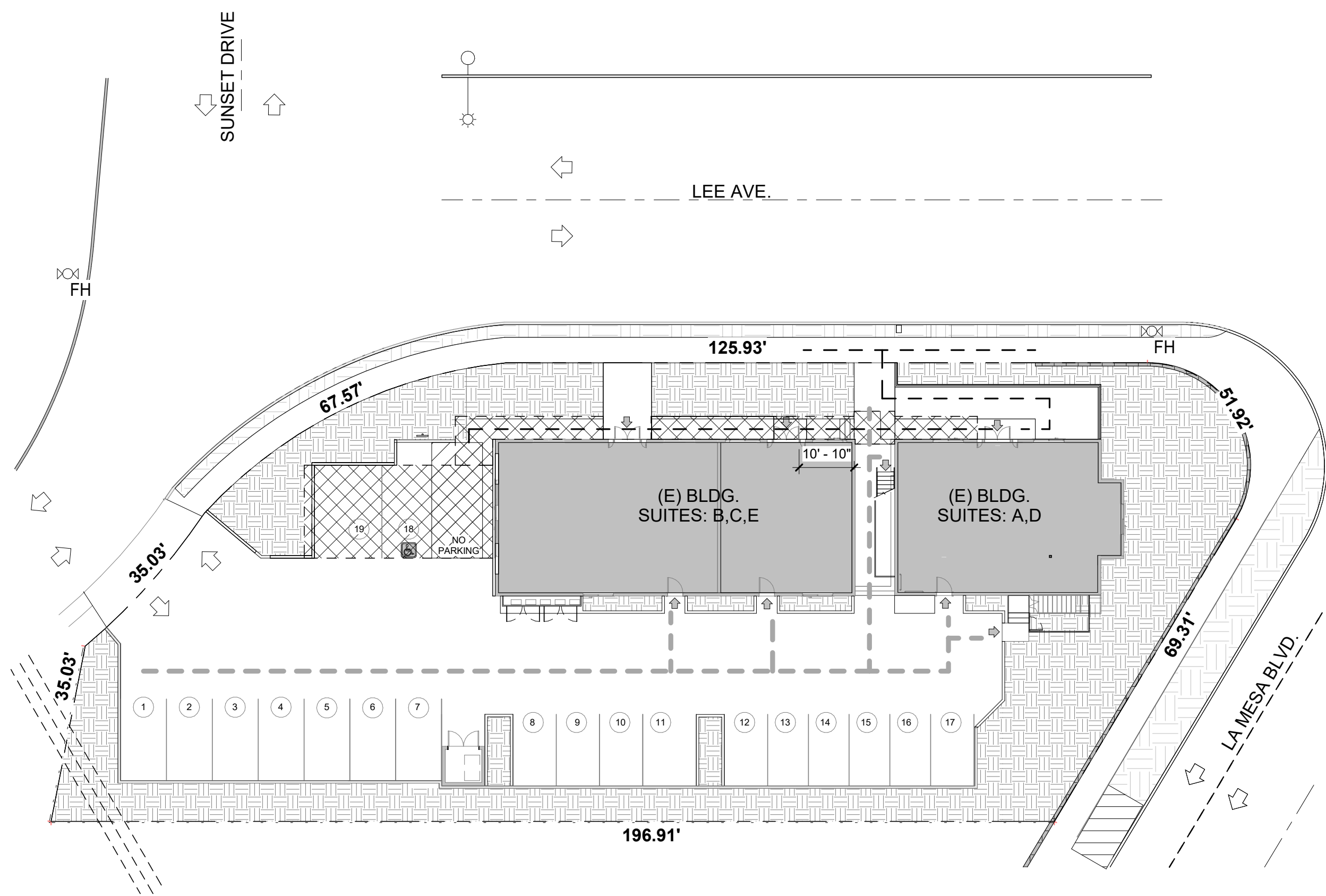


7811 LA MESA BLVD

CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY

SITE PLAN - SCOPE OF WORK - EXISTING CONDITIONS BASED ON PERMIT DAB 87-03

SCALE: 1" = 20'



