

ABBREVIATIONS:

Table of abbreviations and their corresponding full names, including ADJ (Adjustable), AFF (Finished Floor), ALUM (Aluminum), AB (Anchor Bolt), etc.

GENERAL NOTES:

- 1. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE AND ASSOCIATED AMENDMENTS IN CITY OF LA MESA MUNICIPAL CODE (CDMC), AND THE 2022 CALIFORNIA BUILDING CODE (CBC) FOR THE NON-CONVENTIONAL FRAMING STRUCTURAL PROVISIONS.
2. A. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.
B. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OR WORK.

RESIDENTIAL GREEN BUILDING STANDARD NOTES:

- 1. STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION: PROJECTS WHICH DISTURBS LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE
2. GRADING AND PAVING: SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SHALES, WATER COLLECTION, FRENCH DRAINS, ETC.) CGC 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.
3. LANDSCAPE: IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS. CGC 4.304.1
4. RECYCLING: A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC 4.408.1
5. RECYCLING THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, FER CGC 4.408.2
6. OPERATION AND MAINTENANCE MANUAL: THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.1
7. POLLUTANT CONTROL: DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1
8. POLLUTANT CONTROL VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS, COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC 4.504.2.
9. INTERIOR MOISTURE CONTROL: THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECT. 4.505.3. BUILDING MATERIAL WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC 4.505.3
10. INDOOR AIR QUALITY - BATHROOM FANS SHALL BE ENERGY STAR RATED VENTED DIRECTLY TO THE OUTSIDE & CONTROLLED BY A HUMIDISTAT. CGC 4.506.1.
11. PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3.
12. COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2019 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CFIR, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

JOHNSON RESIDENCE
GATESIDE RD. A.P.N. 499-030-49-00
LA MESA, CA. 91941

OWNER: VIKKI & ROB JOHNSON
RESIDENCE: 822 KALPATI CIR. UNIT C CARLSBAD, CA. 92008
PHONE: (619) 504-3561

APN: 499-030-49-00

SHEET INDEX:

Table listing sheet numbers and titles: T1 TITLE SHEET, A0 2022 LOW RISE RESIDENTIAL MANDATORY MEASURES SUMMARY, A01 SITE PLAN, A1 FIRST & SECOND FLOOR PLAN, A2 ROOF PLAN & AVERAGE GRADE ELEVATION, A3 ELEVATIONS, A4 SECTIONS, A5 DETAILS, E1 ELECTRICAL PLAN

TITLE 24 (ENERGY)
T24 ENERGY CALCULATIONS

STRUCTURAL

Table listing structural sheet numbers and titles: S0.1 GENERAL NOTES, S0.2 TYPICAL DETAILS, S0.3 TYPICAL DETAILS & SCHEDULES, S1 FOUNDATION & SECOND FLOOR FRAMING PLANS, S2 ROOF FRAMING PLAN, SD1 FOUNDATION DETAILS, SD2 FLOOR FRAMING DETAILS, SD3 ROOF FRAMING DETAILS, WS4H1 SIMPSON STRONG WALL INFORMATION, WS4H1.1 SIMPSON STRONG WALL INFORMATION, WS4H1.2 SIMPSON STRONG WALL INFORMATION, WS4H1.3 SIMPSON STRONG WALL INFORMATION, WS4H2 SIMPSON STRONG WALL INFORMATION, WS4H3 SIMPSON STRONG WALL INFORMATION, WS4H4 SIMPSON STRONG WALL INFORMATION

TYPE OF CONSTRUCTION: VB

LOT COVERAGE: 1354 SQ. FT. / 11318 SQ. FT. (LOT) = 0.12

SPRINKLERS: HOME SHALL BE FIRE-SPRINKLERED (UNDER SEPARATE PERMIT)

DEFERRED SUBMITTAL: -PV SYSTEM (10 KW) (UNDER SEPARATE PERMIT)

CONTACT INFORMATION: MICHELLE PETTYCORD LIC #: 10880211
BUILDABLE, INC
PHONE #: (619) 688-0345
EMAIL: MICHELLE@SIMPLYBUILDABLE.COM

KUSH DRAFTING - DESIGN: HAMID KUSHKAKI
ADDRESS: 14288 DANIELSON ST. SUITE 201 FOMAT, CA. 92064
PHONE #: (858) 211-4106

BUILDABLE, INC. - CONTRACTOR & LANDSCAPE
NICK PARISI LIC#: 10880211
ADDRESS: 1205 FERRARA CT. ESCONCIDO, CA. 92025
PHONE #: (160) 141-1100

KAPPA SURVEYING & ENGINEERING, INC - CIVIL ENGINEERING
BILL DICK
ADDRESS: 8402 N. MAGNOLIA AVE, SUITE C SANTEE, CA. 92071
PHONE #: (619) 465-8948

LOT NO.: 22
LOT SQ. FT.: 11,318 SQ. FT.
ZONE: R3U

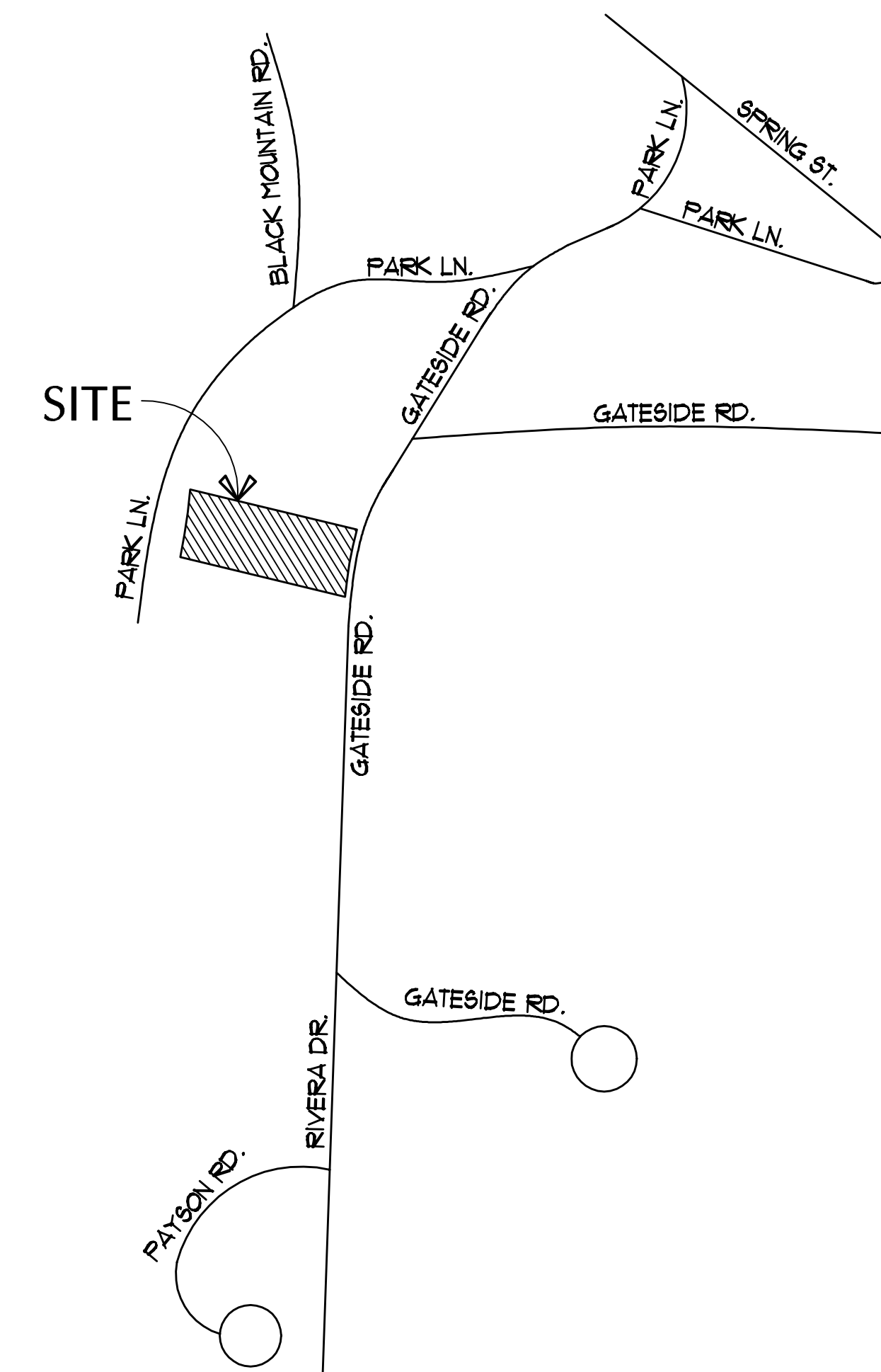
LEGAL DESCRIPTION: THAT PORTION OF LOT 22 OF THE SUBDIVISION NO. 4, IN LOT 12, EX-MISSION RANCHO, IN THE CITY OF LA MESA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO LICENSED SURVEYOR'S MAP NO. 12, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, JUNE 13, 1992, WHICH LIES WITHIN A PARCEL OF LAND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEASTERLY CORNER OF LOT 8 OF SPRING VALLEY HIGHLANDS, ACCORDING TO MAP THEREOF NO. 2206, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY, THENCE WESTERLY ALONG THE SOUTHERLY LINE OF LOTS 8 AND 7, ACCORDING TO SAID MAP NO. 2206 TO THE SOUTHWEST CORNER OF SAID LOT 7; THENCE SOUTHERLY ALONG THE EAST LINE OF PARK LANE TO THE NORTHERLY LINE OF LOT 28 AS SHOWN ON SAID MAP NO. 2206; THENCE EASTERLY ALONG SAID NORTHERLY LINE TO THE NORTHEASTERLY CORNER OF SAID LOT 28; THENCE NORTHERLY ALONG THE WESTERLY LINE OF GATESIDE ROAD AS SHOWN ON SAID MAP NO. 2206 TO THE POINT OF BEGINNING. EXCEPTING THEREFROM THAT PORTION CONVEYED TO FRANCIS HILL AND TERESA C. HILL, HUSBAND AND WIFE AS JOINT TENANTS BY DEED RECORDED DECEMBER 13, 1967 AS FILE NO. 195733.

AREA TABULATION:

Table showing area tabulation: 1ST FLOOR = 893 SQ. FT., 2ND FLOOR = 1128 SQ. FT., TOTAL LIVING AREA = 2021 SQ. FT., DECK = 250 SQ. FT., 2-CAR GARAGE = 461 SQ. FT.

SCOPE OF WORK
PROPOSED TO BUILD A FOUR BEDROOM HOME W/ 2-CAR GARGAE ON EMPTY LOT & RETAINING WALL AROUND THE PROPOSED HOME.

THESE PLANS SHALL COMPLY WITH THE THE 2022 CALIFORNIA BUILDING CODE, PROJECT SHALL COMPLY WITH THE FOLLOWING CODES: 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA GREEN BUILDING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE AND ALL APPLICABLE CITY OF LA MESA CODES AND ORDINANCES.



VICINITY MAP
NO SCALE

Table with columns REVISIONS and BY, currently empty.

JOHNSON RESIDENCE
GATESIDE RD. A.P.N.: 499-030-49-00
LA MESA, CA. 91941

CITY STAMPS:

Table with project details: DATE 11-07-2024, SCALE, DRAWN, PROJECT, SHEET T1 OF SHEETS

STORM WATER QUALITY NOTES
CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, LA MESA MUNICIPAL STORM WATER PERMIT, THE CITY OF LA MESA LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF LA MESA 'STORM WATER STANDARDS MANUAL' MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING / IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND / OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION BMP'S.
- THE CONTRACTOR SHALL INSTALL & MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS & REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMP'S SHALL BE INSTALLED & PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING & GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION & SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB CONTRACTORS & SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S & IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP / WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, & / OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT DEBRIS, AND MUD ON AFFECTED & ADJACENT STREET(S) & WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES / EQUIPMENT & CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY'S.
- THE CONTRACTOR SHALL PROTECT NEW & EXISTING STORM WATER CONVEYANCE SYSTEM FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS & DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER & AS INDICATED IN THE SWPPP / WPCP.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, & MUD FROM ALL DITCHES & SWALES PRIOR TO & WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY & REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY, AND ALL WASTE MATERIAL, SEDIMENT, & DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM & PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT & WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE & MAINTAIN ALL EROSION & SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER & SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE & SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION & SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP / WPCP SHALL BE INSTALLED & MAINTAINED. ALL EROSION & SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED & INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OR WORK OWNER / DEVELOPER, & THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION & SEDIMENT CONTROL MEASURES & OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS & MAINTAIN ALL BMP'S DAILY & AS NEEDED. VISUAL INSPECTIONS & MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING, & AFTER EVERY RAIN EVENT & EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN & REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE & EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE & EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT & OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES & TRAVELED WAYS. WIDTH SHALL BE 10'± OR MINIMUM NECESSARY TO ACCOMMODATE VEHICLES & EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3' STORM WATER MANAGEMENT & DISCHARGE CONTROL.

JOHNSON RESIDENCE

GATESIDE RD. A.P.N. 499-030-00
LA MESA, CA. 91941

MATERIALS:

FENCES: WOOD-CEDAR
RETAINING WALLS: - CMU BLOCK & GROUT/ MORTAR
- REINFORCING STEEL

EARTHWORK QUANTITIES:

a. TOTAL DISTURBANCE AREA: 1,439 SQ. FT.
b. EXISTING AMOUNT OF IMPERVIOUS AREA: 0 SQ. FT.
c. PROPOSED AMOUNT OF IMPERVIOUS AREA: 2,292 SQ. FT.
d. TOTAL IMPERVIOUS AREA: 2,292 SQ. FT.
e. IMPERVIOUS % INCREASE: 100%
NOTE: IMPERVIOUS AREA SHALL INCLUDE: ROOF, SIDEWALK PARKING AREA, WALKWAYS, POOLS, POOL DECKS, ETC.

EARTHWORK QUANTITIES:

CUT QUANTITIES: 1150 CYD
FILL QUANTITIES: 0 CYD
IMPORT/EXPORT: 0 CYD
MAX. CUT DEPTH: 0 FT.
MAX. FILL DEPTH: 0 FT.

THE PROJECT PROPOSES TO EXPORT 1150 CUT YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL, ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

MECHANICAL NOTES:

- EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFTS DAMPERS
- ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3'-0" FROM A PROPERTY LINE AND 3'-0" FROM OPENINGS INTO THE BUILDING

TITLE 24 NOTES:

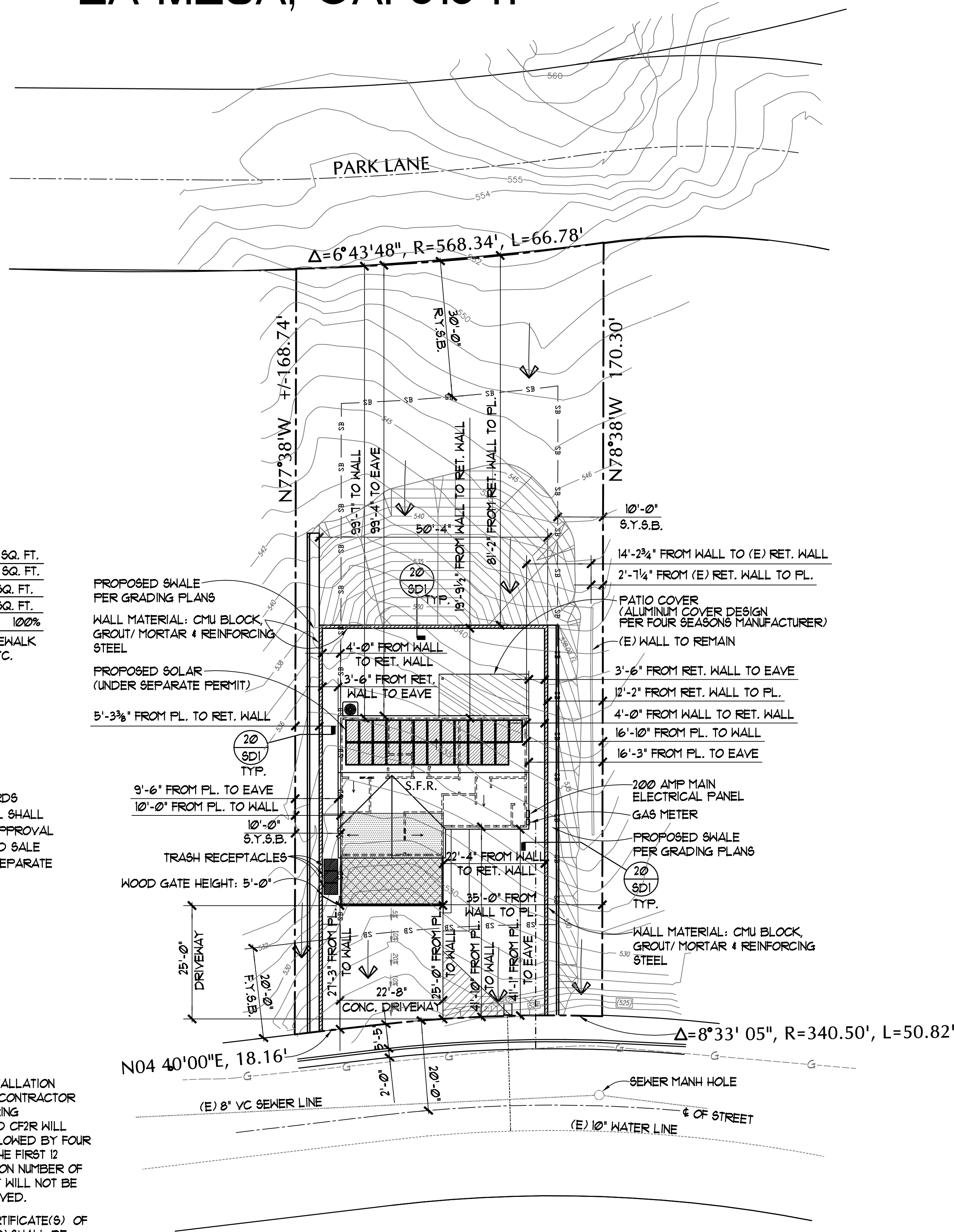
- AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CFIR. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.
- AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

LEGEND

- INDICATES NEW WALLS
- INDICATES SET BACKS
- INDICATES PROPERTY LINE
- INDICATES STREET CENTER LINE
- DRAINAGE ARROWS
- INDICATES LOW ROOF
- INDICATES DECK
- INDICATES (E) GAS LINE
- INDICATES (N) GAS LINE
- INDICATES (E) 10" WATER LINE
- INDICATES (E) 8" VC SEWER MAIN LINE
- INDICATES (N) SEWER 6" LATERAL @ 2%
- INDICATES (N) WATER LINE
- INDICATES (N) CMU RETAINING WALL
- INDICATES FUTURE SOLAR PANELS UNDER SEPARATE PERMIT (SEE SHEET A2)
- INDICATES 2-CAR GARAGE AREA

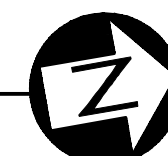
NOTES:

- CONTRACTOR TO HAUL ALL DAMAGED OR UNUSABLE MATERIAL TO THE CITY/ COUNTY APPROVED LOCATIONS.
- NO WORK PROPOSED IN THE PUBLIC RIGHT OF WAY AS PART OF THIS BUILDING PERMIT APPLICATION.
- NO PART OF STRUCTURES, RETAINING WALLS AND FOOTINGS SHALL ENCRUCH INTO ADJACENT PROPERTIES, EASEMENTS OR PUBLIC RIGHT- OF- WAY.
- IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO LOCATE PROPERTY LINES AND CONFORM TO SET BACK REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO THE CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S, WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET. A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET.
- ALL STOCKPILES OF SOIL AND OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS, WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/ SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACHES ITS EFFECTIVENESS
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
- ALL EXISTING DRAINAGE INLETS TO BE PROTECTED DURING CONSTRUCTION, AND MEANS OF PROTECTION TO BE VISIBLE DURING INSPECTIONS.
- MECHANICAL EQUIPMENT, IF INSTALLED, MUST OBSERVE MINIMUM BUILDING SETBACKS AND MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND FROM THE STREET.
- PLAN CHANGES REQUIRE PRIOR APPROVAL OF THE COMMUNITY DEVELOPMENT DEPARTMENT. PROPOSED PLAN CHANGES SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.
- ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2022 CGBC.
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM) AT 80 PSI.
- PROVIDE WATER CLOSET WITH A MAXIMUM FLOW OF 1.28 GALLONS FLUSH (GPF).
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
- PER 2022 CGBC, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTING (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC)
- PER 2022 GREEN CODE, MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE WITH THE FOLLOWING:
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT



SITE PLAN

SCALE: 1" = 15'-0"



REVISIONS	BY

JOHNSON RESIDENCE
GATESIDE RD. A.P.N.: 499-030-49-00
LA MESA, CA. 91941

CITY STAMPS:

DATE	11-07-2024
SCALE	
DRAWN	
PROJECT	
SHEET	A01
OF SHEETS	

DOOR SCHEDULE					
MARK	SIZE	OPERATION TYPE	AREA (ft ²)	U-FACTOR	SHGC
D1	18'-0" x 7'-0"	GARAGE	126	0.40	0.22
D2	3'-0" x 8'-0"	SHING CENTER SLIDER	24	0.40	0.22
D3	12'-0" x 8'-0"	SHING SLIDER	96	0.28	0.23
D4	2'-8" x 6'-8"	SELF LATCHING & SELF CLOSING	17.8	0.40	0.22
D5	2'-8" x 6'-8"	1-HR FIRE RATED & SELF CLOSING	17.8	0.40	0.22
D6	12'-0" x 6'-8"	SHING/ LOUVRED	80	0.28	0.23
D7	2'-0" x 6'-8"	SHING/ LOUVRED	13.3	0.28	0.23

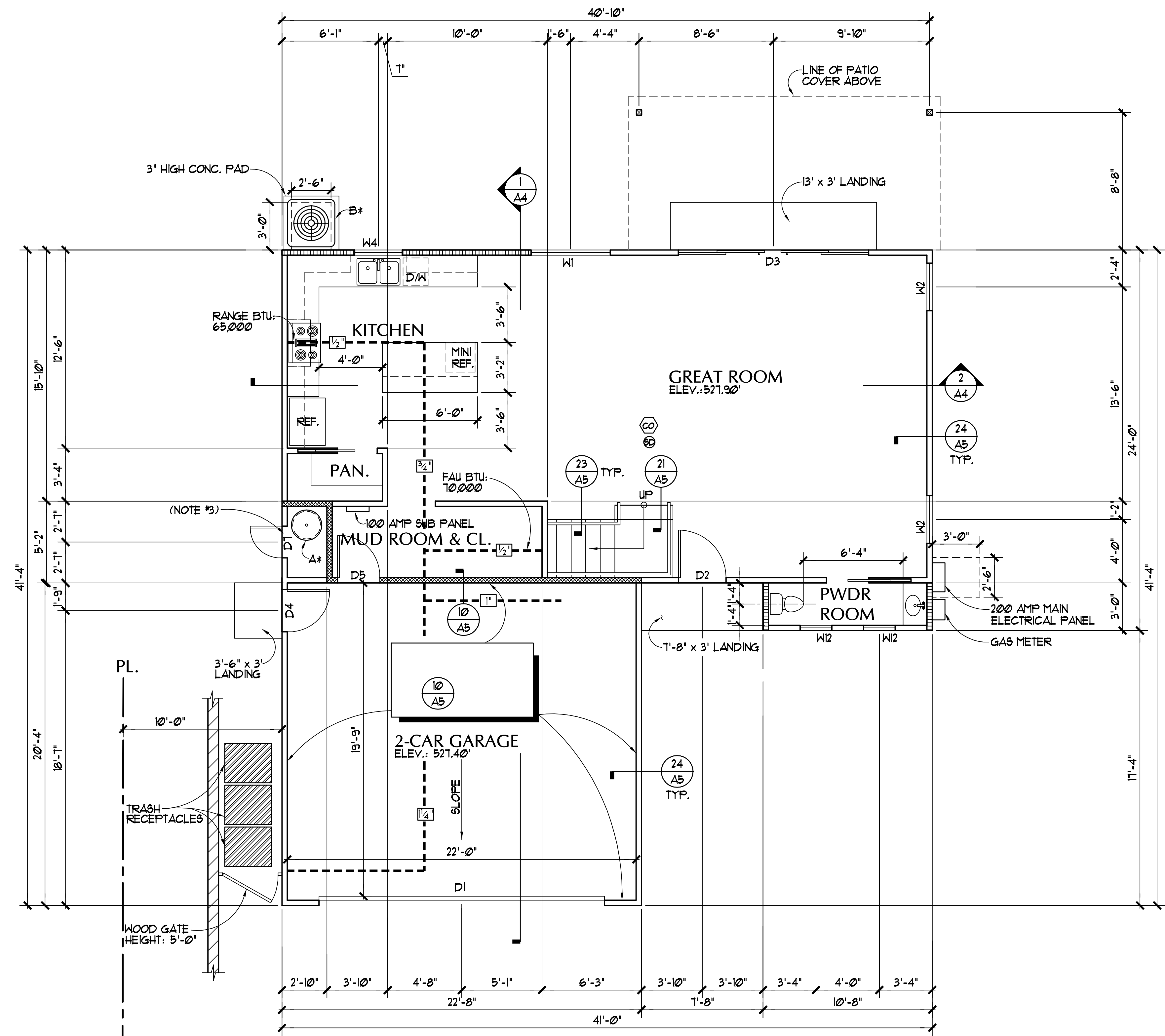
WINDOW SCHEDULE					
MARK	SIZE	OPERATION TYPE	AREA (ft ²)	U-FACTOR	SHGC
W1	5'-0" x 5'-0"	SLIDER	25	0.29	0.23
W2	3'-0" x 5'-0"	FIXED	15	0.22	0.23
W3	4'-0" x 4'-0"	SLIDER	16	0.29	0.23
W4	3'-0" x 4'-6"	SLIDING	13.5	0.29	0.23
W5	4'-0" x 1'-0"	SLIDING	4	0.29	0.23
W6	2'-0" x 4'-0"	SINGLE HUNG	8	0.29	0.23
W7	2'-6" x 4'-0"	SINGLE HUNG	10	0.29	0.23
W8	2'-0" x 3'-0"	SINGLE HUNG	6	0.29	0.23
W9	5'-0" x 4'-0"	SLIDER	20	0.29	0.23
W10	2'-0" x 1'-0"	FIXED	2	0.22	0.23
W11	4'-0" x 1'-0"	FIXED	4	0.22	0.23
W12	2'-0" x 2'-0"	FIXED	4	0.22	0.23

LEGEND

- 1. INDICATES 2 x 4 @ 16" STUD WALLS
- 2. INDICATES 2 x 6 @ 16" STUD WALLS
- 3. INDICATES DECK AREA
- 4. INDICATES 1 HR FIRE RATED WALL PER $\frac{10}{A5}$
- 5. INDICATES CARBON MONOXIDE DETECTORS TO BE PERMANENTLY WIRED WITH BATTERY BACKUP POWER (HARD WIRE) IN A CENTRAL LOCATION AT THE NEW FLOOR. CONTRACTOR TO PROVIDE SMOKE DETECTORS IN ALL PROPOSED HALLWAYS OR AREAS LEADING TO EACH SLEEPING ROOM (INSTALLATION OF CARBON MONOXIDE DETECTORS SHALL COMPLY WITH CRC SEC. R314, PER 2022 CRC)
- 6. INDICATES SMOKE DETECTORS TO BE PERMANENTLY WIRED WITH BATTERY BACKUP POWER (HARD WIRE) IN A CENTRAL LOCATION AT THE NEW FLOOR. CONTRACTOR TO PROVIDE SMOKE DETECTORS IN ALL EXISTING & PROPOSED SLEEPING ROOMS & HALLWAYS OR AREAS LEADING TO EACH SLEEPING ROOM (INSTALLATION OF SMOKE DETECTORS SHALL COMPLY WITH CRC SEC. R314, PER 2022 CRC)
- 7. A# RHEEM PERFORMANCE PLATINUM & HYBRID ELECTRIC HEATPUMP HIGH EFFICIENCY SMART TANK WATER HEATER MODEL # XE40T1045U0 40 GAL. (PROVIDE 2 SEISMIC STRAPS)
- 8. B# RHEEM CONDENSER MODEL # RA1448AJNA 14 SEER/ 12.5 EER 4 TON
- 9. C# RHEEM FURNACE MODEL # R96TA010231TM5A GAS FURNACE

NOTES:

- EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS
- INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE-HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F
- WATER HEATER SHALL BE STRAPPED TO THE BUILDING WITH AT LEAST TWO STRAPS TO PREVENT SEISMIC MOVEMENT, ONE STRAP WITHIN THE UPPER THIRD AND THE OTHER WITHIN THE LOWER THIRD OF THE WATER HEATER. THE LOWER STRAP SHALL NOT BE WITHIN 4" OF THE CONTROLS. CPC 501.2.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES AND FALL PREVENTION DEVICES COMPLYING WITH ASTM F2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING AND SHALL NOT BE MORE THAN 10 INCHES (10 CM) ABOVE THE FINISHED FLOOR. THE RELEASE MECHANISM SHALL BE MAINTAINED OPERABLE AT ALL TIMES R310.11.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. CRC R311.2.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. CRC R311.2.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	BY

JOHNSON RESIDENCE
 GATESIDE RD. A.P.N.: 499-030-49-00
 LA MESA, CA. 91941

CITY STAMPS:

DATE	11-07-2024
SCALE	
DRAWN	
PROJECT	
SHEET	A1
OF	SHEETS

DOOR SCHEDULE					
MARK	SIZE	OPERATION TYPE	AREA (ft ²)	U-FACTOR	SHGC
D1	18'-0" x 7'-0"	GARAGE	126	0.40	0.22
D2	3'-0" x 8'-0"	SWING	24	0.40	0.22
D3	12'-0" x 8'-0"	CENTER SLIDER	96	0.28	0.23
D4	2'-8" x 6'-8"	SELF LATCHING & SELF CLOSING	17.8	0.40	0.22
D5	2'-8" x 6'-8"	1-HR FIRE RATED & SELF CLOSING	17.8	0.40	0.22
D6	12'-0" x 6'-8"	SLIDER	80	0.28	0.23
D7	2'-0" x 6'-8"	SWING/LOUVRED	13.3	0.28	0.23

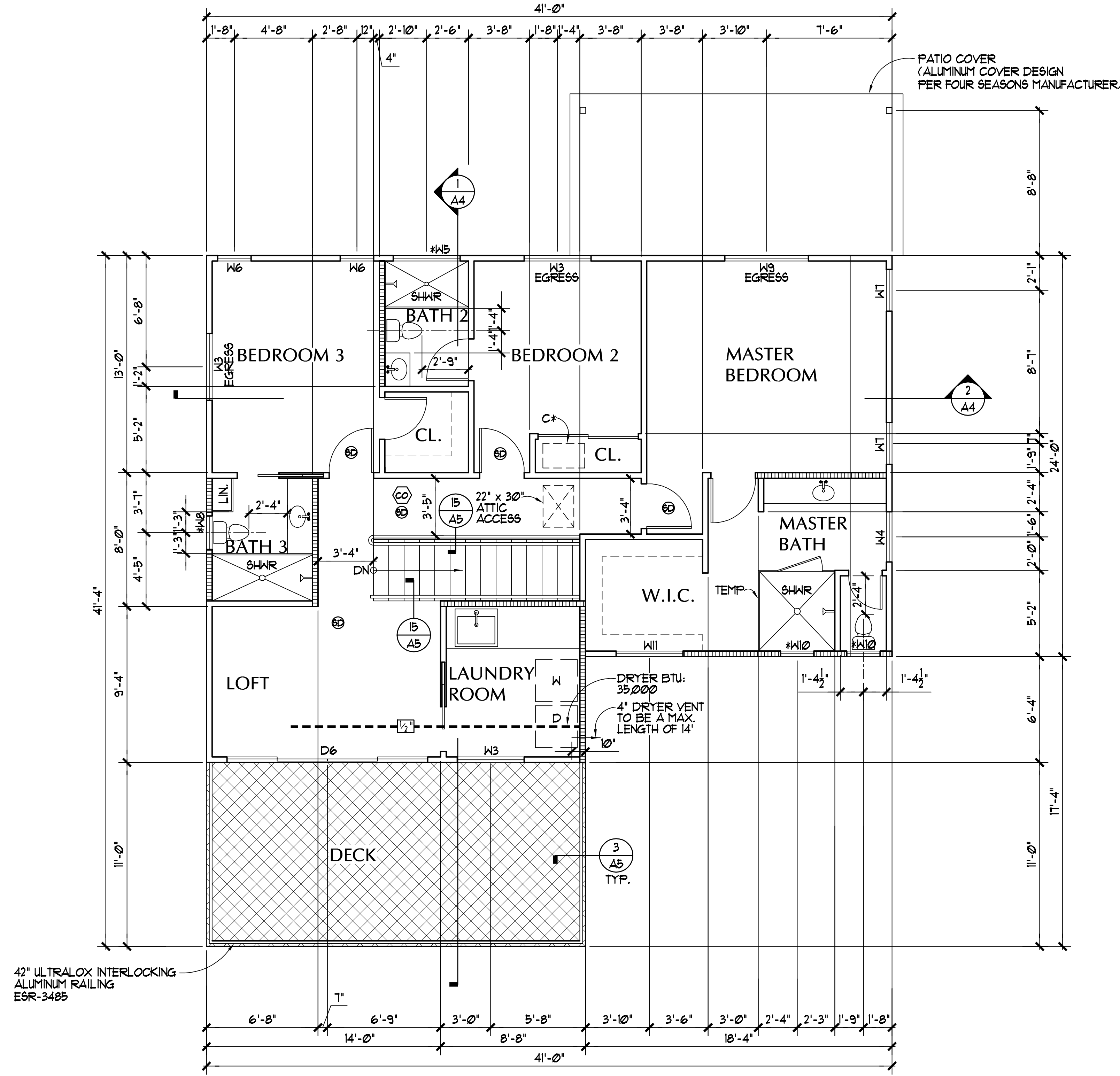
WINDOW SCHEDULE					
MARK	SIZE	OPERATION TYPE	AREA (ft ²)	U-FACTOR	SHGC
W1	5'-0" x 5'-0"	SLIDER	25	0.29	0.23
W2	3'-0" x 5'-0"	FIXED	15	0.22	0.23
W3	4'-0" x 4'-0"	SLIDER	16	0.29	0.23
W4	3'-0" x 4'-6"	SLIDER	13.5	0.29	0.23
W5	4'-0" x 1'-0"	SLIDING	4	0.29	0.23
W6	2'-0" x 4'-0"	SINGLE HUNG	8	0.29	0.23
W7	2'-6" x 4'-0"	SINGLE HUNG	10	0.29	0.23
W8	2'-0" x 3'-0"	SINGLE HUNG	6	0.29	0.23
W9	5'-0" x 4'-0"	SLIDER	20	0.29	0.23
W10	2'-0" x 1'-0"	FIXED	2	0.22	0.23
W11	4'-0" x 1'-0"	FIXED	4	0.22	0.23
W12	2'-0" x 2'-0"	FIXED	4	0.22	0.23

LEGEND

- 1. [Symbol] INDICATES 2 x 4 @ 16" STUD WALLS
- 2. [Symbol] INDICATES 2 x 6 @ 16" STUD WALLS
- 3. [Symbol] INDICATES DECK AREA
- 4. [Symbol] INDICATES 1 HR FIRE RATED WALL PER [Symbol]
- 5. [Symbol] INDICATES CARBON MONOXIDE DETECTORS TO BE PERMANENTLY WIRED WITH BATTERY BACKUP POWER (HARD WIRE) IN A CENTRAL LOCATION AT THE NEW FLOOR. CONTRACTOR TO PROVIDE SMOKE DETECTORS IN ALL PROPOSED HALLWAYS OR AREAS LEADING TO EACH SLEEPING ROOM (INSTALLATION OF CARBON MONOXIDE DETECTORS SHALL COMPLY WITH CRC SEC. R314, PER 2022 CRC)
- 6. [Symbol] INDICATES SMOKE DETECTORS TO BE PERMANENTLY WIRED WITH BATTERY BACKUP POWER (HARD WIRE) IN A CENTRAL LOCATION AT THE NEW FLOOR. CONTRACTOR TO PROVIDE SMOKE DETECTORS IN ALL EXISTING & PROPOSED SLEEPING ROOMS & HALLWAYS OR AREAS LEADING TO EACH SLEEPING ROOM (INSTALLATION OF SMOKE DETECTORS SHALL COMPLY WITH CRC SEC. R314, PER 2022 CRC)
- 7. A# RHEEM PERFORMANCE PLATINUM & HYBRID ELECTRIC HEATPUMP HIGH EFFICIENCY SMART TANK WATER HEATER MODEL #XE40T1045J0 40 GAL. (PROVIDE 2 SEISMIC STRAPS)
- 8. B# RHEEM CONDENSER MODEL # RA1448AJNA 14 SEER/ 12.5 EER 4 TON
- 9. C# RHEEM FURNACE MODEL #R96TA010231T1M5A GAS FURNACE
- 10. * INDICATES WINDOWS TO BE TEMPERED

NOTES:

1. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS
2. INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE-HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F
3. WATER HEATER SHALL BE STRAPPED TO THE BUILDING WITH AT LEAST TWO STRAPS TO PREVENT SEISMIC MOVEMENT, ONE STRAP WITHIN THE UPPER THIRD AND THE OTHER WITHIN THE LOWER THIRD OF THE WATER HEATER. THE LOWER STRAP SHALL NOT BE WITHIN 4" OF THE CONTROLS. CPC 501.2.
4. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES AND FALL PREVENTION DEVICES COMPLYING WITH ASTM F2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING AND SHALL NOT BE MORE THAN 10 INCHES (25 CM) ABOVE THE FINISHED FLOOR. THE RELEASE MECHANISM SHALL BE MAINTAINED OPERABLE AT ALL TIMES R310.1.1.
5. SHOWER ENCLOSURE IN THE MASTER BATH SHALL BE TEMPERED CRC R308.4.5.



