

SITE PLAN
SCALE: 1"=10'

SHEET INDEX

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SCOPE OF WORK

SPECIAL PERMIT APPLICATION FOR 819 SQ FT OF PAVERS IN FRONT YARD OF S.F.D. ADDITIONALLY SCOPE INCLUDES ADDING NEW CURB OPENING AND DRIVEWAY APPROACH

LEGAL DESCRIPTION

ADDRESS: 4775 NORMANDIE PLACE LA MESA, CA 91942

APN: 469-250-03-00

LEGAL DESCRIPTION: LOT 23*- SAN DIEGO ASSESSOR'S MAP BOOK 469 PG. 25.

OWNER INFORMATION

NAME: MIKE ALLMAN
ADDRESS: 4775 NORMANDIE PL LA MESA, CA 91942
PHONE: (619) 504-9635

PROJECT TEAM:

DESIGNER AND CONTRACTOR
NAME: SO CAL DESIGN BUILD, INC.
CONTACT NAME: DAVID POTRA
ADDRESS: 10035 PROSPECT AVE, SUITE 102
SANTÉE, CA 92071
PHONE: (619) 448-0051
EMAIL: SERVICE@SOCALBUILDS.COM

BUILDING INFORMATION

GOVERNING AGENCY: LA MESA

ZONING OVERLAY: R1

YEAR BUILT: 1958

LOT SIZE: 9,400 S.F.

CONSTRUCTION TYPE: VB

OCCUPANCY GROUP: R3 & U

EXISTING NUMBER OF STORIES: 1

MAIN BUILDING SETBACKS:

- FRONT -15'
- REAR -15'
- SIDE -3'
- STREET SIDE -N/A

EXISTING BUILDING HEIGHT: 20'

CONNECTED TO PUBLIC SEWER: YES

SEWER DISTRICT: LA MESA

FIRE DISTRICT: HEARTLAND FIRE

IN FIRE ZONE: NO

BEACH OVERLAY ZONE: NO

COASTAL ZONE: NO

BUILDING CODE ANALYSIS (CALIFORNIA RESIDENTIAL CODE 2019): ONE-FAMILY DWELLING

PROPOSED TYPE OF CONSTRUCTION: WOOD-FRAMED, NOT FIRE RESISTANCE RATED.

NO AUTOMATIC FIRE SPRINKLER PROTECTION IN EXISTING RESIDENCE.
NO AUTOMATIC FIRE SPRINKLER PROTECTION IS REQUIRED.

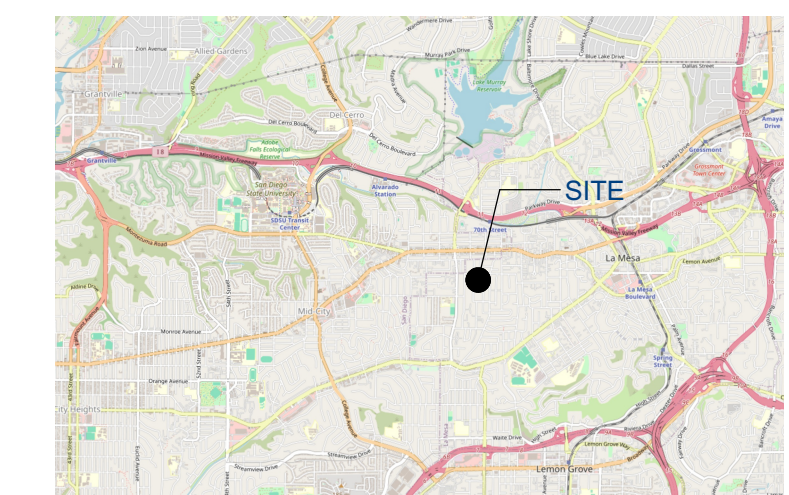
LEGEND

- G EXISTING NATURAL GAS METER POINT OF CONNECTION
- E EXISTING ELECTRICAL METER POINT OF CONNECTION
- W EXISTING WATER METER POINT OF CONNECTION
- S EXISTING SEWER POINT OF CONNECTION
- SFD - SINGLE FAMILY DWELLING
- SYS - SIDE YARD SETBACK
- FYS - FRONT YARD SETBACK
- RYS - REAR YARD SETBACK
- CURB
- P / L — PROPERTY LINE
- SIDE WALK
- (E) FENCE, HEIGHT AND MATERIAL AS NOTED IN PLANS
- SETBACK LINE
- S — SEWER LINE
- W — WATER LINE
- E — ELECTRICAL
- GAS

SITE PLAN NOTES

1. NO WORK IS PROPOSED WITHIN A PUBLIC EASEMENT
2. STORM WATER FROM PROPOSED DOWNSPOUTS AND IMPERVIOUS AREAS SHOULD BE ROUTED TO EITHER LANDSCAPE AREAS OR PLANTER BOXES PRIOR TO REACHING PUBLIC DRAIN SYSTEM
3. NO PROPOSED ELECTRICAL OR MECHANICAL WORK SHALL BE INSTALLED CLOSER THAN 4' TO PROPERTY LINE.
4. SURFACE WATER WILL DRAIN AWAY FROM BUILDING. SEE DRAINAGE PATTERN IN PLANS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. SECTION R401.3
5. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED BY THE DEVELOPER FROM OCTOBER 1 TO APRIL 30 ANNUAL. THE DEVELOPER SHALL MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THEIR INTENDED LIFE.

VICINITY MAP



OWNER/JOB NAME:
ALLMAN RESIDENCE
4775 NORMANDIE PLACE
LA MESA, CA 91942

DESIGNER/CONTRACTOR:
soCal DESIGN BUILD
HOME DESIGN & REMODELING

RJW

REVISION TABLE NUMBER	DATE	REVISOR	DESCRIPTION
01	03-19-2024	RJW	FOR CONSULTANTS

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SITE PLAN & FLOOR PLAN

DATE: 9/16/24

SHEET:

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