SITE PLAN LEGEND

- (E) BUILDING FOOTPRINT
- AREA OF WORK REQUIRED PER: CBC 11B 202.4.8
- PROPERTY LINE
- STREET CENTERLINE
- DIRECTION OF STREET TRAFFIC
- MTS BUS STOP
- FIRE HYDRANT
- STREET LIGHT POLE
- OVERHEAD ELECTRICAL LINES
- PARKING SPACE COUNT
- PROPOSED ACCESSIBLE PATH OF TRAVEL
- NON ACCESSIBLE PATH
- (E) OCCUPANT SUITE ENTRANCE
- LANDSCAPED AREA



CBC 11B-202.4.8 PATH OF TRAVEL REQUIREMENTS IN ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS

CBC 11B-202.4 - EXCEPTION 8:

WHEN THE ADJUSTED CONSTRUCTION COST, AS DEFINED, IS LESS THAN OR EQUAL TO THE CURRENT VALUATION THRESHOLD, AS DEFINED, THE COST OF COMPLIANCE WITH SECTION 11B-202.4 SHALL BE LIMITED TO 20 PERCENT OF THE ADJUSTED CONSTRUCTION COST OF ALTERATIONS, STRUCTURAL REPAIRS OR ADDITIONS. WHEN THE COST OF FULL COMPLIANCE WITH SECTION 11B-202.4 WOULD EXCEED 20 PERCENT, COMPLIANCE SHALL BE PROVIDED TO THE GREATEST EXTENT POSSIBLE WITHOUT EXCEEDING 20 PERCENT.

WHEN THE ADJUSTED CONSTRUCTION COST, AS DEFINED, EXCEEDS THE CURRENT VALUATION THRESHOLD, AS DEFINED, AND THE ENFORCING AGENCY DETERMINES THE COST OF COMPLIANCE WITH SECTION 11B-202.4 IS AN UNREASONABLE HARDSHIP, AS DEFINED, FULL COMPLIANCE WITH SECTION 11B-202.4 SHALL NOT BE REQUIRED. COMPLIANCE SHALL BE PROVIDED BY EQUIVALENT FACILITATION OR TO THE GREATEST EXTENT POSSIBLE WITHOUT CREATING AN UNREASONABLE HARDSHIP, BUT IN NO CASE SHALL THE COST OF COMPLIANCE BE LESS THAN 20 PERCENT OF THE ADJUSTED CONSTRUCTION COST OF ALTERATIONS, STRUCTURAL REPAIRS OR ADDITIONS. THE DETAILS OF THE FINDING OF UNREASONABLE HARDSHIP SHALL BE RECORDED AND ENTERED INTO THE FILES OF THE ENFORCING AGENCY AND SHALL BE SUBJECT TO CHAPTER 1, SECTION 1.9.1.5, SPECIAL CONDITIONS FOR PERSONS WITH DISABILITIES REQUIRING APPEALS ACTION RATIFICATION.

FOR THE PURPOSES OF THIS EXCEPTION, THE ADJUSTED CONSTRUCTION COST OF ALTERATIONS, STRUCTURAL REPAIRS OR ADDITIONS SHALL NOT INCLUDE THE COST OF ALTERATIONS TO PATH OF TRAVEL ELEMENTS REQUIRED TO COMPLY WITH SECTION 11B-202.4.

IN CHOOSING WHICH ACCESSIBLE ELEMENTS TO PROVIDE, PRIORITY SHOULD BE GIVEN TO THOSE ELEMENTS THAT WILL PROVIDE THE GREATEST ACCESS IN THE FOLLOWING ORDER:

1. AN ACCESSIBLE ENTRANCE;
2. AN ACCESSIBLE ROUTE TO THE ALTERED AREA;
3. AT LEAST ONE ACCESSIBLE RESTROOM FOR EACH SEX OR ONE ACCESSIBLE UNISEX (SINGLE-USER OR FAMILY) RESTROOM;
4. ACCESSIBLE TELEPHONES;
5. ACCESSIBLE DRINKING FOUNTAINS; AND
6. WHEN POSSIBLE, ADDITIONAL ACCESSIBLE ELEMENTS SUCH AS PARKING, SIGNS, STORAGE AND ALARMS.