SECOND FLOOR PLAN

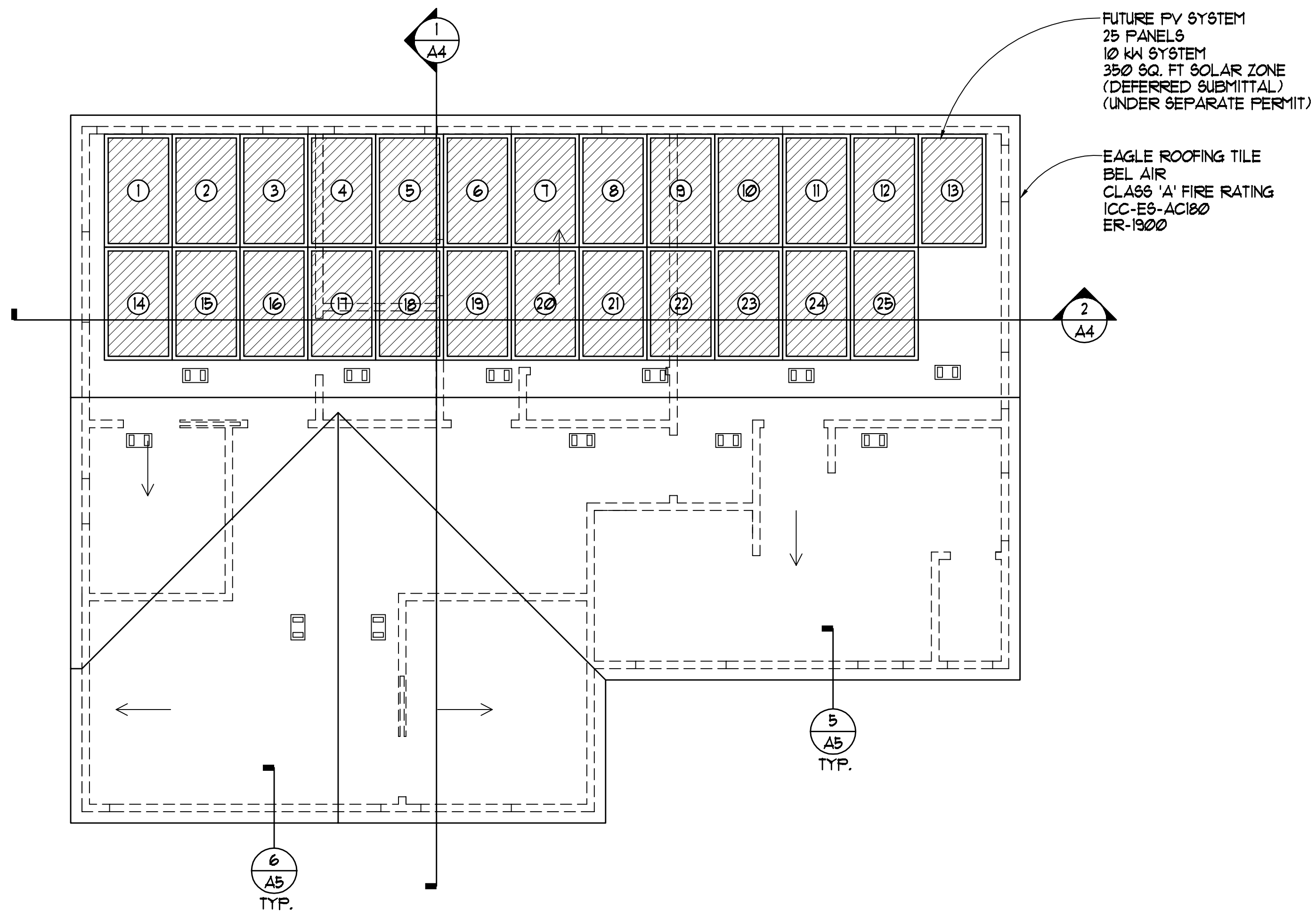
SCALE: 1/4" = 1'-0"

REVISIONS	BY

JOHNSON RESIDENCE
 GATESIDE RD. A.P.N.: 499-030-49-00
 LA MESA, CA. 91941

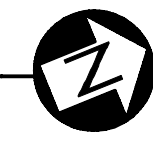
CITY STAMPS:

DATE	11-07-2024
SCALE	
DRAWN	
PROJECT	
SHEET	A2
OF	SHEETS



ROOF PLAN

SCALE: 1/4" = 1'-0"



LEGEND

- 1. - - - - - INDICATES WALLS BELOW
- 2. ○ INDICATES NUMBER OF SOLAR PANELS
- 3. □ INDICATES ROOF VENTS

ROOF VENTILATION CALCS.

AREA TO BE VENTILATED = 1,128 S.F.
 $1,128/150 = 7.52 \approx 8$ SQ. FT. OF NFA (NET FREE AREA OF VENT.)
 8 SQ. FT. x 144 = 1,152 SQ. INCH. OF NFA NEEDED

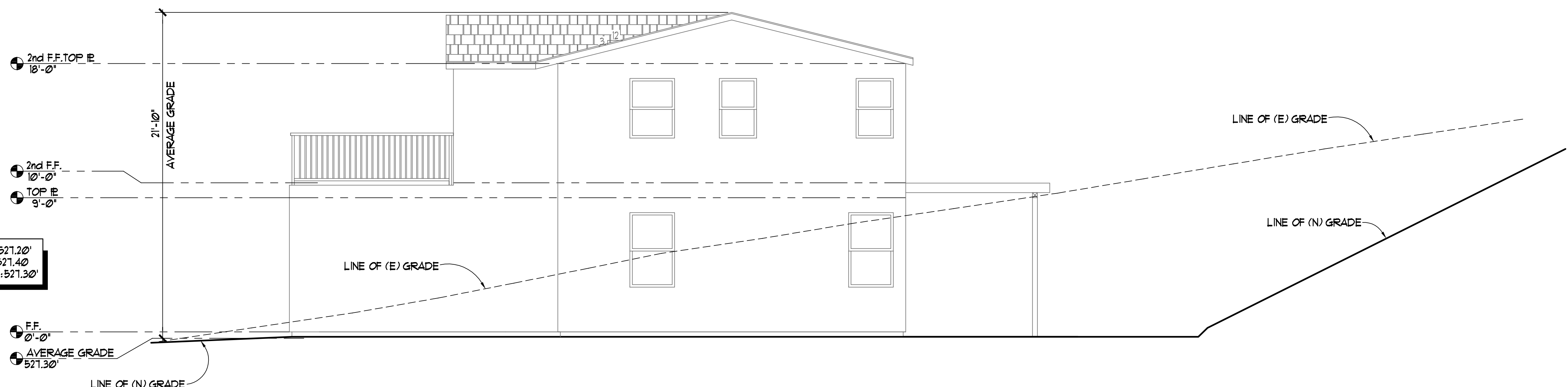
O'HAGIN CONCRETE TILE ROOF VENT:
 26 GAUGE, G-90 GALV. STEEL.
 LOW PROFILE CONCRETE TILE ROOF VENT WITH 2" FLANGE AND
 1/4" GALVANIZED WIRE MESH.
 (VENT MEETS ICC REQUIREMENTS)
 ICC-ES-9650A
 NET-FREE AREA (SQ. INCH.) = 98.75

1,152 SQ. IN. VENT REQUIRED.

ROOF VENT = 98.75 SQ. IN. x 12 = 1,185 SQ. IN.

PROVIDED = 1,185 > 1,152 SQ. IN.

SEE ROOF PLAN FOR VENT LOCATIONS.



NORTH ELEVATION W/ AVERAGE GRADE

SCALE: 1/4" = 1'-0"

REVISIONS BY

JOHNSON RESIDENCE
 GATESIDE RD. A.P.N.: 499-030-49-00
 LA MESA, CA. 91941

CITY STAMPS:

DATE 11-07-2024

SCALE

DRAWN

PROJECT

SHEET

A3

OF SHEETS

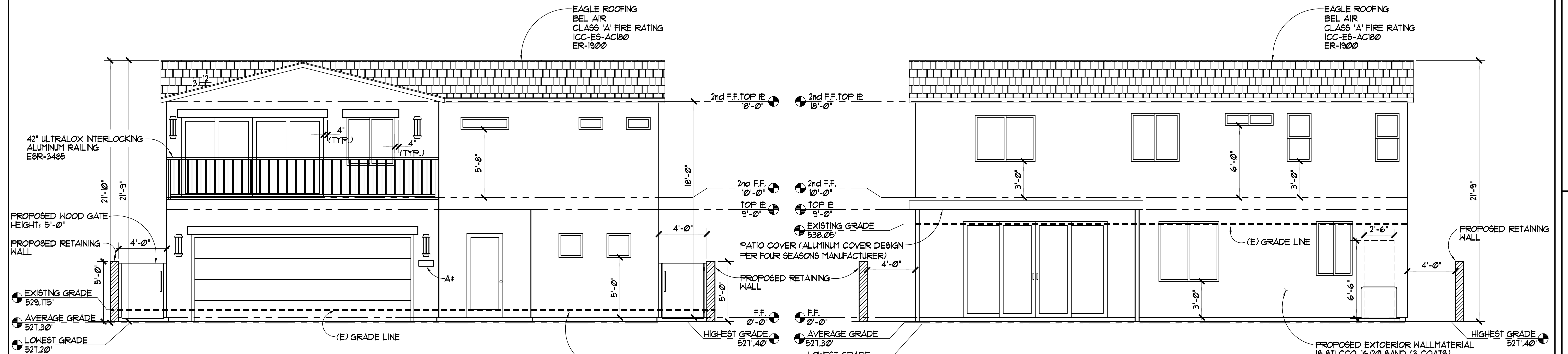
REVISIONS	BY

NOTES:

- CONTRACTOR TO HAULL ALL DAMAGED OR UNUSABLE MATERIAL TO THE CITY/ COUNTY APPROVED LOCATIONS.
- INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE-HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F

LEGEND

- INDICATES EXTERIOR WALLS
- A* INDICATES LOCATION OF ADDRESS.
NOTE: THE NUMBERS WILL BE A MINIMUM OF 4 INCHES IN HEIGHT WITH A 1/2 INCH STROKE, CONTRAST WITH THEIR BACKGROUND, AND BE VISIBLE FROM THE STREET.



EAST ELEVATION

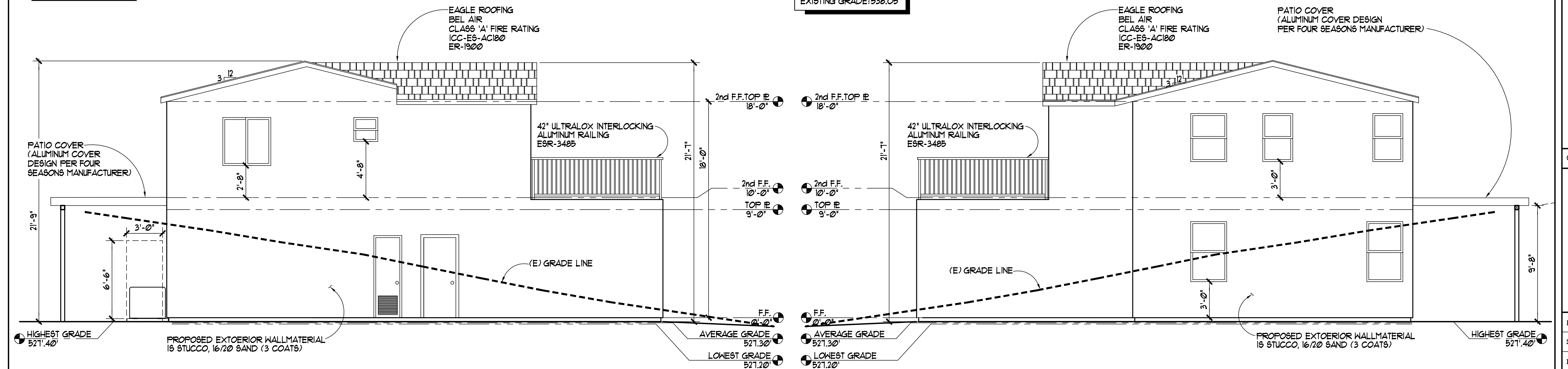
SCALE: 1/4" = 1'-0"

LOWEST GRADE: 521.20'
HIGHEST GRADE: 521.40'
AVERAGE GRADE: 521.30'
NEW GRADE: 521.40'
EXISTING GRADE: 529.115'

WEST ELEVATION

SCALE: 1/4" = 1'-0"

LOWEST GRADE: 521.20'
HIGHEST GRADE: 521.40'
AVERAGE GRADE: 521.30'
NEW GRADE: 521.40'
EXISTING GRADE: 538.05'



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

LOWEST GRADE: 521.20'
HIGHEST GRADE: 521.40'
AVERAGE GRADE: 521.30'
NEW GRADE: 521.40'
EXISTING GRADE: 538.05'

LOWEST GRADE: 521.20'
HIGHEST GRADE: 521.40'
AVERAGE GRADE: 521.30'
NEW GRADE: 521.40'
EXISTING GRADE: 529.115'

LOWEST GRADE: 521.20'
HIGHEST GRADE: 521.40'
AVERAGE GRADE: 521.30'
NEW GRADE: 521.40'
EXISTING GRADE: 529.115'

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

LOWEST GRADE: 521.20'
HIGHEST GRADE: 521.40'
AVERAGE GRADE: 521.30'
NEW GRADE: 521.40'
EXISTING GRADE: 538.05'

JOHNSON RESIDENCE
GATESIDE RD. A.P.N.: 499-030-49-00
LA MESA, CA. 91941

CITY STAMPS:

DATE 11-07-2024

SCALE

DRAWN

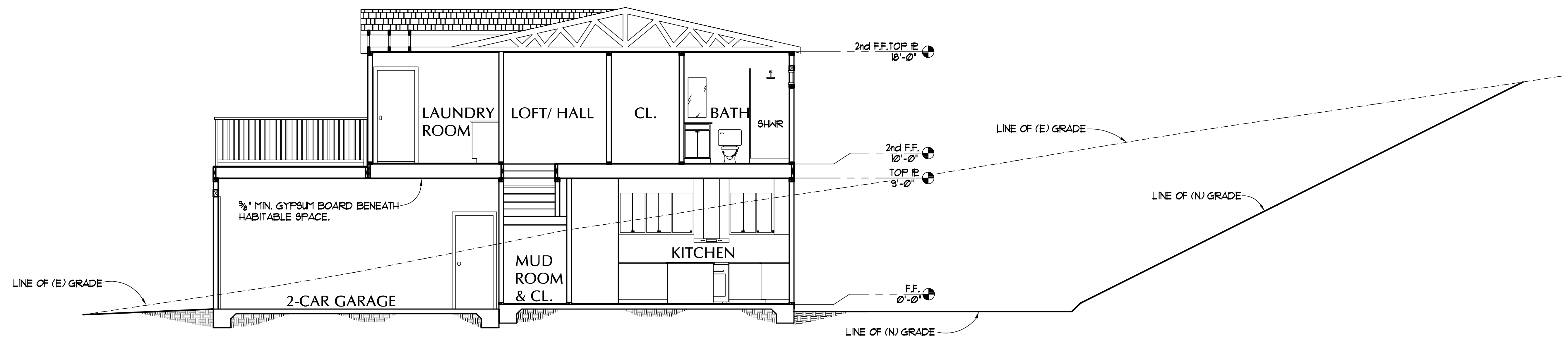
PROJECT

SHEET

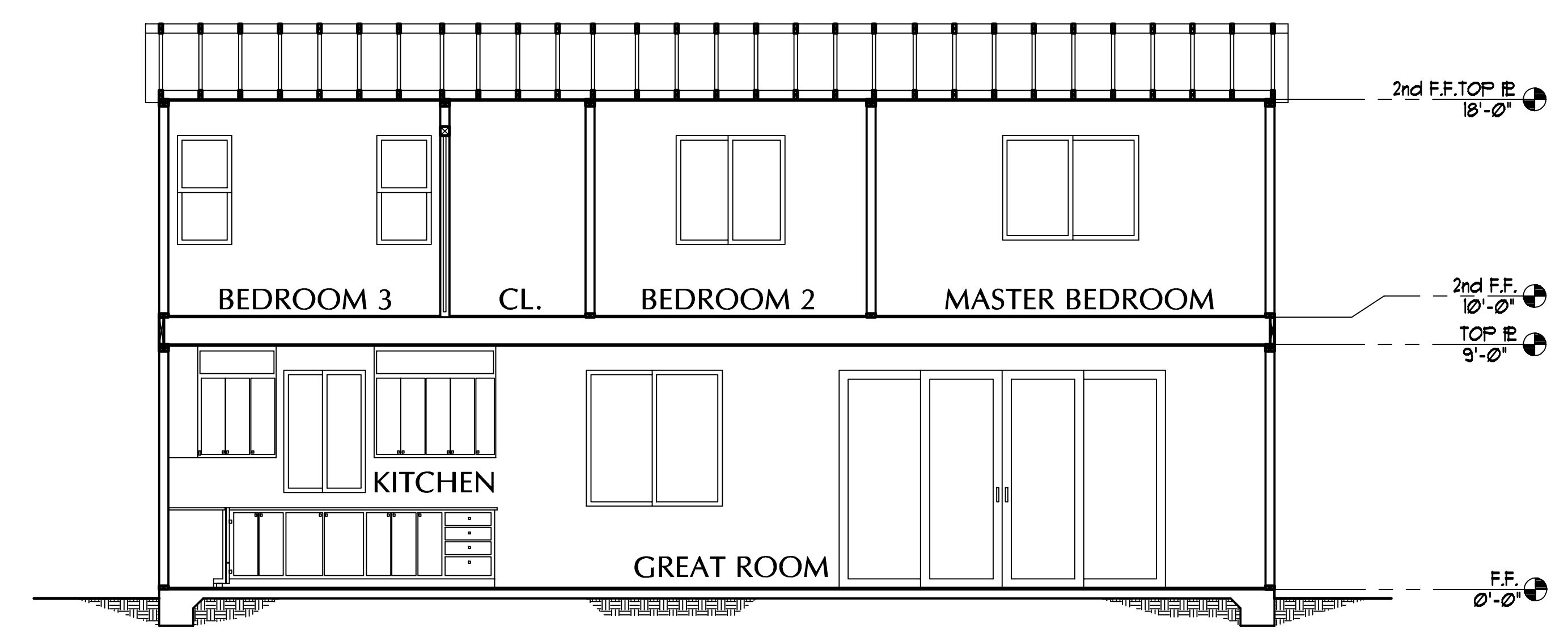
A4

OF SHEETS

REVISIONS	BY



SECTION 1
SCALE: 1/4" = 1'-0"



SECTION 2
SCALE: 1/4" = 1'-0"

JOHNSON RESIDENCE
GATESIDE RD. A.P.N.: 499-030-49-00
LA MESA, CA. 91941

CITY STAMPS:

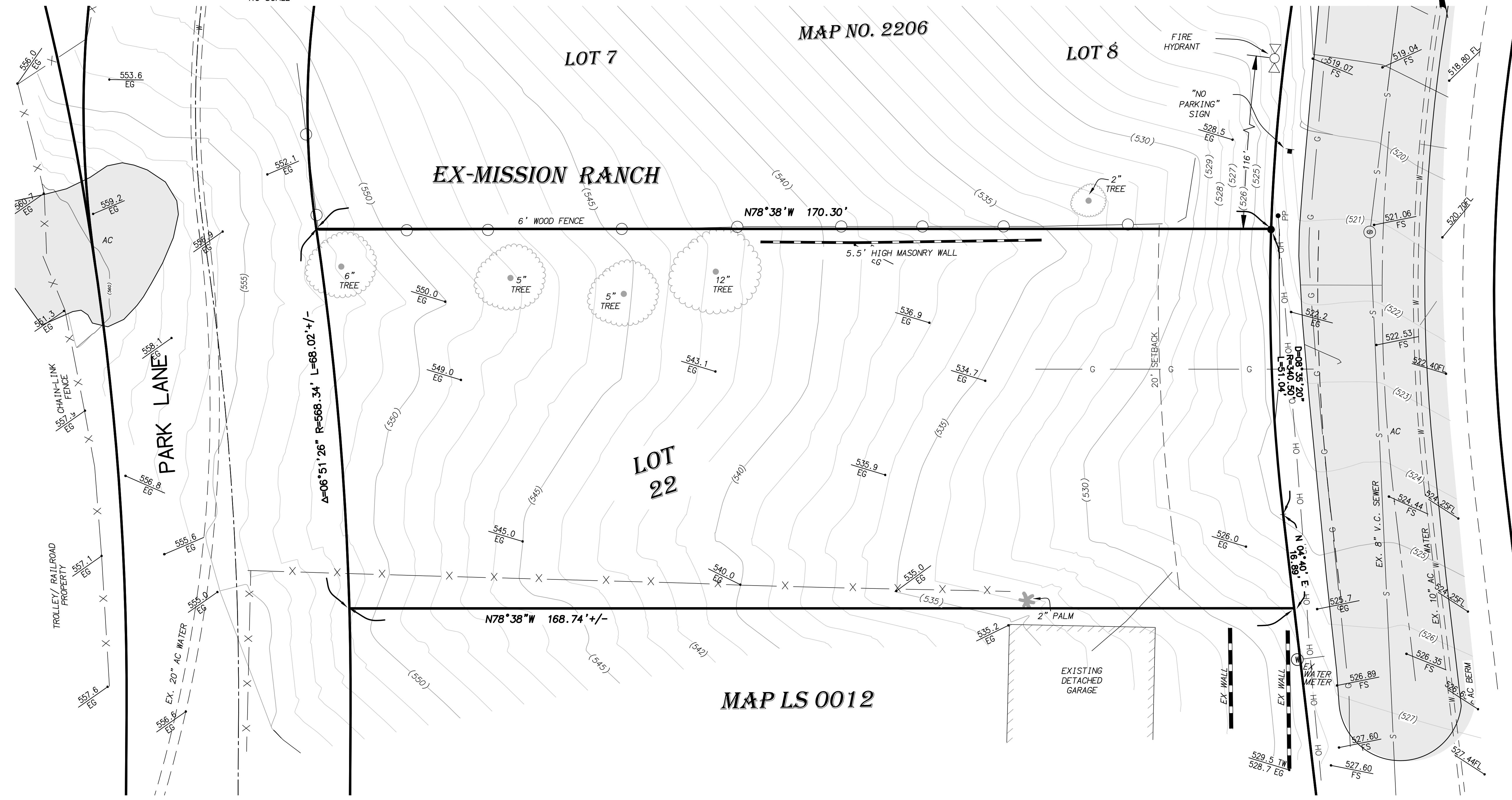
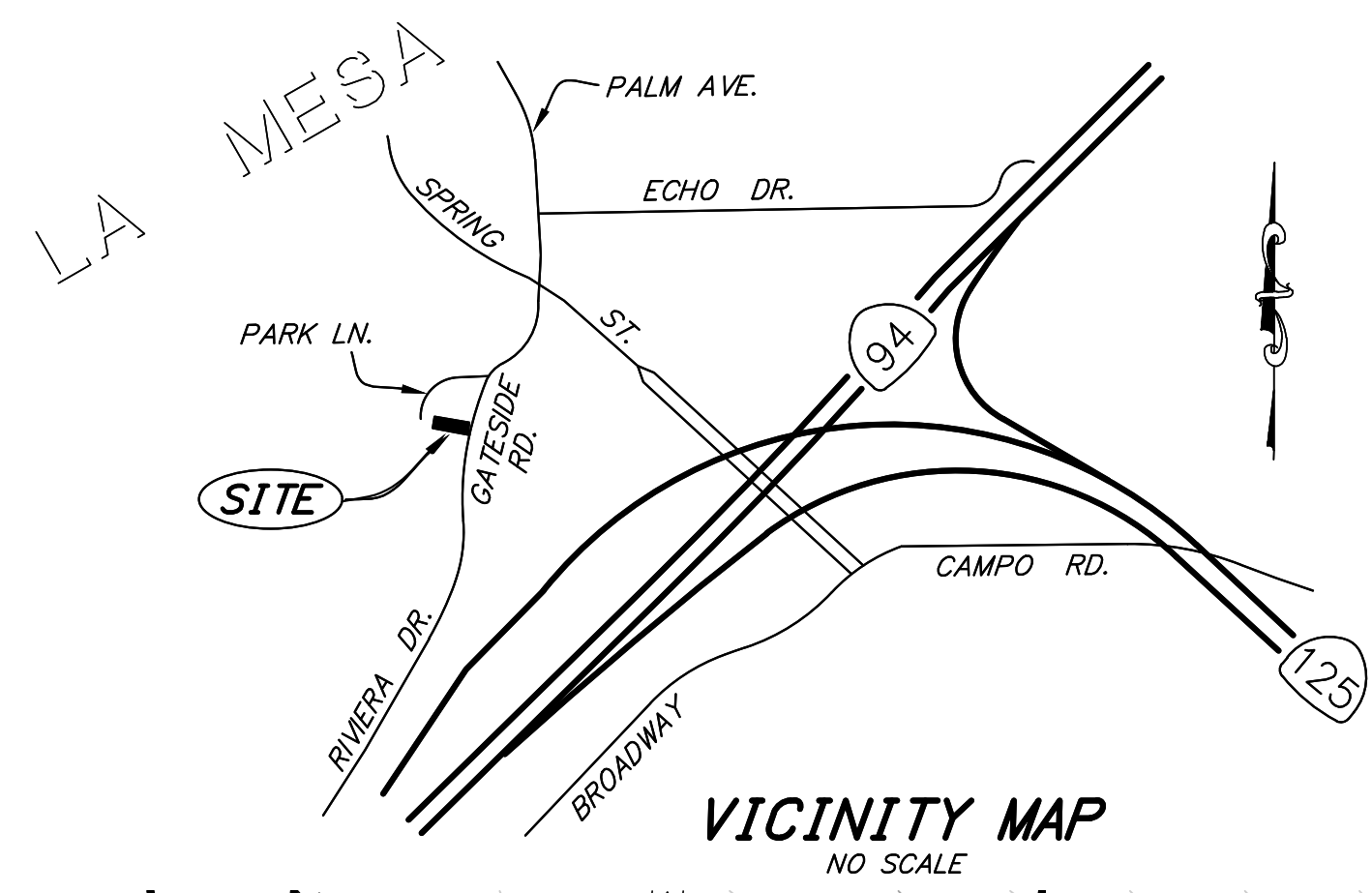
DATE	11-01-2024
SCALE	
DRAWN	
PROJECT	
SHEET	A5
OF	SHEETS

TOPOGRAPHIC SURVEY OF
GATESIDE ROAD
 LA MESA, CA 91941
 NOVEMBER 9, 2018

LEGEND

- 540 — CONTOUR ELEVATION
- FS FINISHED SURFACE
- EG EXISTING GRADE
- Ⓜ WM WATER METER
- Ⓢ SMH SEWER MANHOLE
- X — X — X — CHAINLINK FENCE
- ○ — ○ — ○ — WOOD FENCE
- ■ — MASONRY BLOCK WALL
- W — WATER LINE
- S — SEWER LINE
- OH — OH — EXISTING OVERHEAD ELECTRIC
- PP EXISTING POWER POLE
- FOUND 1/2" SQ. PIN MONUMENT PER MAP NO. 2206
- AC ASPHALT PAVING

SCALE 1" = 10'



PREPARED FOR:

JASON MANGAN
 330 CORALWOOD DRIVE
 SAN DIEGO, CA 92114

BENCH MARK:

BENCH MARK FOR THIS SURVEY IS A CITY OF LA MESA VERTICAL CONTROL MONUMENT #3069Y04, A 3-1/2" BRASS DISK IN THE SIDEWALK AT THE NORTHERLY SIDE OF SPRING STREET 65 FEET NORTHWEST OF THE NORTHERLY PCR OF SPRING STREET AND PALM AVE.
 ELEVATION: 489.832
 DATUM: NGVD 29

NOTES:

- SITE ADDRESS: GATESIDE ROAD, LA MESA, CA
- LEGAL DESCRIPTION: A PORTION OF LOT 22, EX-MISSION RANCHO IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO LICENSED SURVEYOR'S MAP NO. 12, FILED IN THE OFFICE OF THE COUNTY RECORDER, JUNE 13, 1892, AS DESCRIBED IN DEED RECORDED OCTOBER 29, 2014 AS DOC# 2014-0470043, O.R.
- ASSESSOR'S PARCEL NO. 499-030-49
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM AVAILABLE RECORD INFORMATION, SUPPLEMENTED BY FIELD OBSERVATION OF SURFACE FEATURES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
- THE RECORD PROPERTY LINE BEARINGS & DIMENSIONS SHOWN HEREON WERE TAKEN FROM SPRING VALLEY HIGHLANDS MAP NO. 2206
- LOT AREA: 11,377.6 SQ. FT. / 0.261 ACRES

[Signature] DECEMBER 10, 2018



KAPPA SURVEYING & ENGINEERING, INC.
 8402 N. MAGNOLIA AVE., SUITE C, SANTEE, CA 92071 (619) 465-8948 FAX: (619) 465-6410

PRIVATE CONTRACT



GRADING / IMPROVEMENT PLANS FOR:
GATESIDE ROAD GRADING
 499-030-49-00

CITY OF LA MESA, CALIFORNIA - PUBLIC WORKS/ENGINEERING DIVISION
 SHEET 3 OF X SHEETS

BENCHMARK DATA

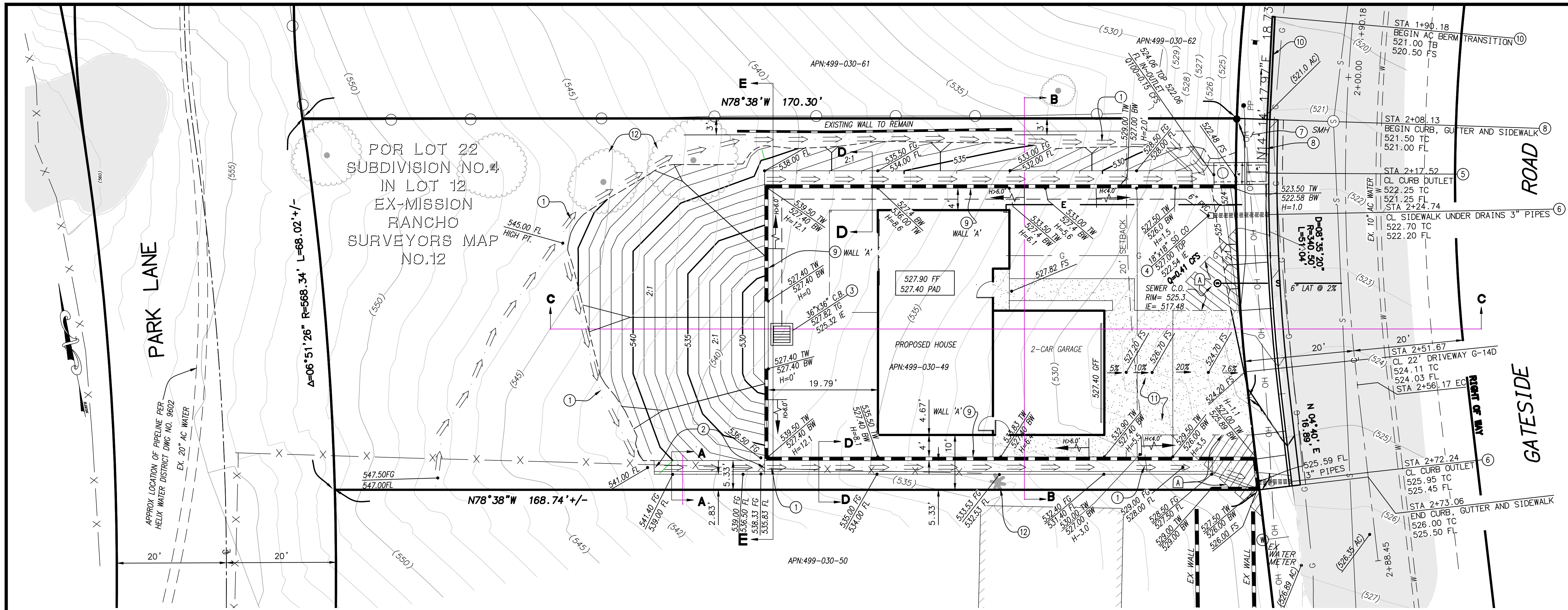
DESCRIPTION:	BM NO. 3069Y04 3-1/2" BRASS DISC SET
LOCATION:	NORTH SIDE OF SPRING STREET, 65' NW OF N'LY PCR SPRING ST AND PALM
RECORD FROM:	LA MESA VERTICAL CONTROL BOOK
ELEVATION:	489.832' DATUM: NGVD 29

RECORD DRAWING

BY:	GIS UPDATED:
REVIEWED BY:	RCE: _____ DATE: _____
REVIEWED BY:	BUILDING INSPECTOR DATE _____
REVIEWED BY:	PUBLIC WORKS INSPECTOR DATE _____
APPROVED:	CITY ENGINEER DATE _____

DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL				

THOMAS BROS. PG/GRID
 5
 CITY MAINTENANCE ZONE
9403.03
 DRAWING NUMBER

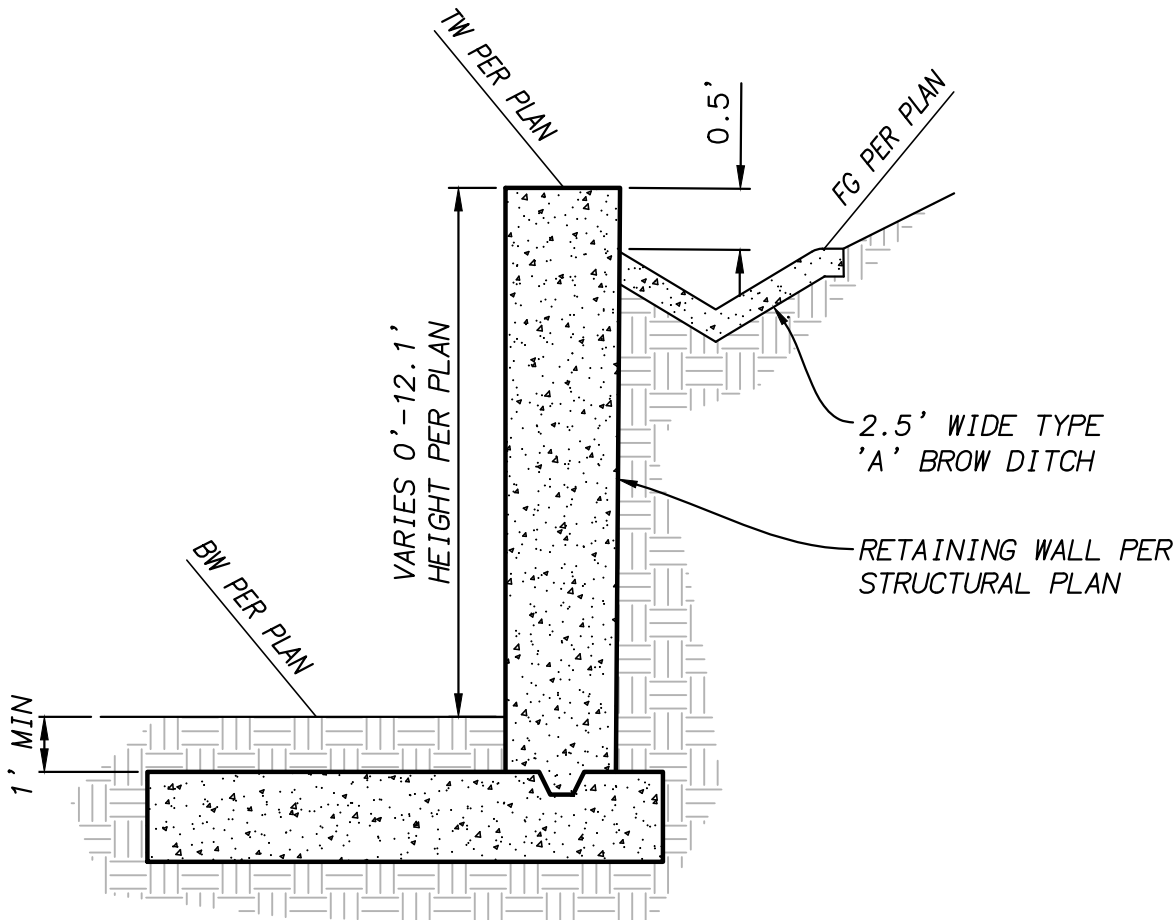


CONSTRUCTION KEY NOTES

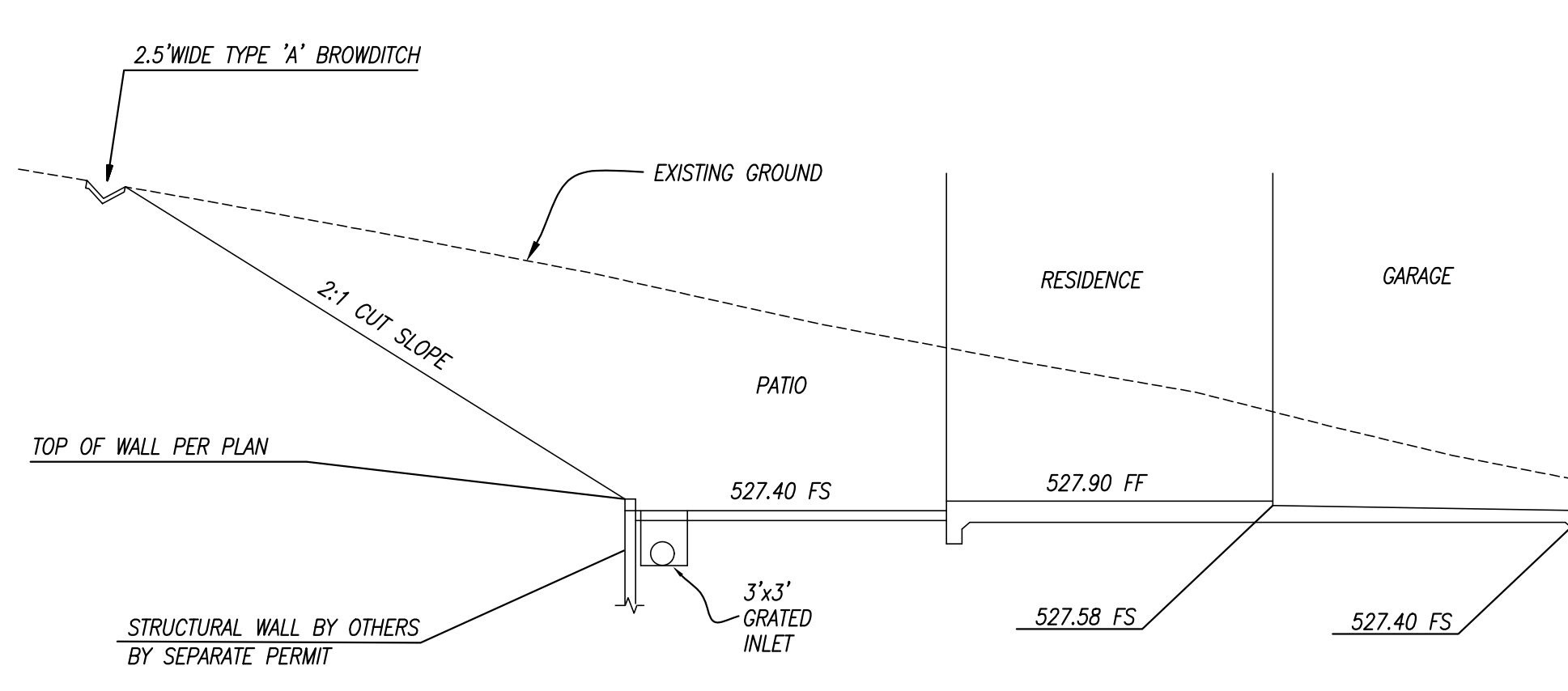
- ① CONSTRUCT BROW DITCH TYPE 'A' PER SDRSD D-75
- ② CONSTRUCT BROW DITCH TYPE 'B' PER SDRSD D-75
- ③ CONSTRUCT 36"x36" GRATED CATCH BASIN, 'BROOKS OR EQUAL'
- ④ CONSTRUCT 18"x18" STORM DRAIN CLEANOUT, 'NDS OR EQUAL'
- ⑤ CONSTRUCT CURB OUTLET PER SDRSD D-25A
- ⑥ CONSTRUCT (2) 3" PVC SIDEWALK UNDERAIN PER SDRSD D-27
- ⑦ CONSTRUCT PUBLIC SIDEWALK PER SDRSD G-7
- ⑧ CONSTRUCT PUBLIC MONOLITHIC CURB AND GUTTER PER SDRSD G-2
- ⑨ RETAINING WALL 'A' BY SEPARATE PERMIT.
- ⑩ AC BERM PER SDRSD G-5
- ⑪ PCC DRIVEWAY STRUCTURAL SECTION PER GEOTECHNICAL RECOMMENDATIONS. PROVIDE A DEEP BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.
- ⑫ EXISTING TREE TO BE REMOVED PER LANDSCAPE PLAN.

