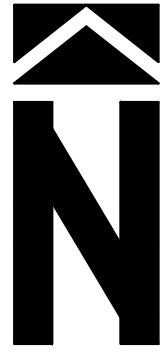


SITE PLAN

SCALE: 1"=10'-0"



LEGEND:

- 1 EXIST'G SIDEWALK & CURB
- 2 EXIST'G DRIVEWAY ON ADJACENT PROPERTY
- 3 EXIST'G 14'-8" HIGH SIGN FACADE
- 4 EXIST'G A/C TO REMAIN
- 5
- 6 LOCATION OF TRASH BINS
- 7 PARKING LOT LIGHT POST, 12 FT. TALL
AYS VISION SITE SMALL LED
- 8 EXIST'G 36"±/- HIGH CMU WALL W/
5'-0" WOOD FENCE ON TOP, NOT ON
PROPOSED SITE
- 9 NEW 6" LANDSCAPE CURB
- 10 PARKING WHEEL STOPS, TYP.
- 11 PATH OF TRAVEL CONFORMS TO ADA
STANDARDS FOR WALKWAY SLOPES
- 12 3' DETECTABLE WARNING STRIP
- 13 EXISTING RETRACTABLE AWNING
- 14 WALL MOUNT LUMINARE XSP SERIES
- 15 PROPOSED LANDSCAPE

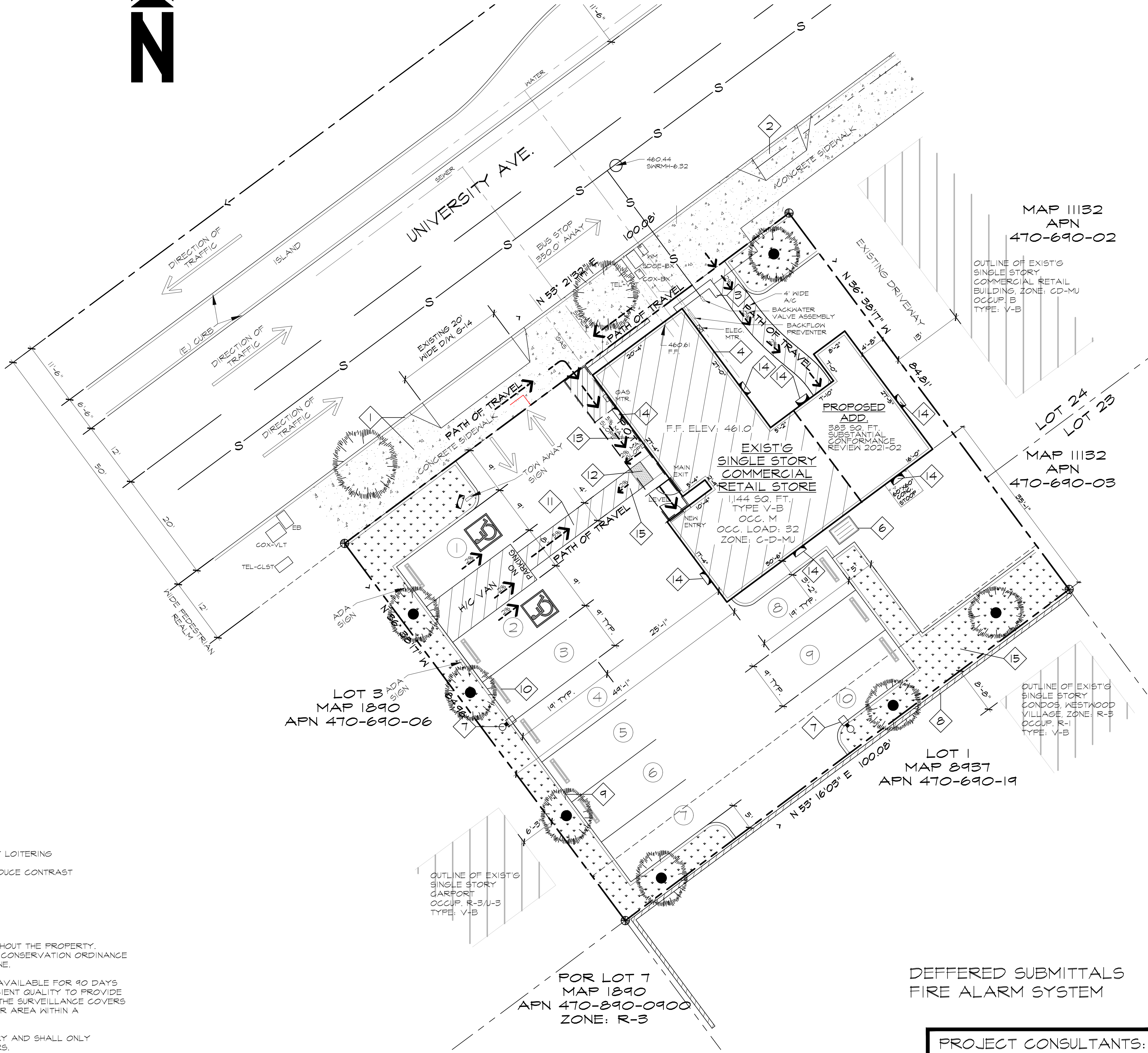
GENERAL NOTE:

- SITE LIGHTING
- THE PROPERTY SHALL BE WELL LIT AT NIGHT TO PREVENT LOITERING AND ELIMINATE HIDING PLACES. LIGHTING SHOULD BE CONSISTENT TO REDUCE CONTRAST BETWEEN SHADOWS AND ILLUMINATED AREAS.
- BUILDING LIGHTING SHALL:
- ILLUMINATE BUILDING NUMBERS
 - ILLUMINATE BUILDING ACCESSSES
 - ILLUMINATE FRONT AND BACK AREAS
- PARKING AREA SHALL BE WELL LIT WITH UNIFORMITY THROUGHOUT THE PROPERTY.
- SITE LANDSCAPE SHALL BE CONSISTENT WITH THE WATER CONSERVATION ORDINANCE AND LANDSCAPE REQUIREMENTS OF THE UNDERLYING ZONE.
- A 24-HOUR FIXED CAMERA VIDEO SURVEILLANCE SHALL BE AVAILABLE FOR 90 DAYS AFTER RECORDING. THE RECORDING SHALL BE OF A SUFFICIENT QUALITY TO PROVIDE IDENTIFICATION OF ANY INDIVIDUAL BEING RECORDED; THAT THE SURVEILLANCE COVERS EVERY INTERIOR AREA AND ROOM AND ADJACENT PERIMETER AREA WITHIN A MINIMUM OF 50 FEET; AND THAT THE CITY OF LA MESA.
- SIGNS SHALL BE POSTED ON THE OUTSIDE OF THE DISPENSARY AND SHALL ONLY CONTAIN THE NAME OF THE BUSINESS, LIMITED TO TWO COLORS.

- ALL UNSOLD MEDICAL CANNABIS WILL NOT BE DISPOSED OF IN THE GARBAGE AT ANY TIME AND WILL BE LOGGED.
- ALL UNSOLD MEDICAL CANNABIS WILL BE DISPOSED OF IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE STATE OF CALIFORNIA FOR THE DESTRUCTION OF ALL HAZARDOUS MATERIALS.

THIS CUP IS SUBJECT TO ALL REQUIREMENTS SPECIFIED UNDER LMMCO 24.23.

-SIGNS UNDER SEPARATE PERMIT.