IF AN AREA HAS BEEN ALTERED WITHOUT PROVIDING AN ACCESSIBLE PATH OF TRAVEL TO THAT AREA, AND SUBSEQUENT ALTERATIONS OF THAT AREA OR A DIFFERENT AREA ON THE SAME PATH OF TRAVEL ARE UNDERTAKEN WITHIN THREE YEARS OF THE ORIGINAL ALTERATION, THE TOTAL COST OF ALTERATIONS TO THE AREAS ON THAT PATH OF TRAVEL DURING THE PRECEDING THREE-YEAR PERIOD SHALL BE CONSIDERED IN DETERMINING WHETHER THE COST OF MAKING THAT PATH OF TRAVEL ACCESSIBLE IS DISPROPORTIONATE.

SHEET INDEX

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G003	GENERAL NOTES
G111	ACCESSIBILITY DETAILS
G112	SIGNAGE AND PARKING DETAILS
G201	OCCUPANCY AND EGRESS PLAN
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A110	ENLARGED SITE PLANS OF PROPOSED WORK (CBC 11B-202.4)
A200	DEMO FLOOR PLANS (PER PERMIT DAB 87-03)
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A202	FLOOR PLAN & RCP - 2ND FLR. SUITE 'E'
A251	EXISTING ROOF PLAN (TO REMAIN)
A301	EXISTING / PROPOSED WEST ELEVATION & STAIR / RAMP LANDING SECTION
A601	EXISTING - DOOR AND WINDOW SCHEDULES
M001	MECHANICAL LEGEND, NOTES AND SCHEDULE
M201	MECHANICAL FLOOR PLAN 1ST FLOOR SUITE 'A'
M202	MECHANICAL FLOOR PLAN 2ND FLOOR SUITE 'E'
P001	PLUMBING LEGEND AND NOTES
P002	PLUMBING FIXTURE AND CALCULATIONS
P201	PLUMBING FLOOR PLAN 1ST FLOOR SUITE 'A'
E001	ELECTRICAL SYMBOLS, LEGEND AND NOTES
E010	SINGLE LINE DIAGRAM, PANEL SCHEDULES AND ELECT. NOTES
E100	ELECTRICAL SITE PLAN
E110	POWER / LIGHTING AND PHOTOMETRIC PLANS - SUITE 'A'
E120	POWER / LIGHTING AND PHOTOMETRIC PLANS - SUITE 'E'
E301	GENERAL DETAILS
TOTAL:	28

PROJECT INFORMATION

ADDRESS:	7811 LA MESA BLVD, LA MESA, CA. 91942
LEGAL DESCRIPTION:	LOT 3 ROSELAND HTS. MAP 1506 CITY OF LA MESA DEC. 16, 1912. THOMAS BROS MAP 62-C1
APN: LOT: MAP:	470-173-0100 3 001506
ZONING: OVERLAY ZONE:	RB RB - D - MU
OCCUPANCY: CONSTRUCTION TYPE: SPRINKLERED:	V-A NO
EXISTING USE: PROPOSED USE:	B B , I-4
GROSS LEASEABLE AREA:	5,250 SF
PROJECT APPLICANT LEASE AREA:	1,219 SF - SUITE 'A' 780 SF - SUITE 'E'
TOTAL APPLICANT LEASE AREA:	1,979 SF

PARKING TABLE

GROSS LEASABLE AREA = 5,250 SF / 250 SF
= 21 REQUIRED PARKING SPACES

DAB 87-03, CONDITIONS OF APPROVAL
REQUIRES = 20 PARKING SPACES

EXISTING PARKING SPACES ON SITE:
COMPACT = 10
REGULAR = 8
ADA VAN PARKING = 1
TOTAL 19

PROPOSED PARKING SPACES ON SITE:
COMPACT = 10
REGULAR = 9
ADA VAN PARKING = 1
TOTAL 20

ZONING DATA

SETBACKS:	
FRONT:	15'
SIDE:	10'
REAR:	10'
HEIGHT:	30'

