain weather information from an internet connection. For final inspection, the irrigation controller shall be connected to a functioning network and receive weather updates to qualify as a required weather—sensing capable irrigation controller in accordance with the City of La Mesa landscape ordinance (LMMC Chapter 14.29).

RECOMMENDATIONS.