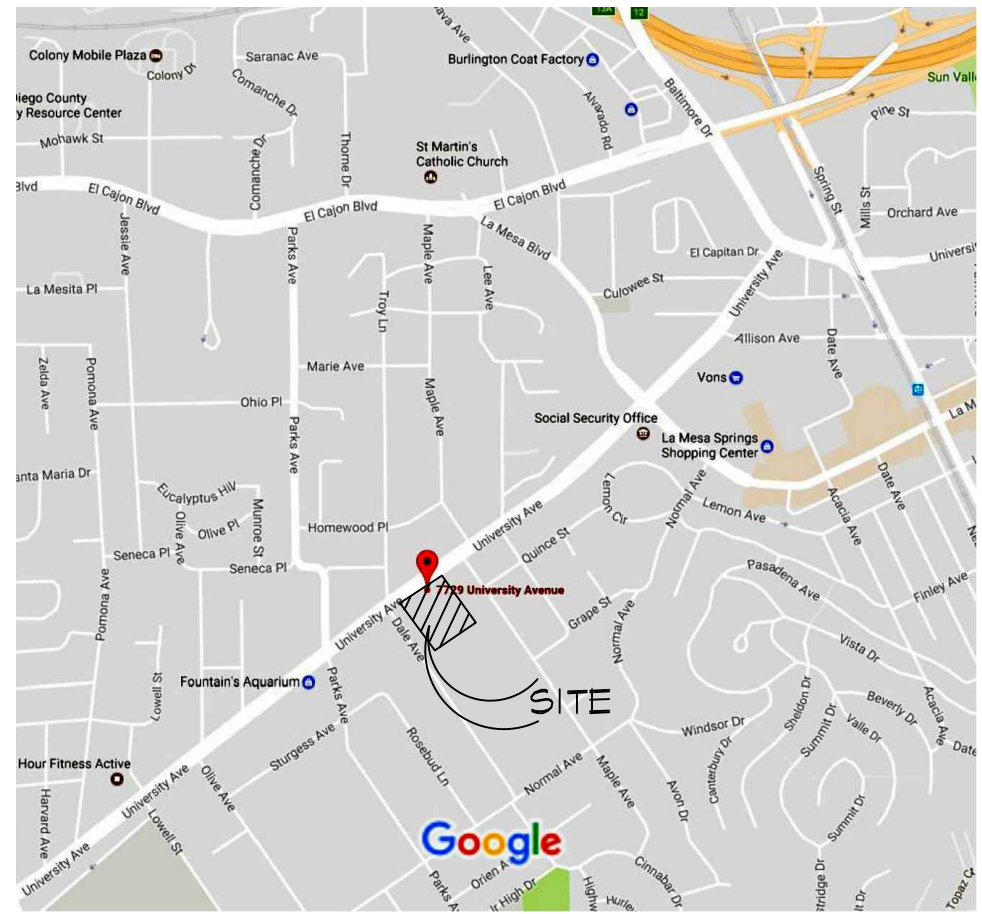


DEFERRED SUBMITTALS
FIRE ALARM SYSTEM

PROJECT CONSULTANTS:

DESIGNER:

AUSTIN & ASSOCIATES
ALAN LLOYD AUSTIN
1622 PIONEER WAY
EL CAJON, CA 92020
619-440-3624



VICINITY MAP:

NO SCALE

SITE DATA:

ZONE: C-D-MU
GENERAL PLAN: - MIXED USE URBAN
NEIGHBORHOOD: - LA MESA DALE - HELIX
(E) TYPE: - V-B
(E) OCCUPANCY: = B
PROPOSED TYPE: = V-B
PROPOSED OCCUPANCY: = B
LOT AREA: = 8,495 S.F. 0.195 AC
EXISTING BUILDING AREA: 1,144 SQ. FT.
PROPOSED AREA: 383 SQ. FT.
TOTAL AREA: 1,506 SQ. FT.
OCCUPANCY LOAD: 32

SETBACKS:

FRONT: 0'-0"
SIDES: 0'-0"
REAR: 10'-0"

PARKING:

REQUIRED PARKING:
RETAIL BUSINESS - 1 PER 250 S.F. OF BUILDING AREA
PARKING LOT/ D/W AREA: 4088 S.F.
BUILDING AREA: 1506 S.F. / 250 = 6.02 = 6 REQUIRED SPACES
(10) SPACES PROVIDED
(2) ADA SPACE - 9'x19'
(8) STANDARD SPACES - 9'x19'

LANDSCAPED AREAS:

TOTAL AREA L/S: 834 S.F.

SCOPE OF WORK:

RENEW CUP IT-16 W/SUBSTANTIAL CONFORMANCE REVIEW
2021-02

SHEET INDEX:

P - SITE PLAN
A-1 - PROPOSED FLOOR PLAN
A-2 - PROPOSED ELEVATIONS

LEGAL:

LOTS 1 AND 2 OF LA MESA DALE, IN THE CITY OF LA MESA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 1890 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY MARCH 1, 1926. EXCEPTING THEREFROM THE NORTHWESTERLY 20 FEET THEREOF AND TOGETHER WITH THAT PORTION OF THAT CERTAIN 15 FOOT WIDE ALLEY (VACATED).

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THE SURVEY IS THE MOST NORTHWESTERLY LINE OF LOT 1 OF WESTWOOD VILLAGE, BEING THE CENTERLINE OF THE CLOSED 15' WIDE ALLEY AS SHOWN ON THE MAP NO. 8437 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA
IE. N 53°16'03" E.