LOT COVERAGE:	
MAX COVERAGE:	UNLIMITED
(E) LOT COVERAGE:	3,900 SF
(N) LOT COVERAGE:	0 SF

GOVERNING CODES

2022	California Residential Code, Title 24, part 2.5
2022	California Green Building Standards Code, Title 24, part 11
2022	California Building Code, Title 24, part 2, Volumes I and II
2022	California Mechanical Code, Title 24, part 4
2022	California Plumbing Code, Title 24, part 5
2022	California Fire Code, Title 24, part 9
2022	California Electrical Code, Title 24, part 3
2022	California Building Energy Efficiency Standards, Title 24, part 6
2018	International Building Code

SCOPE OF WORK

CONVERT OFFICE SPACE TO COMMUNITY CARE FACILITY
SITE WORK PROPOSED
PER: CBC11B-202.4.8
(SEE ADDITIONAL CODE INFORMATION BELOW)

PROJECT OWNER

HOPE INC.
ARTURO CAMACHO JR.
3225 OLIVE ST.
LEMON GROVE, CA 91945
PH. 619.933.3077
FAX. 619.314.6090
HOPEINCADC5@GMAIL.COM

*RESPONSIBLE PARTY OF WATER AND SEWER

PROJECT TEAM

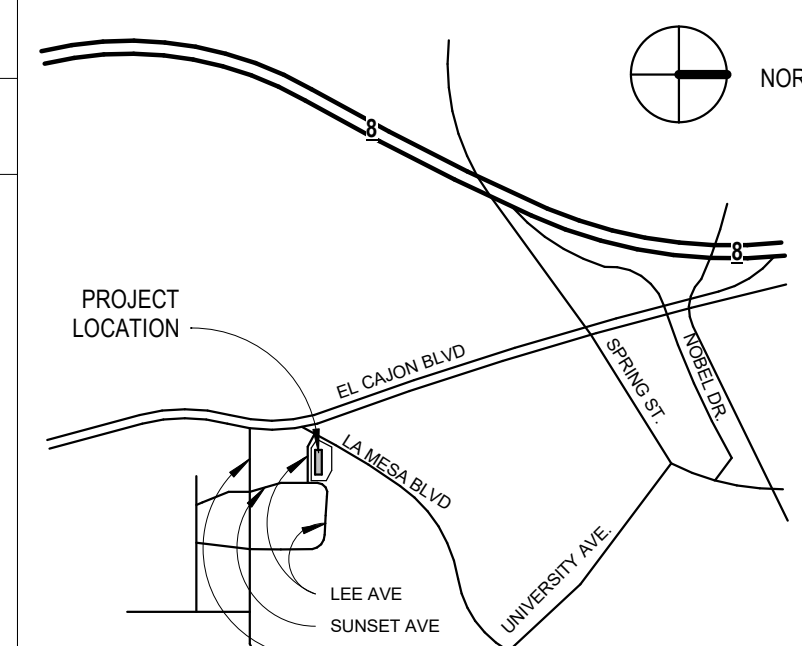
ARCHITECT:
ARCHITECTS LOCAL
CONTACT: STEVE WALDRON
740 13TH ST. STE. 504
SAN DIEGO, CA. 92101
o. 916.545.2512 x.202
STEW@ARCHITECTSLOCAL.COM

CONTACT: RICK NUSS
740 13TH ST. STE. 504
SAN DIEGO, CA. 92101
o.619.535.0537 x.107
RICKN@ARCHITECTSLOCAL.COM

MECHANICAL / PLUMBING ENGINEER:
VANDERVEEN ENGINEERING CONSULTANTS
CONTACT: ANDREW BALKWELL
1401 N. EL CAMINO REAL, SUITE 201
SAN CLEMENTE, CA
951.795.5172
JKV@VANDERVEENENG.COM

ELECTRICAL ENGINEER:
ARB ELECTRIC
CONTACT: ANDREW BALKWELL
1401 N. EL CAMINO REAL, SUITE 201
SAN CLEMENTE, CA
949.280.9743
INFO@ARBELECTRIC.COM

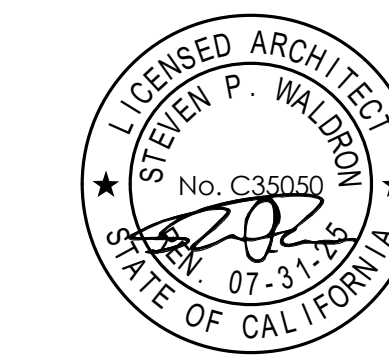
VICINITY MAP



HOPE INC.