15'x15' SIGHT DISTANCE VISIBILITY TRIANGLE NOTE:

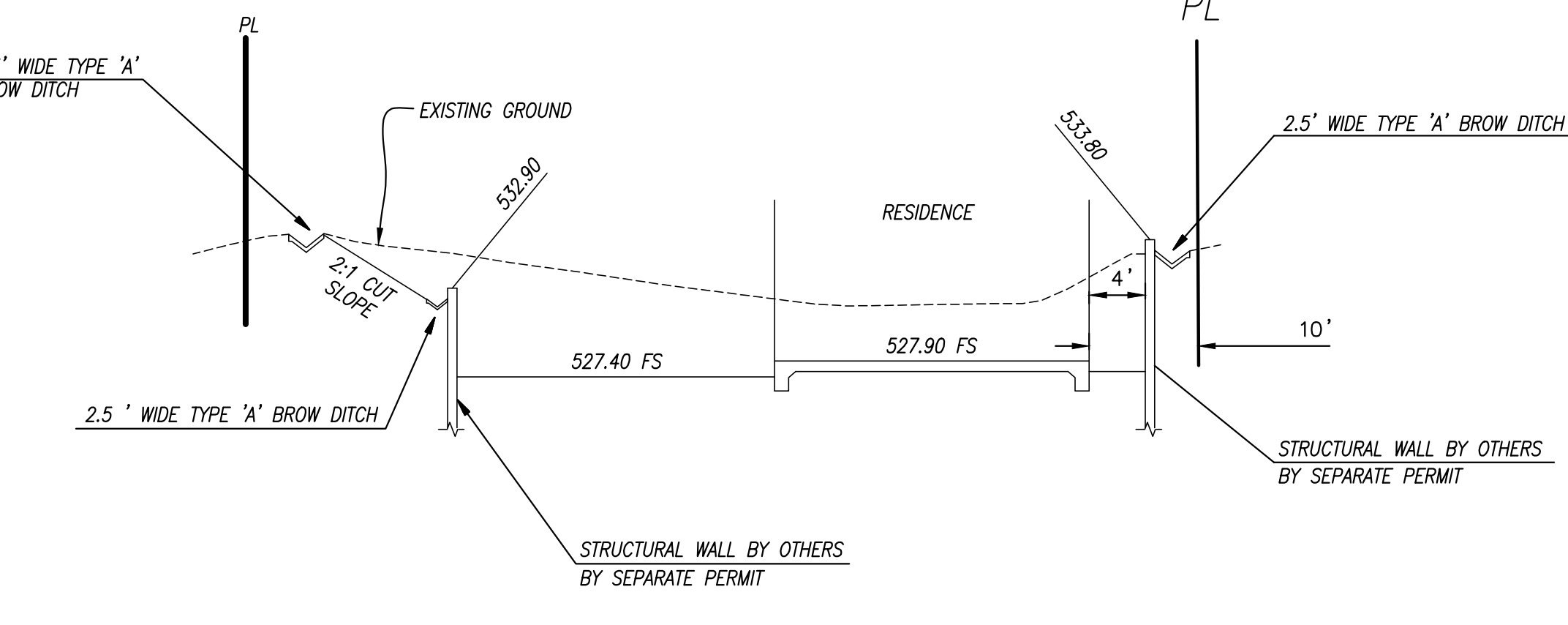
NO STRUCTURE OR FACILITY SHALL BE LOCATED AS TO INTERFERE WITH SIGHT DISTANCE NECESSARY FOR THE SAFE PASSAGE OF VEHICLES AND PEDESTRIAN. AT THE JUNCTION OF TWO STREETS, ALLEY, DRIVEWAYS OR ANY COMBINATION THEREOF, THERE SHALL BE MAINTAINED TRIANGULAR-SHAPE AREAS FOR SIGHT DISTANCE PURPOSES WITHIN WHICH NO STRUCTURE, FENCE, SHRUB, PARKING, OR OTHER PHYSICAL OBSTRUCTION SHALL BE ALLOWED WHICH IS HIGHER THAN THIRTY-SIX INCHES ABOVE THE GRADE OF THE ADJACENT CURB OR EDGE OF PAVEMENT. SUCH TRIANGULAR AREAS SHALL BE MEASURED AS FOLLOWS:
 AT A STREET/STREET OR STREET OR STREET ALLEY INTERSECTION, ONE ANGLE SHALL BE FORMED BY EXTENSIONS OF THE RIGHT OF WAY LINES AT THE INTERSECTION, TWO SIDES SHALL BE MEASURED BACK FROM THIS ANGLE ALONG THE EXTENSIONS A DISTANCE OF FIFTEEN (15) FEET EACH, AND THE THIRD SIDE SHALL CONNECT THE ENDS OF THESE TWO LINES. WHERE AN INTERSECTION INVOLVES PRIVATE STREETS OR DRIVEWAYS WHERE THERE IS NO RIGHT OF WAY LINE, THE TRIANGLE SHALL BE FORMED BY LINE(S) MEASURED ALONG THE BACK OF SIDEWALK, FACE OF CURB OR EDGE OF PAVEMENT



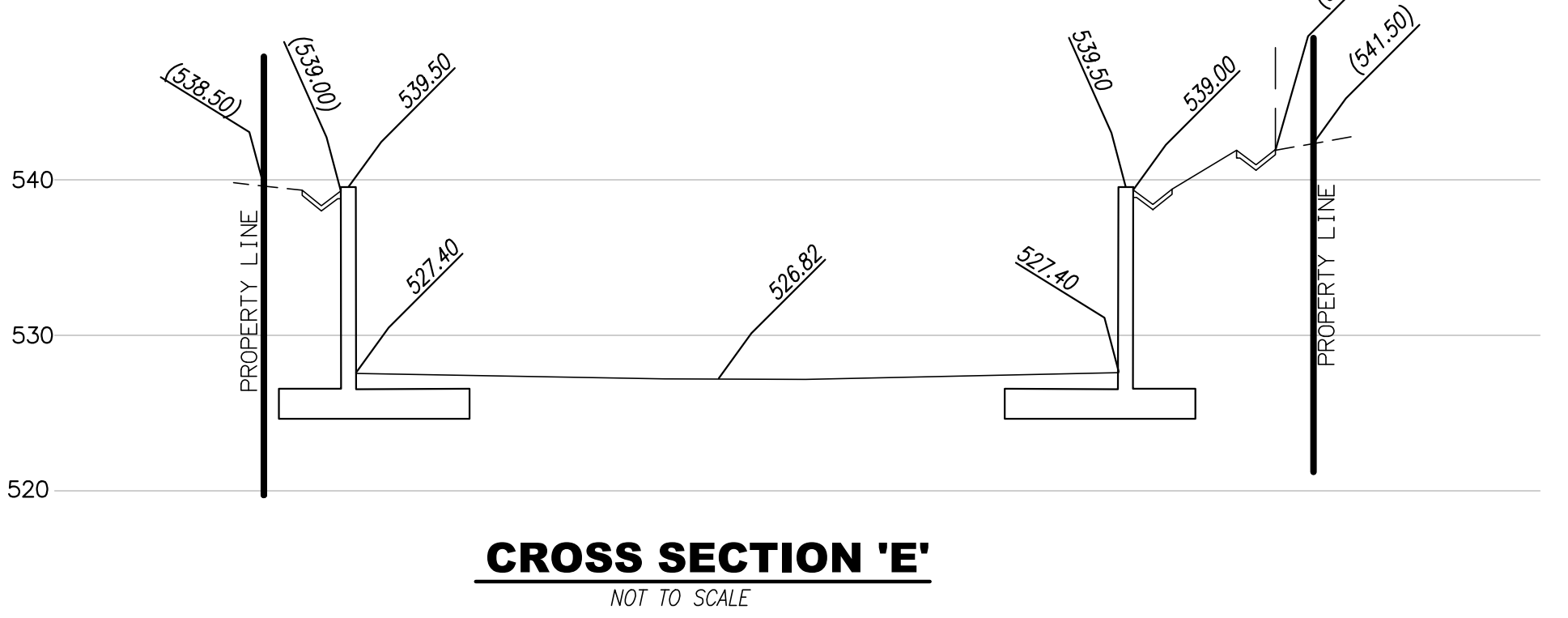
**SECTION D-D
TYPICAL WALL SECTION FOR
CITY HEIGHT REVIEW**



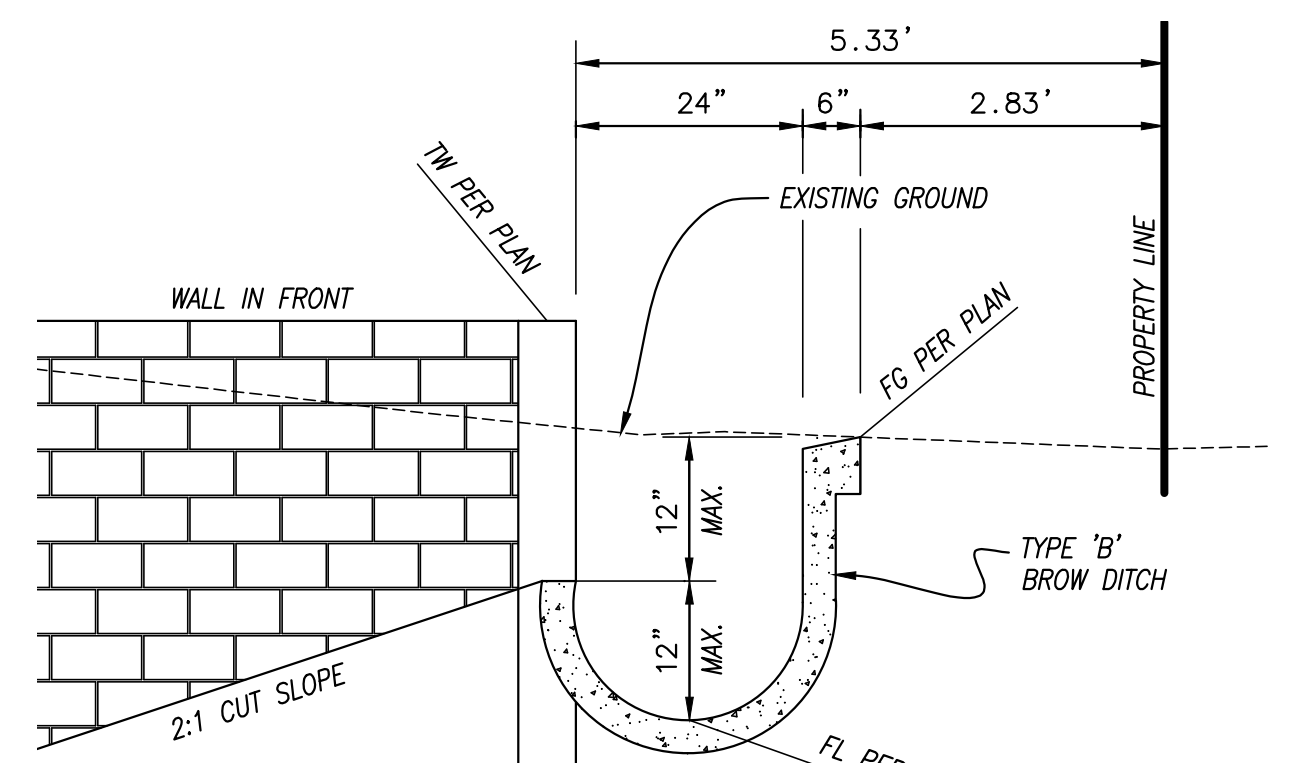
CROSS SECTION 'C'
NOT TO SCALE



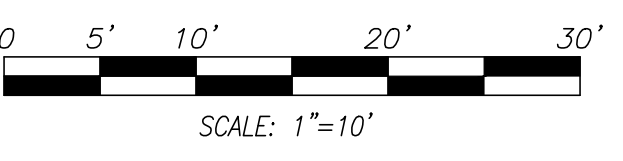
CROSS SECTION 'B'
NOT TO SCALE



CROSS SECTION 'E'
NOT TO SCALE



CROSS SECTION 'A'
NOT TO SCALE



BENCHMARK DATA

DESCRIPTION:	BM NO. 3069Y04
	3-1/2" BRASS DISC SET
LOCATION:	NORTH SIDE OF SPRING STREET, 65' NW OF N'LY PCR SPRING ST AND PALM
RECORD FROM:	LA MESA VERTICAL CONTROL BOOK
ELEVATION:	489.832' DATUM: NGVD 29

RECORD DRAWING

BY:	GIS UPDATED:
REVIEWED BY:	RCE:
	DATE:
REVIEWED BY:	BUILDING INSPECTOR
	DATE:
REVIEWED BY:	PUBLIC WORKS INSPECTOR
	DATE:
APPROVED:	CITY ENGINEER
	DATE:



PRIVATE CONTRACT

BUILDING AND RETAINING WALL LOCATION SURVEY

PRIOR TO REQUESTING ANY INSPECTION RELATED TO FOUNDATION PLACEMENT, PROCESSING FOR BUILDING LOCATION VERIFICATION SURVEY FORM MUST BE COMPLETED. THE BUILDING LOCATION VERIFICATION SURVEY FORM IS REQUIRED TO BE COMPLETED, STAMPED AND SIGNED BY CALIFORNIA REGISTERED CIVIL ENGINEER OR LAND SURVEYOR.

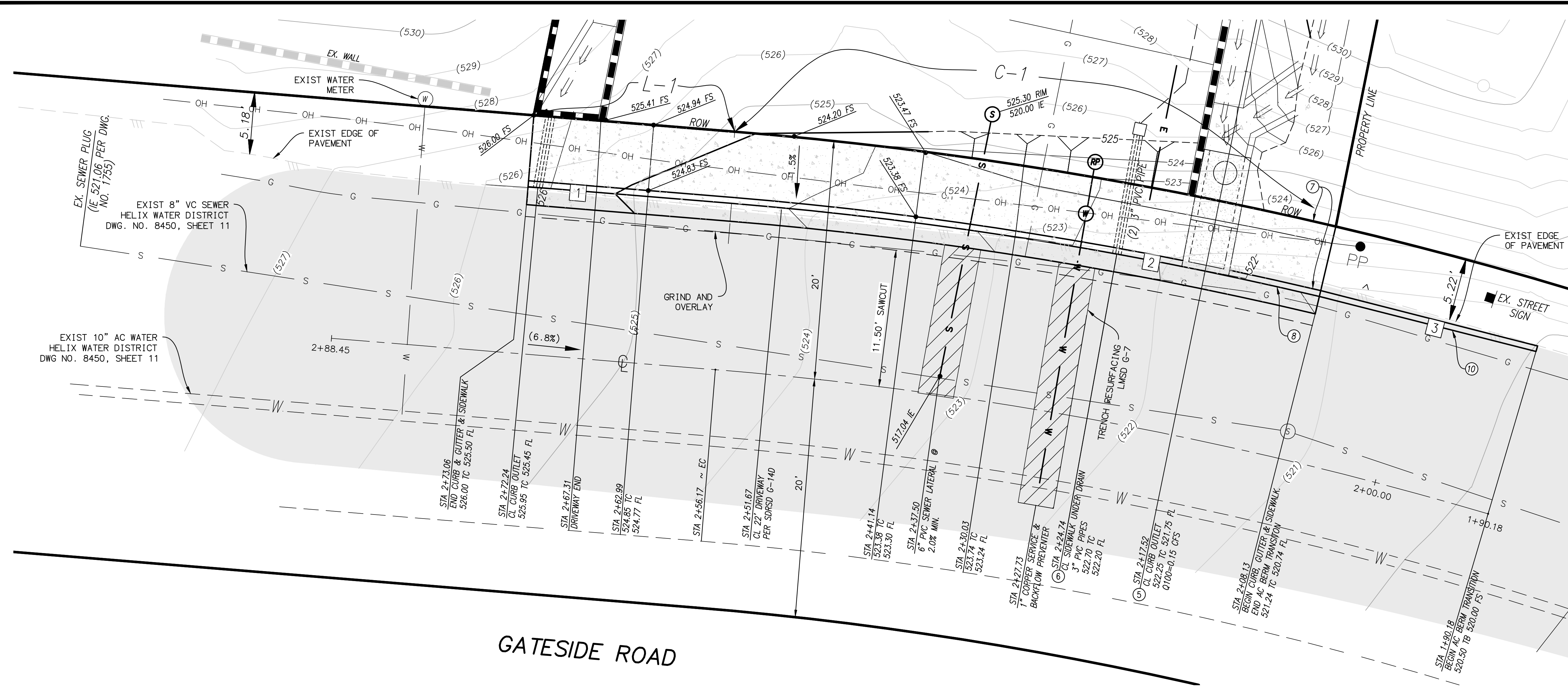
THE COMPLETED STAMPED AND SIGNED BUILDING LOCATION VERIFICATION SURVEY FORM MUST BE SIGNED BY CITY BUILDING DIVISION AND ENGINEERING DIVISION INSPECTORS AND RETURNED TO BUILDING DIVISION PRIOR TO REQUESTING A FOUNDATION INSPECTION.