APN: 470-690-445-00
ADDRESS: 7729 UNIVERSITY AVE. LA MESA, CA
OWNER:

7729 LA MESA LLC
VENESSA NAIMI
2221 CAMINO DEL RIO S #207
SAN DIEGO, CA 92108
PH. #: 619-416-6917

REVISION BY

AUSTIN & ASSOCIATES
1622 PIONEER WAY EL CAJON, CA 92020
RESIDENTIAL & COMMERCIAL PLANNING AND DESIGN
MEMBER OF AMERICAN INSTITUTE OF BUILDING DESIGN & CALIFORNIA INSTITUTE OF BUILDING DESIGN

L I T
MARIJUANA DISPENSARY
7729 UNIVERSITY AVE., LA MESA, CA. 91942

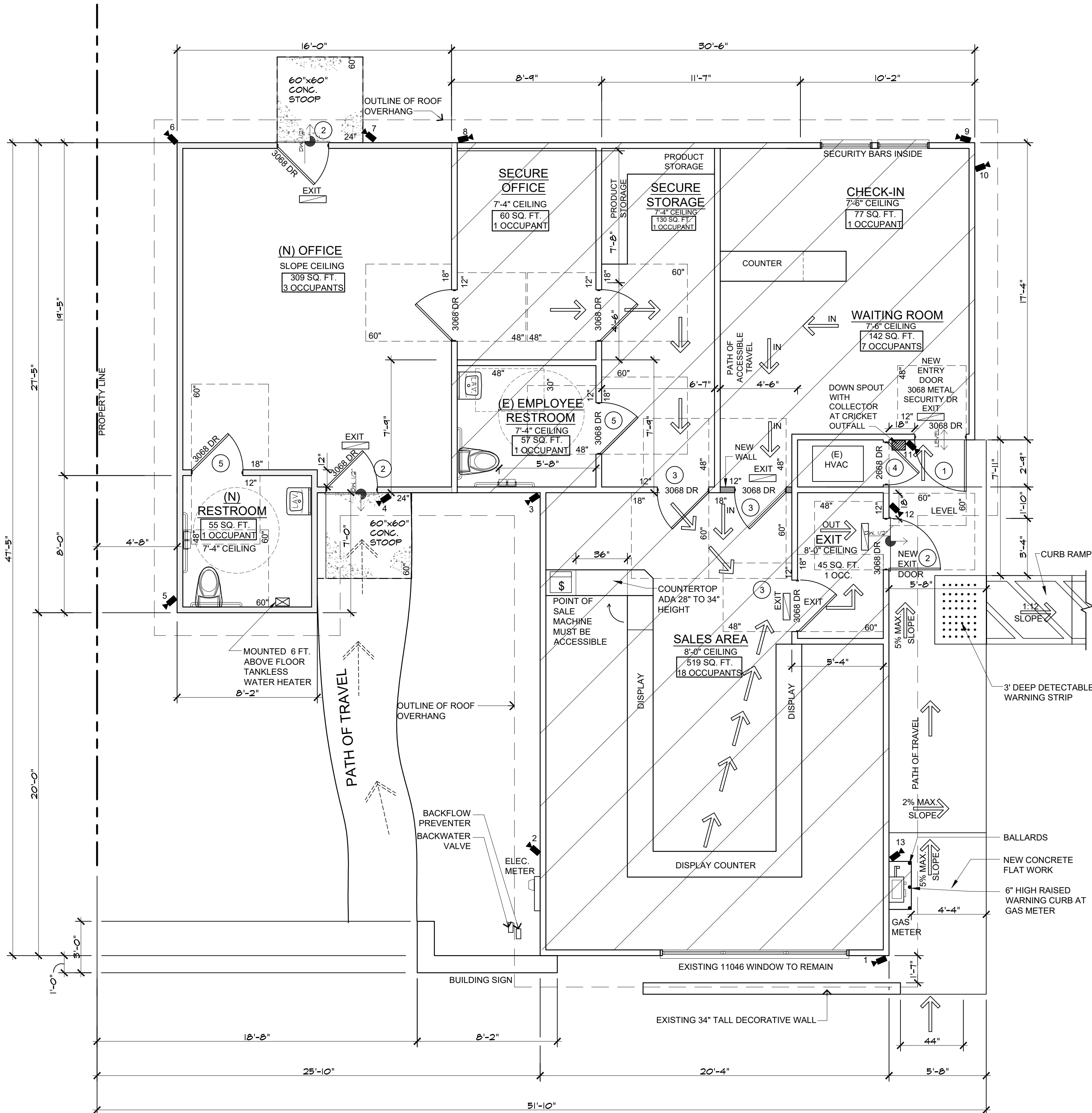
Alan Austin

JOB NAME: L I T
DATE: 2021
DR BY: OQ
CK BY: ALA
SCALE: AS SHOWN

SHEET
NUMBER
P
OF SHEETS

PLAN ABBREVIATIONS

©	AT	F.N.	FINISH NAIL	POC.	POCKET
A.B.	ANCHOR BOLT	F.O.S.	FACE OF STUD	R.	RISERS
SGD	SLIDING GLASS DOOR	F.P.	FIREPLACE	R.O.	ROUGH OPENING
X-Q	SLIDING GLASS WINDOW	F.V.	FLAT VALLEY	R.O.S	ROUGH SAWN
SH	SINGLE HUNG WINDOW	FND.	FOUNDATION	R.S	RESAWN
B.N.	BOUNDARY NAIL	FGL	FIBERGLASS	RAD	RADIUS
BLK	BLOCKING	FTG	FOOTING	RMV.	REMOVED
BM	BEAM	O.B.	GYPSUM BOARD	REQD	REQUIRED
BRG	BEARING	GFIC	GROUND FAULT CIRCUIT INTERRUPT	S&P	SHELF & POLE
CLG	CEILING	GL	GLASS	S.M.	SHEET METAL
CLR	CLEAR	H.B.	HOSE BIBB	SHT	SHEET
CMU	CONCRETE MASONRY UNIT	HDR	HEADER	SHTG	SHEATHING
COMPO	COMPOSITION	HTR	HEATER	SHWR	SHOWER
CONC.	CONCRETE	INT	INTERIOR	T&B	TOP & BOTTOM
CONT.	CONTINUOUS	M.B.	MACHINE BOLTS	T&G	TONGUE & GROOVE
D	DRYER	MC	MEDICINE CABINET	T.B	TOWEL BAR
D.F.	DOUGLAS FIR	MAX	MAXIMUM	T/S	TUB & SHOWER