7811 LA MESA BLVD

CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY



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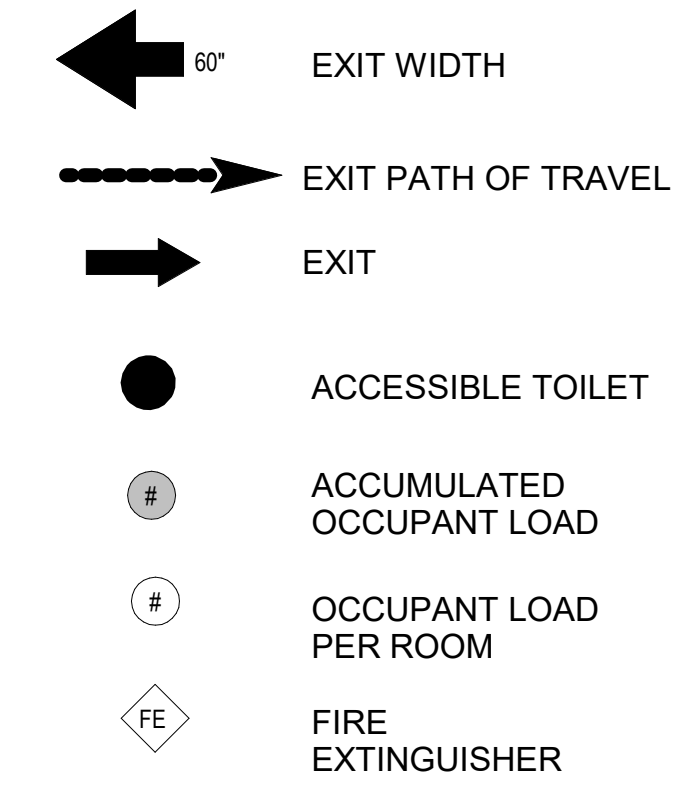
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TITLE SHEET

G001

EGRESS LEGEND



EGRESS PLAN - GENERAL NOTES

I-4 / SUITE 'A' EGRESS SUMMARY:

- TOTAL OCCUPANTS = 38, SEE TABLE BELOW
- EXIT TRAVEL DISTANCE ALLOWED = 150'-0" (PER CBC TABLE 1017.2)
- COMMON PATH OF TRAVEL ALLOWED = 75'-0" (PER CBC TABLE 1006.2.1)
- EXIT WIDTH PER OCCUPANT - 0.2 (PER CBC 1005.3.2)
- TOTAL EXIT WIDTH REQUIRED = 38 * 0.2 = 7.6"
- TOTAL EXIT WIDTH PROVIDED = 32" MIN IN ALL AREAS
- MAXIMUM OVERALL DIAGONAL OF SUITE = 49'-1"
- SEPARATION OF EXITS = 31' - 8"
- THIS COMPLIES (> THAN 1/2) PER CBC FOR NON-SPRINKLERED AREAS.