GRADING / IMPROVEMENT PLANS FOR :
GATESIDE ROAD GRADING
499-030-49-00

CITY OF LA MESA, CALIFORNIA - PUBLIC WORKS/ENGINEERING DIVISION
 SHEET 4 OF 6 SHEETS

CITY ENGINEER	R.C.E. 46469	DATE
DESCRIPTION	BY	APPROVED
ORIGINAL		DATE
		FILMED
		THOMAS BROS. PG/GRID
		5
		CITY MAINTENANCE ZONE
		9403.04
UTILITIES:	DEVELOPMENT:	DRAWING NUMBER
TRAFFIC:	PUBLIC WORKS:	

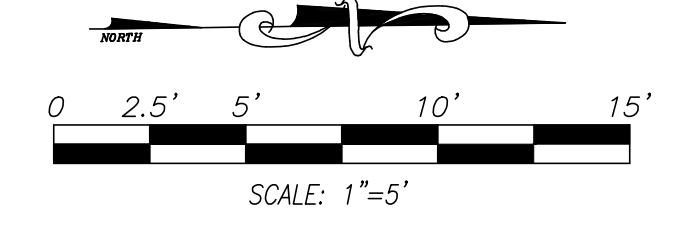
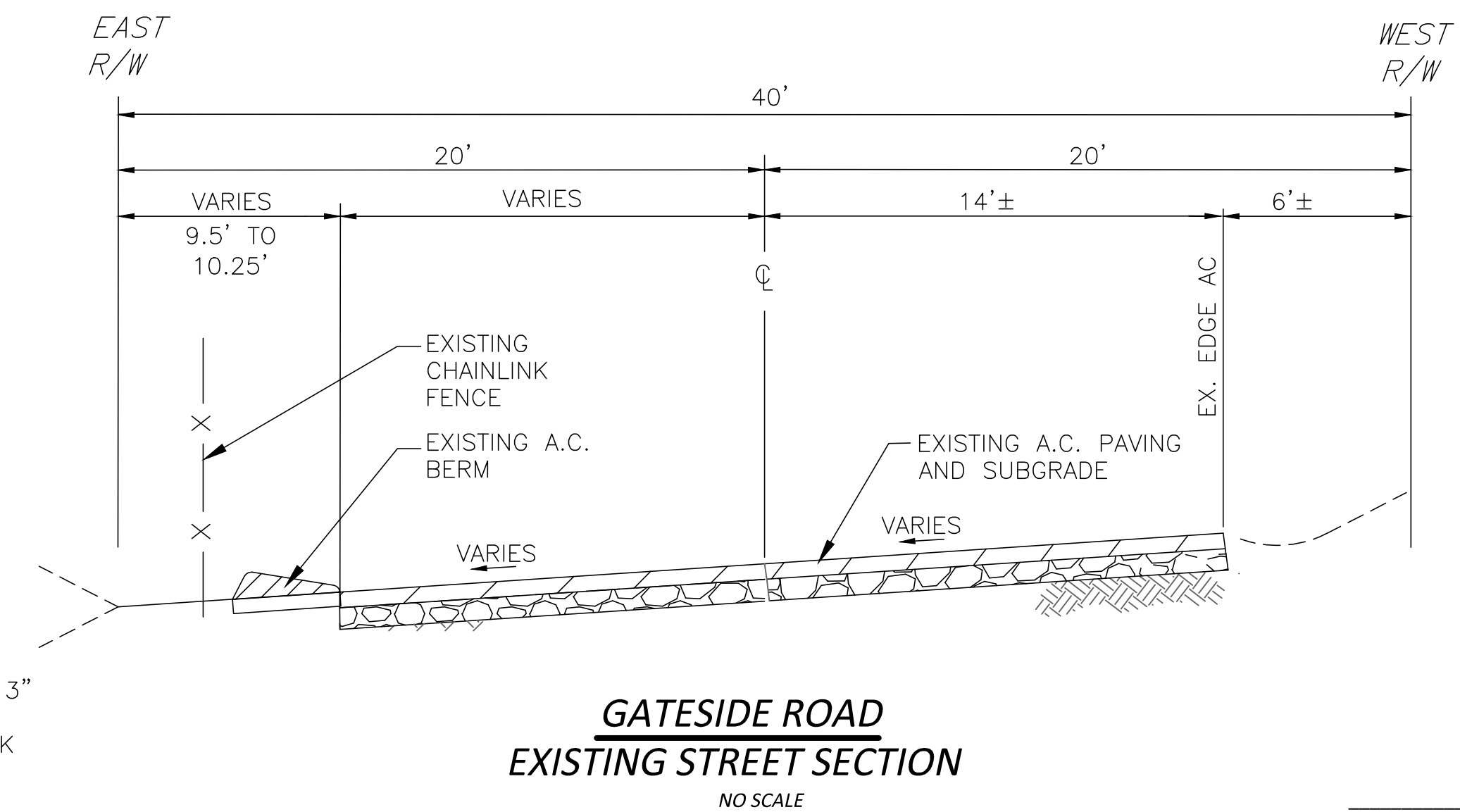
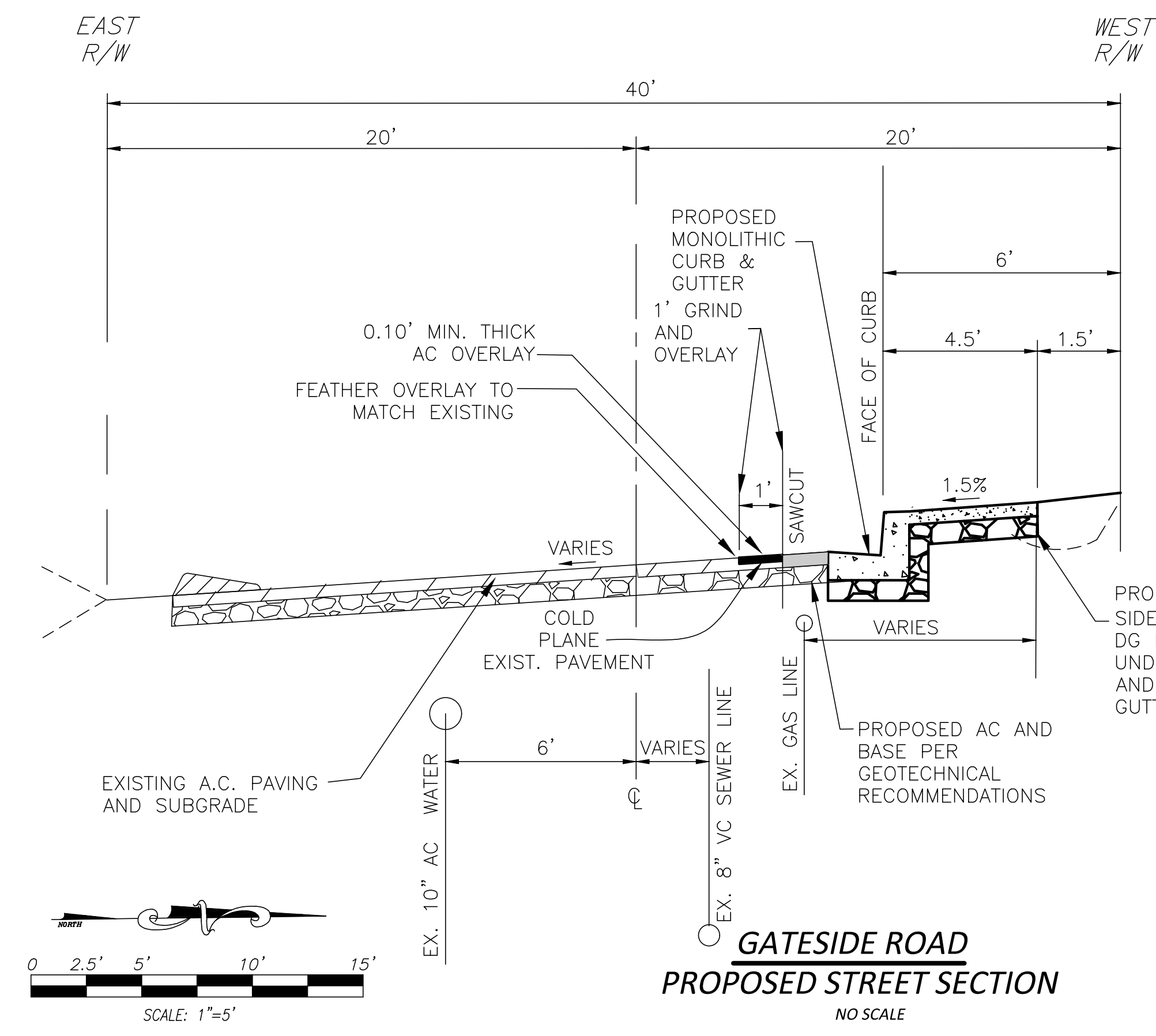
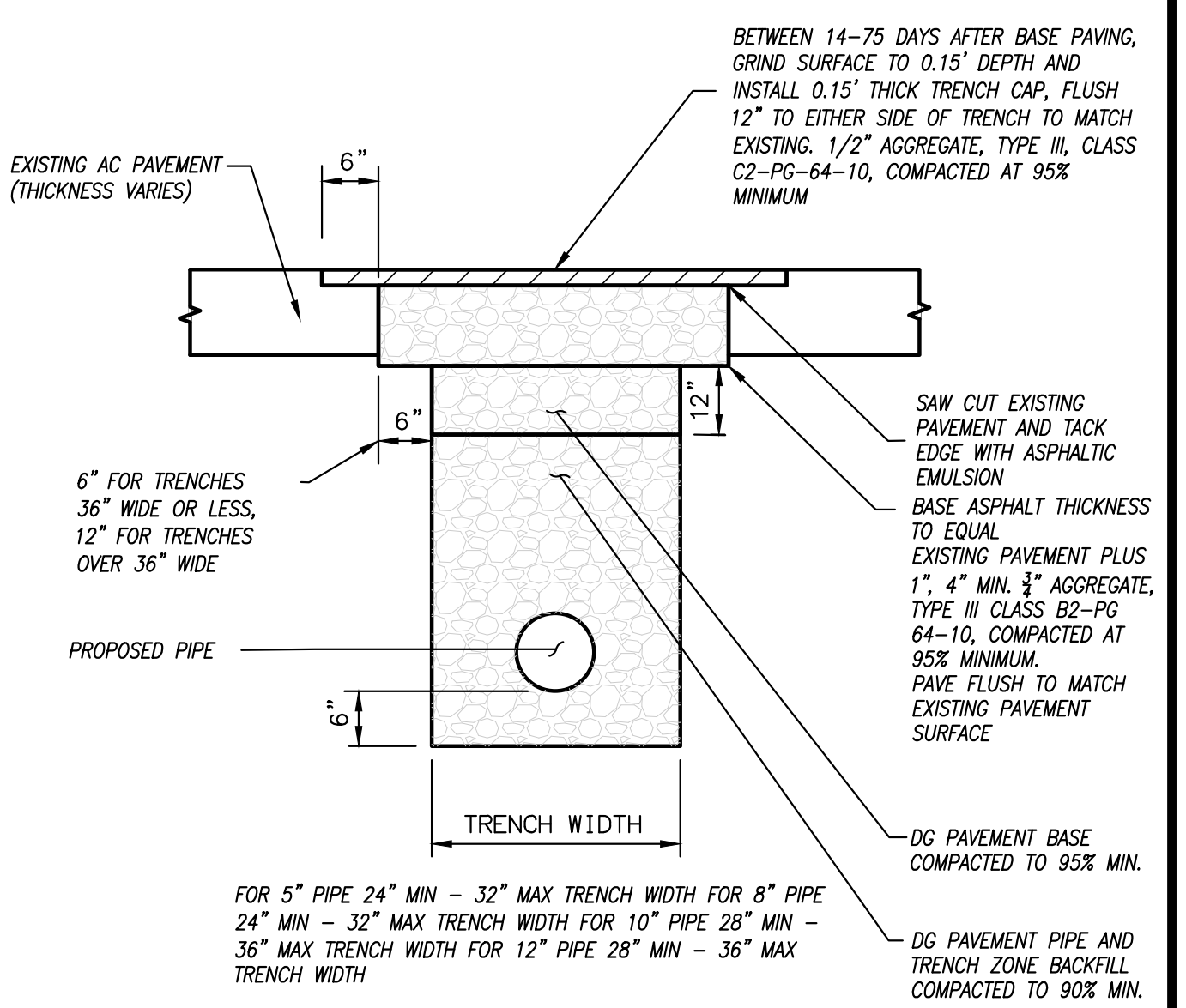


CURB DATA TABLE				
#	BEARING/DELTA	RADIUS	LENGTH	NOTE
1	N04°40'00"E	---	17.11'	6" MONILITHIC CURB AND GUTTER
2	D=08°33'03"	334.50'	49.92'	6" MONILITHIC CURB AND GUTTER
3	N14°14'18"E	---	18.73'	6" TYPE A AC BERM (G-5)

CURVE AND LINE DATA				
#	BEARING/DELTA	RADIUS	LENGTH	NOTE
L-1	N 04°40' E	---	16.89' ±	RIGHT OF WAY LINE
C-1	D=08°35'20"	340.50'	51.04'	RIGHT OF WAY LINE

CONSTRUCTION KEY NOTES

- 5 CONSTRUCT TYPE A CURB OUTLET PER SDRSD D-25A
- 6 CONSTRUCT (2) 3" PVC SIDEWALK UNDERAIN PER SDRSD D-27
- 7 CONSTRUCT PUBLIC SIDEWALK PER SDRSD G-7
- 8 CONSTRUCT PUBLIC MONILITHIC CURB AND GUTTER PER SDRSD G-2
- 9 RETAINING WALL 'A' BY SEPARATE PERMIT. SEE SHEET 4
- 10 AC BERM TYPE A PER SDRSD G-5
- 11 PCC DRIVEWAY STRUCTURAL SECTION PER GEOTECHNICAL RECOMMENDATIONS. PROVIDE A DEEP BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL. SEE SHEET 4
- 12 AC BERM TYPE E (MOUNTABLE DIKE) PER SDRSD G-5
- 13 RELOCATE EXISTING FENCE 8" INCHES BEHIND AC BERM



BENCHMARK DATA	
DESCRIPTION:	BM NO. 3069Y04 3-1/2" BRASS DISC SET
LOCATION:	NORTH SIDE OF SPRING STREET, 65' NW OF N'LY PCR SPRING ST AND PALM
RECORD FROM:	LA MESA VERTICAL CONTROL BOOK
ELEVATION:	489.832' DATUM: _NGVD_29

RECORD DRAWING	
BY:	GIS UPDATED: _____
REVIEWED BY:	RCE: _____ DATE: _____
REVIEWED BY:	BUILDING INSPECTOR DATE _____
REVIEWED BY:	PUBLIC WORKS INSPECTOR DATE _____
APPROVED:	CITY ENGINEER DATE _____



PRIVATE CONTRACT				
 CITY OF LA MESA GRADING / IMPROVEMENT PLANS FOR : GATESIDE ROAD GRADING 499-030-49-00 CITY OF LA MESA, CALIFORNIA - PUBLIC WORKS/ENGINEERING DIVISION SHEET 5 OF 6 SHEETS				
CITY ENGINEER	R.C.E. 46469	DATE		
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL				
				THOMAS BROS. PG/GRID
				5
				CITY MAINTENANCE ZONE
				9403.05
				DRAWING NUMBER

SPECIAL RAINY SEASON PROVISIONS

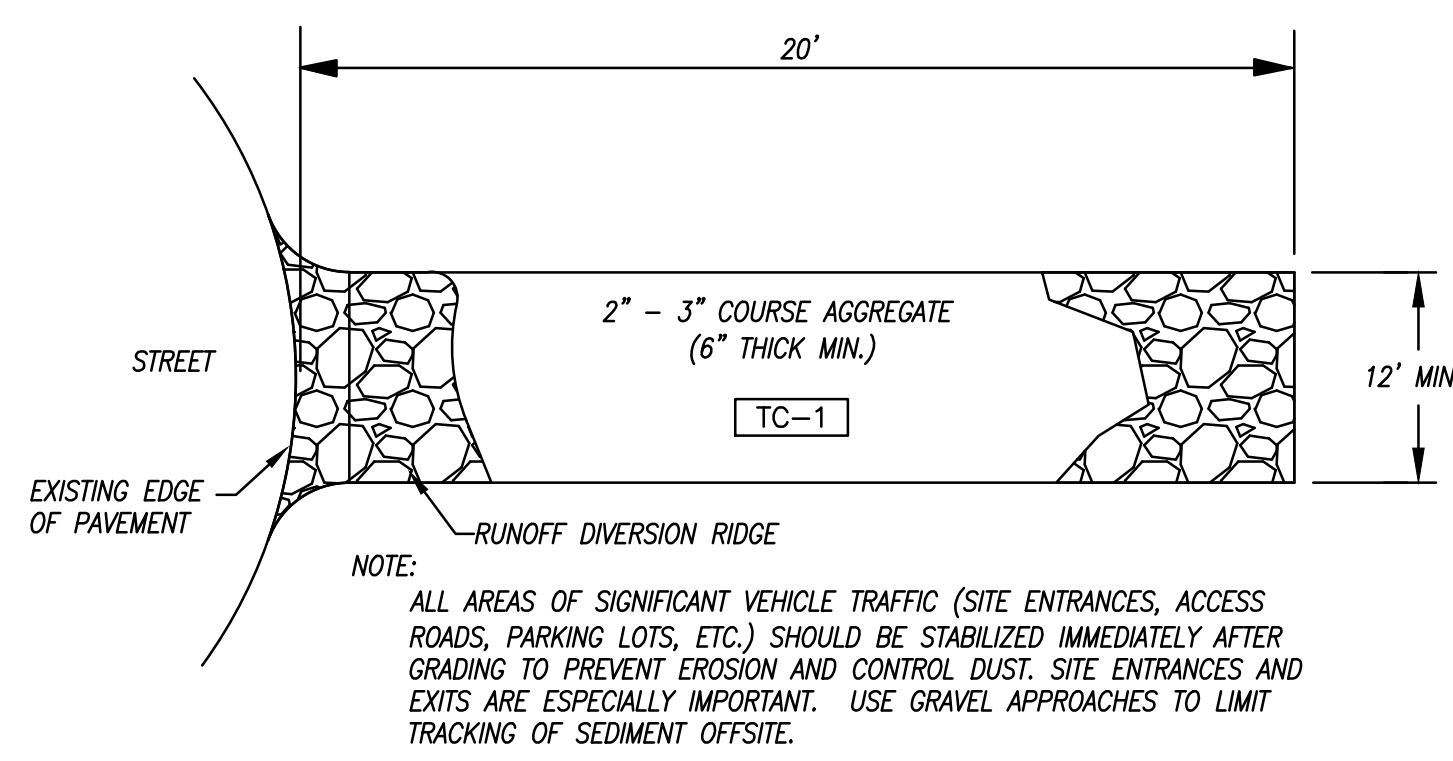
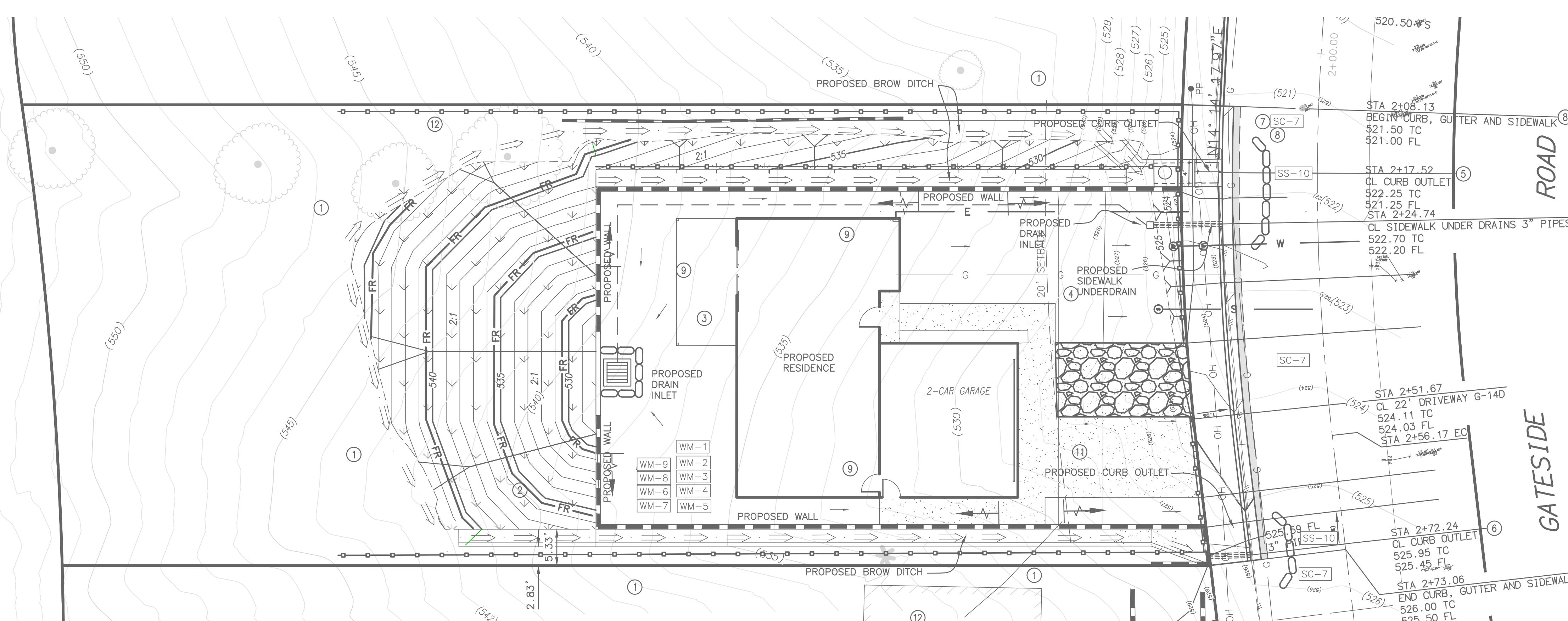
DURING THE RAINY SEASON, THE CONTRACTOR MUST TAKE SPECIAL CARE TO MAKE SURE THAT ALL PROVISIONS OF THIS PLAN AND THE WATER POLLUTION CONTROL PROGRAM ARE FULLY IMPLEMENTED.