DBL	DOUBLE	MIN	MINIMUM	TEMP	TEMPERED
DET	DETAIL	MIR	MIRROR	TYP	TYPICAL
DR	DOOR	O.C.	ON CENTER	U.O.N.	UNLESS OTHERWISE NOTED
DW	DISHWASHER	O.H.	OVERHANG	V.B.	VAPOR BARRIER
EXIST.	EXISTING	O/	OVER	W	WASHER
EXT	EXTERIOR	OBS.	OBSCURE	W.C.	WATER CLOSET
F.A.U.	FORCED AIR UNIT	OPNG	OPENING	W.P.	WATER PROOF
F.F.	FINISHED FLOOR	P.T.	PRESSURE TREATED	W/	WITH
F.G.	FINISHED GRADE			WH	WINDOW WATER HEATER



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND:

- = NEW WALLS, 2x4 STUDS @ 16" O/C
- = EXISTING WALLS, 2x4 STUDS @ 16" O/C

(E) BUILDING AREA = 1,144 SQ. FT.

SUBSTANTIAL CONFORMANCE 2021-02 ADD. = 318 SQ. FT.

RESTROOM = 65 SQ. FT.

TOTAL = 383 SQ. FT.

BUILDING INFO:

TYPE OF CONSTRUCTION: V-B

OCCUPANCY TYPE: B

OCCUPANT LOAD: 32

NOTE:

= ILLUMINATED EXIT SIGN PERMANENTLY WIRED w/ BATTERY BACKUP

= (13) CAMERAS

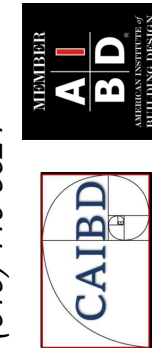
(N) = NEW

(E) = EXISTING

XXXX SQ. FT. X OCCUPANTS = INTERIOR SPACE FOR OCCUPANCY

REVISION BY

AUSTIN & ASSOCIATES
ALAN LLOYD AUSTIN
austinassociates1622@gmail.com
PH. (619) 440-3624



1622 PIONEER WAY, EL CAJON, CA 92020
FLOOR PLAN DESIGN
MEMBER OF AMERICAN INSTITUTE OF BUILDING DESIGN
CALIFORNIA INSTITUTE OF BUILDING DESIGN

L I T
MARIJUANA DISPENSARY
7729 UNIVERSITY AVE., LA MESA, CA. 91942

JOB NAME: L I T

DATE: 2021

DR BY: QQ

CK BY: ALA

SCALE: AS SHOWN

SHEET NUMBER

A-1

OF SHEETS

L I T