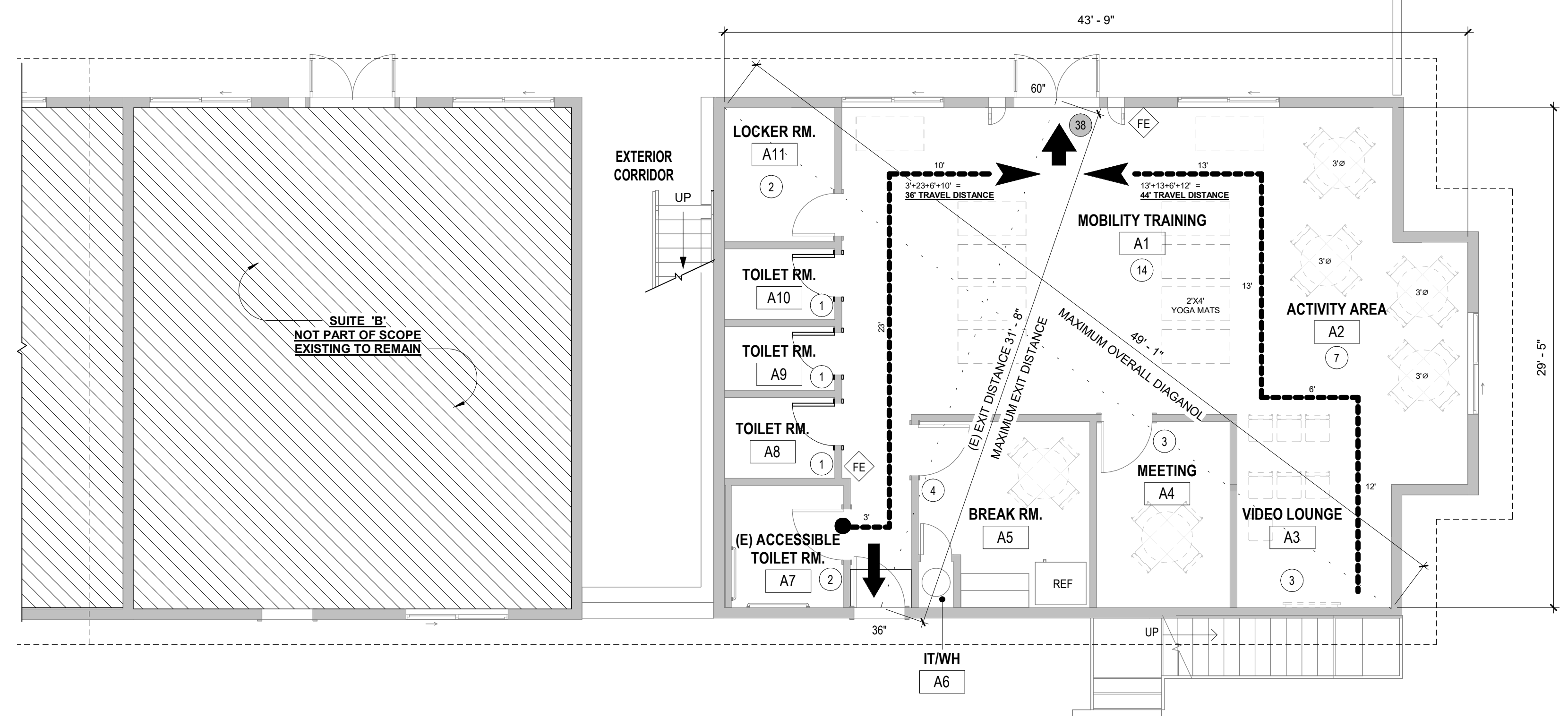
EXIT WIDTH CALCULATIONS

- EGRESS DOORS MAY BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES ON EGRESS SIDE GIVEN:
- ANY DOOR LOCKING DEVICE MUST BE READILY DISTINGUISHABLE AS LOCKED.
- SIGNAGE DETAILED ON G112 IS PERMANENTLY INSTALLED ON OR ADJACENT TO EACH EGRESS DOOR.
- USE OF KEY-OPERATED LOCK DEVICES HAS NOT BEEN REVOKED BY THE BUILDING OFFICIAL.