1. THE RAINY SEASON IS DEFINED AS FROM OCTOBER 1ST TO APRIL 30TH.
2. ALL EROSION CONTROL FEATURES (BMPs) SHALL BE INSPECTED AT LEAST ONCE EACH WEEK.
3. SEE PROVISIONS OF THE WATER POLLUTION CONTROL PROGRAM FOR REQUIRED WORK WHEN A RAIN EVENT IS ANTICIPATED.

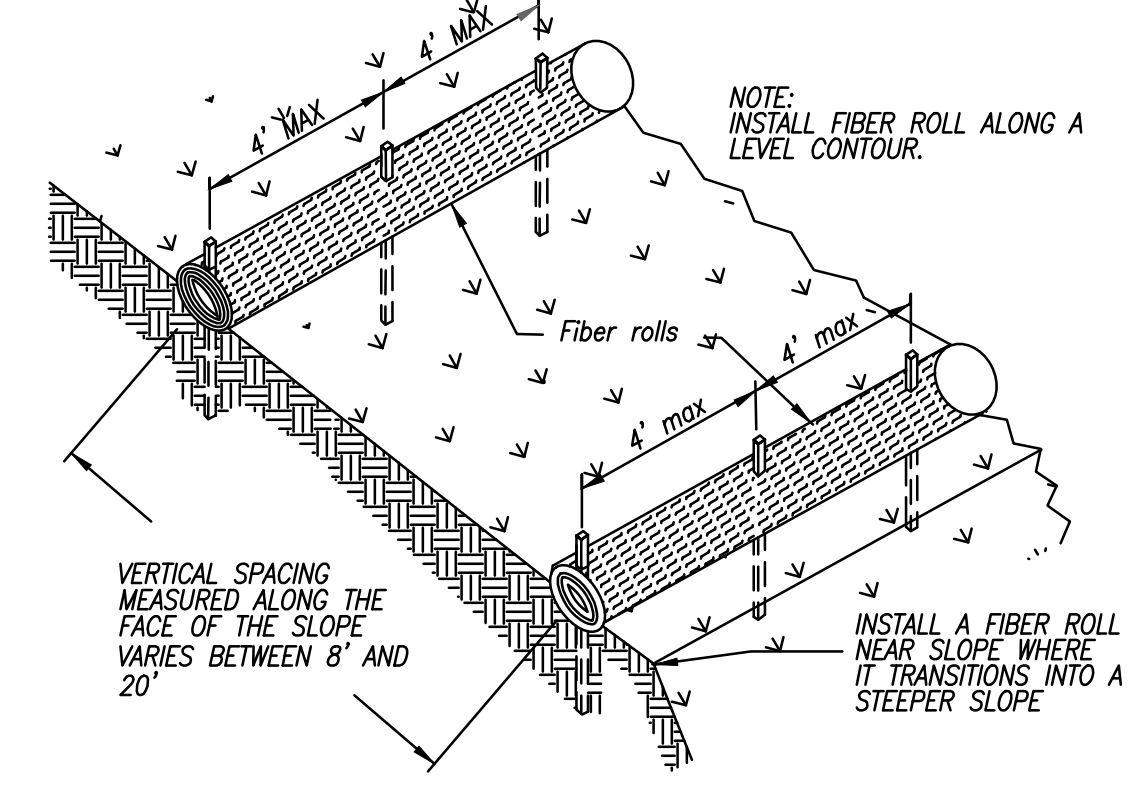
EROSION CONTROL LEGEND

IN ACCORDANCE WITH SECTION F.2 OF SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) ORDER 2001-01 (PERMIT), THE CITY OF LA MESA HAS DEVELOPED AN INVENTORY OF BMPs THAT WILL BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES. THE FOLLOWING BMPs WERE OBTAINED FROM THE CALTRANS STORM WATER QUALITY HANDBOOKS CONSTRUCTION SITE BMP MANUAL (NOVEMBER 2000). SOME OF THE SELECTED CALTRANS BMPs HAVE BEEN ALTERED AND ARE NOTED WITH AN ASTERISK.

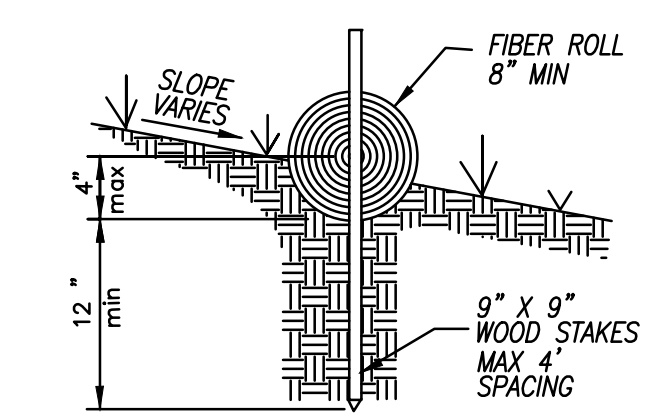
TEMPORARY BMP NAME	BMP DWG NO	SYMBOL	QUANTITY
SOIL STABILIZATION AND EROSION PREVENTION			
A. PLANNING AND SCHEDULING*	SS-1	N/A	
B. PHYSICAL STABILIZATION			
HYDROSEEDING*	SS-4		2025 SF
WOOD MULCHING*	SS-8	N/A	
C. SITE DRAINAGE			
OUTLET PROTECTION/VELOCITY DISSIPATION*	SS-10		
SEDIMENT CONTAINMENT			
A. PERIMETER PROTECTION			
SILT FENCING*	SC-1		404 LF
GRAVEL BAG BERM*	SC-6		75 EA
FIBER ROLLS*	SC-5		300 LF
C. SEDIMENT TRACKING			
STABILIZE CONSTRUCTION ENTRANCES & EXITS*	TC-1		1 EA
STREET SWEEPING*	SC-7		
MATERIALS AND WASTE MANAGEMENT			
A. MATERIALS MANAGEMENT			
MATERIAL DELIVERY AND STORAGE	WM-1		
MATERIAL USE	WM-2		
STOCKPILE MANAGEMENT*	WM-3		
SPILL PREVENTION AND CONTROL	WM-4		
WASTE MANAGEMENT	WM-5		
B. WASTE MANAGEMENT			
SOLID*	WM-5		
LIQUID*	WM-10	N/A	
SANITARY*	WM-9		
CONCRETE*	WM-8		
HAZARDOUS*	WM-6		
CONTAMINATED SOIL*	WM-7		
NON-STORM WATER DISCHARGE AND DRAINAGE CONTROL			
A. GENERAL			
PAVING AND GRINDING OPERATIONS*	NS-3	N/A	
B. NON-STORM WATER DISCHARGES			
WATER CONSERVATION PRACTICES*	NS-1	N/A	
POTABLE WATER/IRRIGATION AND FLUSHING	NS-7	N/A	
C. VEHICLE AND EQUIPMENT OPERATIONS			
VEHICLE AND EQUIPMENT CLEANING*	NS-8	N/A	
VEHICLE AND EQUIPMENT FUELING	NS-9	N/A	
VEHICLE AND EQUIPMENT MAINTENANCE	NS-10	N/A	



STABILIZED CONSTRUCTION ENTRANCE
NO SCALE



TYPICAL FIBER ROLL INSTALLATION
NO SCALE



ENTRENCHMENT DETAIL
NO SCALE

SLOPE HYDROSEEDING MIX SHALL CONSIST OF THE FOLLOWING:

1. NON-IRRIGATED SEED MIX SHALL NOT BE ALLOWED AND NO INVASIVE, FIRE PRONE SPECIES SHALL BE INCLUDED;
2. SEED MIX SHALL CONSIST OF NO LESS THAN:
 - a. ALL SEED MATERIALS SHALL BE TRANSPORTED TO THE JOBSITE IN UNOPENED CONTAINERS WITH THE CALIFORNIA DEPARTMENT OF FOOD AND AGRICULTURE CERTIFICATION TAG ATTACHED TO, OR PRINTED ON SAID CONTAINERS.
 - b. NON-PHYTO-TOXIC WETTING AGENTS MAY BE ADDED TO THE HYDROSEED SLURRY AT THE DISCRETION OF THE CONTRACTOR.
3. TYPE 1 MULCH APPLIED AT THE RATE OF NO LESS THAN 2000 LBS. PER ACRE. TYPE 6 MULCH (STRAW) MAY BE SUBSTITUTED, ALL OR PART, FOR HYDRAULICALLY APPLIED FIBER MATERIAL. WHEN STRAW IS USED IT MUST BE ANCHORED TO THE SLOPE BY MECHANICALLY PUNCHING NO LESS THAN 50% OF THE STRAW INTO THE SOIL.
4. FERTILIZER CONSISTING OF AMMONIUM PHOSPHATE, SULFATE, 16-20-0, WITH 15% SULPHUR APPLIED AT THE RATE OF 500 LBS. PER ACRE.
5. AREAS TO BE HYDROSEEDED SHALL BE PREPARED PRIOR TO HYDROSEEDING BY:
 - a. ROUGHENING THE SURFACE TO BE PLANTED BY ANY OR COMBINATION OF: a.a. TRACK WALKING SLOPES STEEPER THAN 6:1 a.b. HARROWING AREAS 6:1 OR FLATTER THAT ARE SUFFICIENTLY FRIABLE. a.c. RIPPING AREAS THAT WILL NOT BREAK UP USING ITEMS a.a. OR a.b. ABOVE.
 - b. CONDITION THE SOILS SO THAT IT IS SUITABLE FOR PLANTING BY:
 - a. ADJUSTING THE SURFACE SOIL MOISTURE TO PROVIDE A DAMP BUT NOT SATURATED SEED BED.
 - b. THE ADDITION OF SOIL AMENDMENTS, PH ADJUSTMENT, LEACHING OR COVERING SALINE SOILS TO PROVIDED VIABLE CONDITIONS FOR GROWTH.
7. HYDROSEEDED AREAS SHALL BE MAINTAINED TO PROVIDE A VIGOROUS GROWTH UNTIL THE PROJECT IS PERMANENTLY LANDSCAPED OR, FOR AREAS WHERE HYDROSEEDING IS THE PERMANENT LANDSCAPING, UNTIL THE PROJECT IS COMPLETED AND ALL GRADING BONDS RELEASED.

BENCHMARK DATA

DESCRIPTION:	BM NO. 3069Y04
	3-1/2" BRASS DISC SET
LOCATION:	NORTH SIDE OF SPRING STREET, 65' NW OF N'LY PCR
	SPRING ST AND PALM
RECORD FROM:	LA MESA VERTICAL CONTROL BOOK
ELEVATION:	489.832' DATUM: NGVD 29

RECORD DRAWING

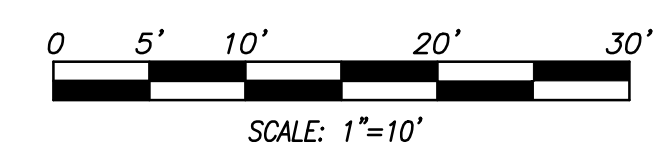
BY:	GIS UPDATED:
REVIEWED BY:	RCE:
REVIEWED BY:	DATE:
APPROVED:	DATE:



ENGINEER OF WORK RCE NO. _____

PRIVATE CONTRACT

CITY OF LA MESA GRADING / IMPROVEMENT PLANS FOR: GATESIDE ROAD GRADING 499-030-49-00	
CITY OF LA MESA, CALIFORNIA - PUBLIC WORKS/ENGINEERING DIVISION SHEET 6 OF 6 SHEETS	
CITY ENGINEER	R.C.E. 46469
DATE	
DESCRIPTION	BY
APPROVED	DATE
FILED	
THOMAS BROS. PG/GRID	5
CITY MAINTENANCE ZONE	9403.06
UTILITIES:	TRAFFIC:
DEVELOPMENT:	PUBLIC WORKS:
DRAWING NUMBER	



ALL EXISTING DIMENSIONS NEED TO BE VERIFIED IN FIELD

Johnson Residence Conceptual Landscaping Plan

Vacant Lot A.P.N. 499-030-49-00 La Mesa, CA. 91941

LANDSCAPE PLAN CONCEPT DESCRIPTION

Our landscape plan for the new single-family residential home is designed to provide street scape enhancement, adding shade, erosion control, and creating a beautiful property. We aim to enhance the current environment while prioritizing conservation and efficiency. To achieve this, we have carefully selected low-water-usage native plants, including a Chaparral Custom Mix tailored to thrive in our region's climate conditions. This mix includes a variety of native species such as Brittlebush, California Poppy, Dwarf Goldfields, Deerweed, Purshiangs lotus, California bluebells, White sage, White nightshade, Small Fescue, along with Holly Oak trees. These plants not only add visual interest and aesthetic appeal to the landscape but also promote biodiversity and support local ecosystems. By incorporating native species with low water requirements, our landscape design contributes to water conservation efforts while creating a sustainable and eco-friendly outdoor space for the homeowner to enjoy.

SHEET INDEX

SHEET 1	TITLE SHEET
SHEET 2	LANDSCAPE NOTES
SHEET 3	LANDSCAPE PLAN
SHEET 4	IRRIGATION NOTES
SHEET 5	IRRIGATION PLAN

LANDSCAPE PLANS GENERAL NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF LA MESA LANDSCAPE REGULATIONS.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER CONDITIONS OF THE PERMIT.
- IRRIGATION: A WATER EFFICIENT, AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE PROPOSED IRRIGATION SYSTEM SHALL BE A COMBINATION OF POP-UP SPRAY HEAD AND DRIP LINE.
- LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE SITE.
- ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
- ALL PROPOSED PLANTING AREAS SHALL BE TREATED WITH SOIL CONDITIONERS TO INCREASE AND RETAIN SOIL MOISTURE.
- ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
- SLOPE PLANTING SHALL ACHIEVE EFFECTIVE SOIL COVERAGE IN ACCORDANCE WITH THE CITY OF LA MESA GRADING ORDINANCE PRIOR TO FINISHED GRADE APPROVAL. IF EFFECTIVE SOIL COVERAGE IS NOT ACHIEVED IN THE REQUIRED TIME FRAME, THEN THE CONTRACTOR SHALL IMPLEMENT THE ADDITIONAL EROSION CONTROL MEASURES NOTE BELOW. EROSION CONTROL MEASURES SHALL BE:
 - FIBER MATRIX APPLICATION (STABILIZED OR BONDED), OR
 - EROSION CONTROL BLANKETS (STRAW OR COCONUT FIBER), OR
 - COMPOSTED LANDSCAPE MULCH (3" INCH DEPTH MIN.) AND HYDROMULCH + TACKIFIER, AND/OR
 - GROUND COVER PLANTING AND FIBER ROLLS IN ADDITION TO ABOVE MEASURES
- ALL PLANTING AREAS LESS THAN 3:1 SLOPE SHALL RECEIVE SHREDDED WOOD MULCH OR COMPOSTED LANDSCAPE MULCH IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- INSTALL ROOT CONTROL BARRIERS WITH TREES IN ACCORDANCE WITH CITY OF LA MESA, "LANDSCAPE STANDARDS" ROOT BARRIERS SHALL BE PLACED ADJACENT, AND PARALLEL TO, THE EDGES OF HARDSCAPE IMPROVEMENTS (NOT ENCIROCLING TREE ROOT BALLS).
- IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, AND ALL PLANTING AREAS SHALL BE COMPLETELY WATERED TO A MINIMUM DEPTH OF SIX (6) INCHES PRIOR TO START OF PLANTING WORK. CONTRACTOR SHALL COORDINATE LOCATION OF OF PLANTS WITH IRRIGATION PIPING AND EQUIPMENT.
- PRIOR TO START OF PLANTING WORK, PLANTING AREAS SHALL BE FREE OF WEEDS AND CONTRACTOR SHALL ESTABLISH FINISHED GRADES. AFTER COMPLETION OF PLANTING WORK, CONTRACTOR SHALL FINE GRADE ALL PLANTING AREAS AND REMOVE SURFACE ROCKS, CLODS AND DEBRIS.
- CONTRACTOR SHALL APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS PRIOR TO SPREADING MULCH. HERBICIDES SHALL BE USED IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.

CITY OF LA MESA GENERAL NOTES:

- All work shall comply with 2019 Edition of CCR, Title 24, which adopts and amends: 2021 IBC to 2022 California Building Code; 2021 IRC to 2022 California Residential Code; 2021 UMC to 2022 California Mechanical Code; 2021 UPC to 2022 California Plumbing Code; 2020 NEC to 2022 California Electrical Code; 2022 California Fire Code and City of La Mesa Municipal Code (LMMC) amendments; 2022 California Green Building Standards Code; 2022 California Building Energy Code.
- Plans shall comply with City of La Mesa "Water Efficient Landscape Regulations" ordinance, (LMMC Chapter 14.29), and all other applicable municipal codes and ordinances.
- Contractors shall comply with Construction and Demolition Debris Diversion Deposit Program in accordance with La Mesa Municipal Code, Chapter 14.27.
- An Operation and Maintenance Manual, acceptable to the authority having jurisdiction and in compliance with 2022 California Green Building Standards Code (CGBSC), Chapter 4, Section 4.410.1, shall be provided to owner or occupant. Manual shall be available for review by building inspector at final inspection (CGBSC 4.410.1).
- Contractor shall provide storm water and non-storm water pollution prevention measures in accordance with City of La Mesa Grading Ordinance (LMMC Chapter 14.05); Storm Water Management & Discharge Control Ordinance (LMMC Chapter 7.18); "Storm Water Best Management Practices Manual," and other applicable codes and ordinances.
- Owner/Developer/Contractor shall obtain an Encroachment Maintenance and Removal Agreement as determined by the City Engineer prior to the construction of any private improvements, including installation of required street trees, in the public rights-of-way and City-held easements. Permits and agreements shall be reviewed and approved by the Department of Public Works.
- Contractor shall notify the City's Community Development Department at least two working days prior to start of landscape work.
- Owner/Developer/HOA shall permanently and fully maintain landscape improvements within the public rights-of-way as shown on Plans.
- Contractor shall provide an agricultural suitability soils analysis report from a certified agronomic testing laboratory for all landscaped areas. Submit two (2) copies of the report to the City's representative prior to start of landscape work. Soil analysis and recommendations shall be made part of required Soil Management Report submitted with the Certificate of Completion.
- Owner/Developer shall provide as-built plans of the irrigation system to the City prior to final acceptance. As-built plans shall be one mylar reproducible set on standard City "D"-size sheets.
- California Government Code 4216 mandates that an excavator planning to conduct an excavation shall notify the appropriate regional notification center of the excavator's intent to excavate at least two working days, and not more than 14 calendar days, before beginning that excavation. Contractor shall notify DigAlert® (toll-free 811 or 1-800-422-4133) prior to start of excavation in public rights-of-way, utility and City-held easements.
- Property Owner and Designer shall sign and submit the required Landscape Certificate of Completion, including supporting documentation and irrigation audit, to the City of La Mesa Community Development Department / Planning Division prior to final landscape inspection, and acceptance of the project by the City.
- Refer to Site Plan for required Low Impact Development (L. I. D.) measures.

Note:

- Adhesives and primers VOC limits shall comply with CGBSC Table 4.504.1;
 - Sealants and primers VOC limits shall comply with CGBSC Table 4.504.2;
 - Paints, coatings and primers VOC limits shall comply with CGBSC Table 4.504.3.
- Documentation showing materials used shall be available for review by building inspector prior to final inspections. Documentation shall comply with California Green Building Standards Code (CGBSC) 4.504.2.4 and CGBSC 4.504.5.1

Rev. 04/01/23

LANDSCAPED AREA

LANDSCAPED AREA TOTAL: 2,301

OWNER / PERMITTEE

NAME: VIKKI JOHNSON AND ROB SELLERS

ADDRESS: 822 Kalpath Circle
Carlsbad, CA 92008

TELEPHONE NO: 499-030-49-00

SHORT LEGAL DESCRIPTION: _____

A.P.N. NO: 239-030-64-00

SITE ADDRESS: 8514 GATESIDE RD, LA MESA CA 91941



1405 FERRARA CT, ESCONDIDO CA 92025
760-685-0345

APPROVED CHANGES

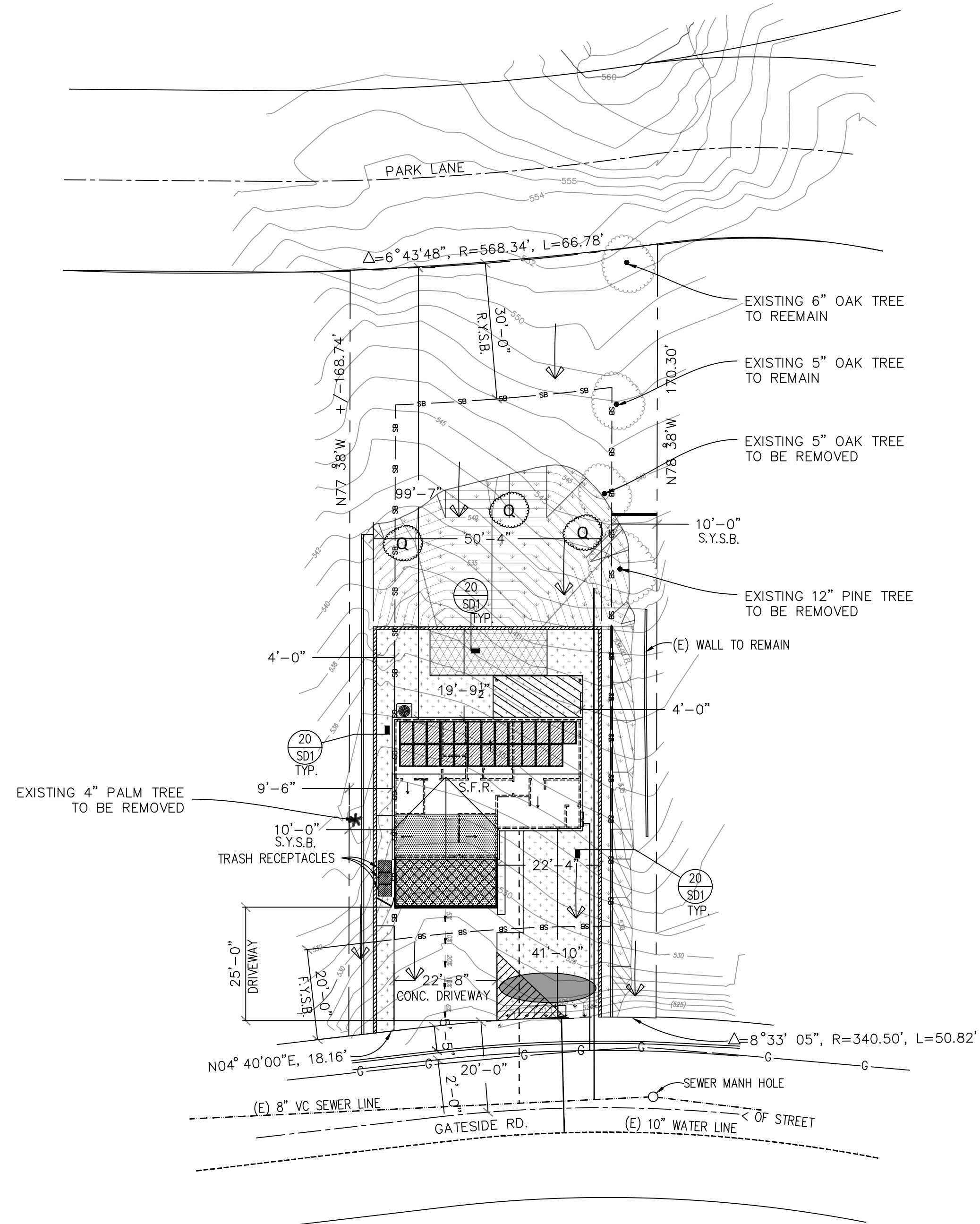
NO.	DESCRIPTION:	APPROVED BY:	DATE:

PRIVATE CONTRACT

SHEET 1	CITY OF LA MESA	5 SHEETS
TITLE SHEET FOR: JOHNSON CONCEPTUAL LANDSCAPE PLAN		
CALIFORNIA COORDINATE INDEX		XXX-XXXX
SEE CERTIFICATION		PERMIT NO: TBD

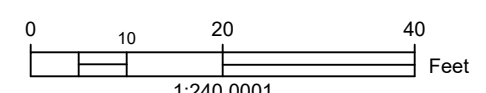
LEGEND

1. INDICATES NEW WALLS
2. INDICATES SET BACKS
3. INDICATES PROPERTY LINE
4. INDICATES STREET CENTER LINE
5. DRAINAGE ARROWS
6. INDICATES LOW ROOF
7. INDICATES DECK
8. INDICATES (E) GAS LINE
9. INDICATES (N) GAS LINE
10. INDICATES (E) 10" WATER LINE
11. INDICATES (E) 8" VC SEWER MAIN LINE
12. INDICATES (N) SEWER 6" LATERAL @ 2%
13. INDICATES (N) WATER LINE
14. INDICATES (N) RETAINING WALL
15. INDICATES FUTURE SOLAR PANELS (SEE SHEET A2)
16. INDICATES 2-CAR GARAGE AREA BONDED FIBER MATRIX



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



LANDSCAPE PLAN LEGEND

1. TREES

Tree Legend					
SYM	BOTANICAL	COMMON NAME	SIZE	WUCOLS	QUANT
Q	QUERCUS ILEX	HOLLY OAK	5 GAL	LOW	3

2. BONDED FIBER MATRIX HYDRONSEED

CHAPARRAL CUSTOM MIX			
	SIZE	WUCOLS	
Encelia farinosa (Brittlebush)-Eschscholzia californica (California Poppy)-Lathenia californica (Dwarf Goldfields) -Lotus scoparius (Deerweed)-Lotus purshianus (Purshiangs lotus) -Phacelia campanularia (California bluebells)-Salvia apiana (White sage) -Solanum douglasii (White nightshade)-Vulpia microstachys (Small Fescue)	54 LBS/ACRE	2,301 SF	LOW

3. MULCH (WOOD, NOT CONSTRUCTION) MIN DEPTH 3"
4. VEGETATED LID DETENTION BASIN (<100 SF, <1' DEPTH)
5. GRAVEL 3/8 IN. GRAVEL, GREY
6. TREES TO BE REMOVED

LANDSCAPE PLAN CONCEPT DESCRIPTION

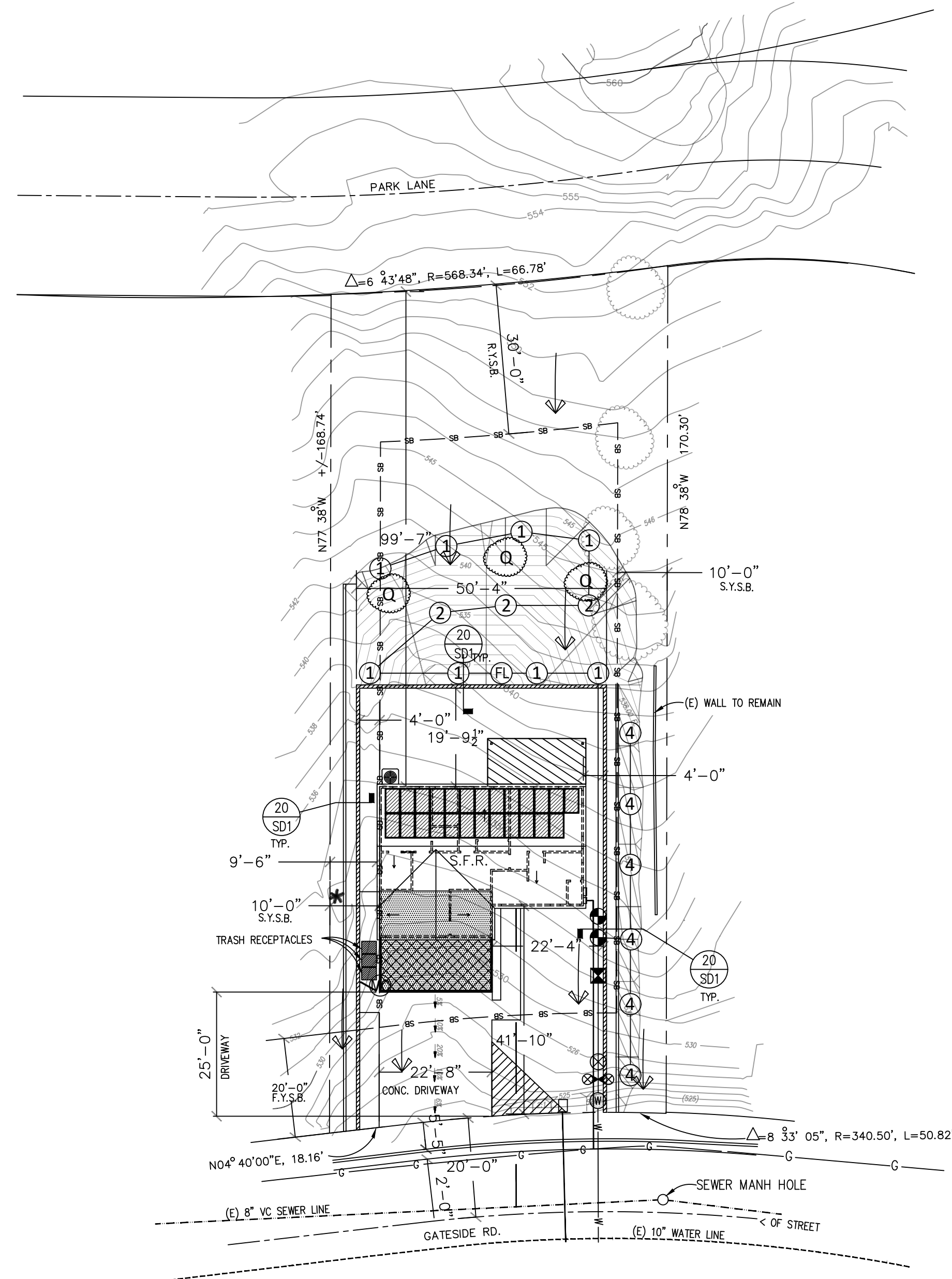
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PRIVATE CONTRACT

SHEET 3	CITY OF LA MESA	5 SHEETS
LANDSCAPE PLAN		
JOHNSON CONCEPTUAL LANDSCAPE PLAN		
CALIFORNIA COORDINATE INDEX		XXX-XXXX
SEE CERTIFICATION		PERMIT NO: TBD

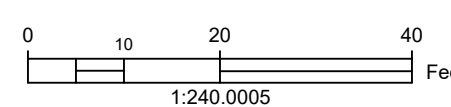
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1. [Symbol] INDICATES NEW WALLS
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16. [Symbol] INDICATES 2-CAR GARAGE AREA BONDED FIBER MATRIX



IRRIGATION PLAN

SCALE: 1" = 20'-0"



IRRIGATION LEGEND:

SYM.	MANUF.	MODEL NUMBER	DESCRIPTION	DETAIL
[Symbol]	FEBCO WILKINS	3/4" 825YA W/ 500YSBR	REDUCED PRESSURE BACKFLOW PREVENTER PRESSURE REDUCING VALVE AS REQUIRED	16/SHT.L5
[Symbol]	HUNTER	QCV-100	QUICK COUPLER VALVE. LINE SIZED TYP. INSTALLED IN A VALVE BOX	14/SHT.L5
[Symbol]	HUNTER	ACZ0101	DRIP CONTROL ZONE KIT-REMOTE CONTROL VALVE FILTER, SCREE, PRESS, REGULATOR FLUSH CAP	19/SHT.L5
[Symbol]	HAMMOND	8901 SERIES	BALL VALVE, LINE SIZED IN A VALVE BOX	13/SHT.L5
[Symbol]	HUNTER	ICV SERIES	IRRIGATION VALVE: PRESSURE REDUCING REMOVE CONTROL VALVE, SIZE PER PLAN	12/SHT.L5
[Symbol]	PW PIPE	PVC SCH. 40	LATERAL LINE, SIZE PER PLAN	15/SHT.L5
[Symbol]	PW PIPE	PVC SCH. 40	PRESSURE MAINLINE 1"	15/SHT.L5
[Symbol]	PW PIPE	2X PIPE 6" PVC SCH. 40	IRRIGATION SLEEVING	18/SHT.L5
[Symbol]	NETAFIM	TECHLINE HCVXR	NETAFIM DRIP LINE .53 GPH. 12" EMITTER SPACING	113/SHT.L5
[Symbol]	NETAFIM	TLFV-1	AUTOMATIC FLUSH VALVE	110/SHT.L6
[Symbol]	HUNTER	HPC-400	MODULAR 4 STATION CONTROLLER WI-FI ENABLED	112/SHT.L4
[Symbol]	HUNTER	MINI-CLICK	RAIN SENSOR WITH WALL MOUNT	111/SHT.L5

SYM.	MANUF.	MODEL NUMBER	DESCRIPTION	RAD	GPM	PSI	PR.IN/HR.	DETAIL
①	HUNTER	PROS-06-PRS40-CV-MP1000-90	MP ROTATOR ADJ 90°-210°	8-15'	.21-.42	40	0.41/0.48	11/SHT.L6
②	HUNTER	PROS-06-PRS40-CV-MP1000-360	MP ROTATOR 360°	8-15'	.75	40	0.41/0.48	11/SHT.L6
③	HUNTER	PROS-06-PRS40-CV-MP CORNER	MP ROTATOR ADJ 45°-105°	8-15'	.39	40	0.41/0.48	11/SHT.L6
④	HUNTER	PROS-06-PRS40-CU-MP-SS-530HT	MP ROTATOR SIDE STRIP 5x30"	5-30'	.4-4.5	40	0.41/0.48	11/SHT.L6
	HUNTER	PROS-06-PRS40-CV-MP800-90	MP ROTATOR ADJ 90°-210°	6-15'	.23-.42	40	0.83/0.96	11/SHT.L6
	HUNTER	PROS-06-PRS40-CV-50-PCN	2 POP-UP BUBBLER PER SYMBOL		0.5	30		17/SHT.L6

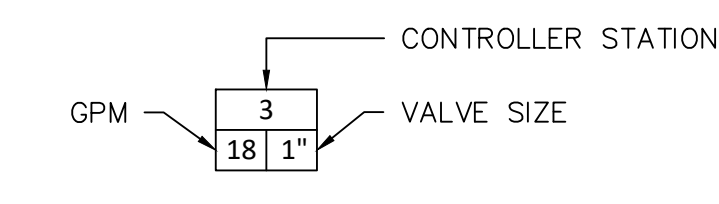
MISCELLANEOUS

CONNECTION FROM PVC LATERAL LINE TO DRIP IRRIGATION

LATERAL PIPE SIZING:

SCH. 40 PIPE	GPM	VEL.
3/4"	0-7	4.42
1"	8-12	4.62
1-1/4"	13-22	4.85
1-1/2"	23-30	4.84
2"	31-50	4.87

VALVE CALLOUT:



IRRIGATION NOTES:

1. IRRIGATION SYSTEM IS SHOWN DIAGRAMMATICALLY. LOCATE ALL PIPE AND EQUIPMENT WITHIN PLANTING AREAS WHERE EVER POSSIBLE.
2. USE CHECK VALVE TO PREVENT LOW HEAD DRAINAGE WHERE NEEDED.
3. ADJUST ALL HEADS TO AVOID OVERTHROW ONTO WALLS, WALKS, WINDOWS. REDUCE RADIUS WITH ADJUSTABLE SCREW FOR UNIFORM COVERAGE AND MINIMUM OVERTHROW OF AREA.
4. TREE LOCATIONS TAKE PRECEDENCE OVER IRRIGATION PIPING AND BUBBLER LINES. STAKE TREE LOCATIONS PRIOR TO TRENCHING.
5. CONTRACTOR SHALL ARRANGE AND PAY FOR ALL NECESSARY CONNECTIONS FOR 120V A.C. ELECTRICAL SERVICE TO THE IRRIGATION CONTROLLER.
6. CONTRACTOR SHALL INSPECT THE SITE AND VERIFY ALL CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. TO ALLOW FOR ADEQUATE IRRIGATION COVERAGE AS SHOWN ON PLAN, ADJUST BUBBLE HEAD SPRAY HEADS TO COMPENSATE FOR CHANGE IN AREAS.
7. TO ENSURE PROPER LOCATIONS OF IRRIGATION SLEEVES INSTALLATION COORDINATE LOCATION OF MAINLINE BUBBLER LINE AND CONTROL WIRES WITH ALL OTHER RELATED TRADES AS REQUIRED.
8. ALL BRASS FITTINGS TO BE RED BRASS TYPICAL.
9. USE 3/4" TEFLON TAPE ON ALL THREAD CONNECTIONS.
10. IRRIGATION SYSTEM IS DESIGNED FROM A STATIC WATER PRESSURE OF 65 P.S.I. & 22 G.P.M. FROM POTABLE SERVICE LINE TYPICAL. CONTRACTOR SHALL VERIFY WATER PRESSURE AT WORST CONDITION AND CONTACT THE LANDSCAPE ARCHITECT IF ANY INCONSISTENCIES OCCUR.
11. CONTROL WIRE SCHEDULE: (MAX LENGTH RUNS)

CONTROL/COMMON:	NO.14	NO.12	NO.10	NO.8
NO.14	1,700'	2,000'	2,400'	2,700'
NO.12		2,700'	3,300'	3,800'
NO.10			4,300'	5,200'
NO.8				6,700'
12. ABOVE WIRING SCHEDULE IS BASED ON A 24 VOLT AUTOMATIC IRRIGATION CONTROLLER & WIRE SIZE BASED ON OPERATING ONE VALVE AT A TIME.
13. ALL IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO STANDARDS AND SPECIFICATIONS.
14. NOTIFY LANDSCAPE ARCHITECT FOR COVERAGE TEST PRIOR TO PLANTING.
15. ANY PIPE NOT LABELED THAT IS DOWNSTREAM OF A 1" LATERAL, IS TO BE 3/4".
16. ALL IRRIGATION EQUIPMENT (EXCEPT UNDERGROUND) SHALL BE LOCATED MINIMUM OF 24" FROM ANY HARDSCAPE PAVING.
17. ALL ZONE ON-SITE SHALL HAVE DYNAMIC PRESSURE OF 50PSI OR LESS.
18. RAIN SENSOR SHALL BE MOUNTED ON 8' POLE AWAY FROM ANY IRRIGATION OVERSPRAY AND OVERHANGS. INSTALL PER MANUFACTURERS RECOMMENDATIONS.

PRIVATE CONTRACT

SHEET 5	CITY OF LA MESA	5 SHEETS
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IRRIGATION PLAN
 JOHNSON CONCEPTUAL LANDSCAPE PLAN
 CALIFORNIA COORDINATE INDEX XXX-XXXX

SEE CERTIFICATION

PERMIT NO:
TBD

This project has specified a WiFi-enabled irrigation controller to obtain weather information from an internet connection. For final inspection, the irrigation controller shall be connected to a functioning network and receive weather updates to qualify as a required weather-sensing capable irrigation controller in accordance with the City of La Mesa landscape ordinance (LMC Chapter 14.29).