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CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY



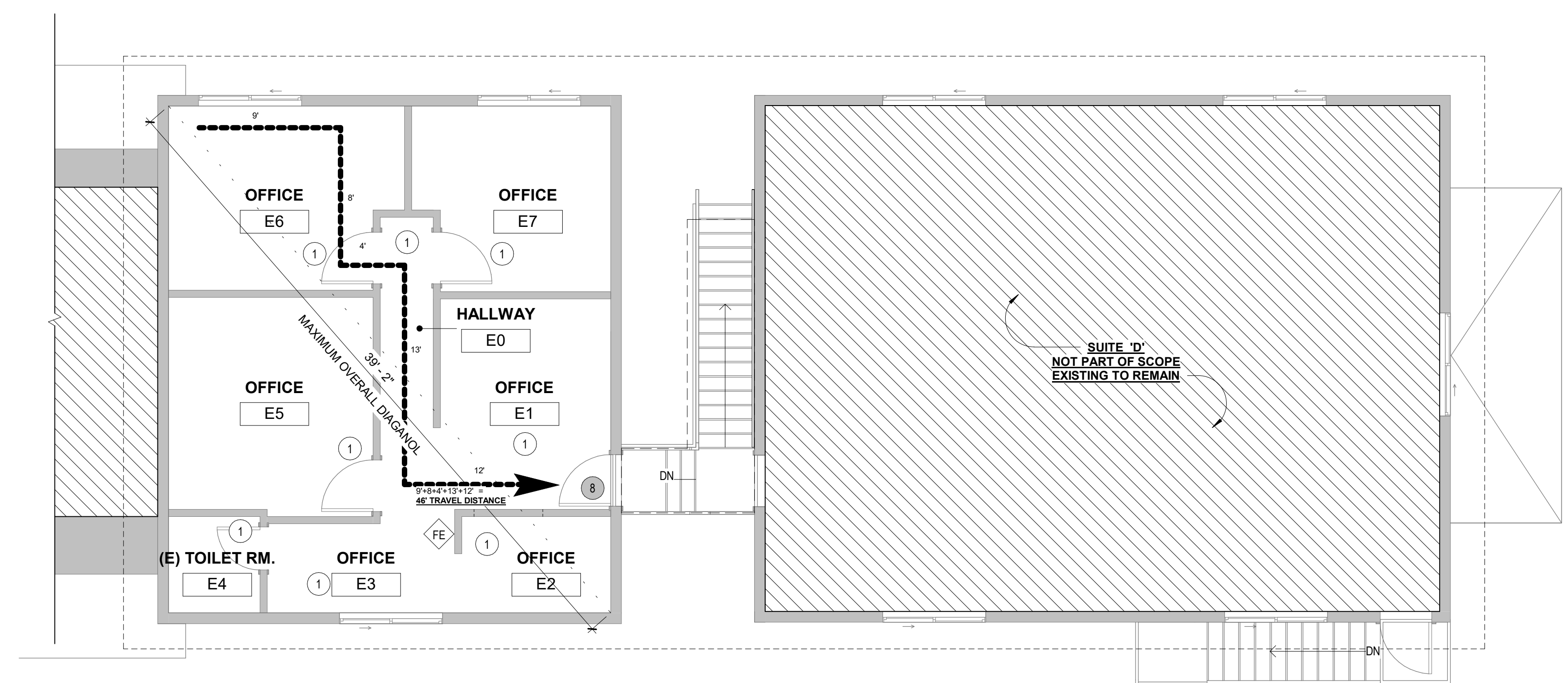
1 1ST FLR. - SUITE 'A' - EGRESSPLAN
3/16" = 1'-0"

OCCUPANT LOAD PER TABLE 1004.1.1 - SUITE 'E'					
NUMBER	NAME	AREA	OCCUPANCY	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
E0	HALLWAY	55 SF	B - BUSINESS AREA	150	1
E1	OFFICE	121 SF	B - BUSINESS AREA	150	1
E2	OFFICE	49 SF	B - BUSINESS AREA	150	1
E3	OFFICE	58 SF	B - BUSINESS AREA	150	1
E4	(E) TOILET RM.	30 SF	B - BUSINESS AREA	150	1
E5	OFFICE	150 SF	B - BUSINESS AREA	150	1
E6	OFFICE	139 SF	B - BUSINESS AREA	150	1
E7	OFFICE	117 SF	B - BUSINESS AREA	150	1

TOTAL OCCUPANTS: 8

OCCUPANT LOAD PER TABLE 1004.1.1 - SUITE 'A'					
NUMBER	NAME	AREA	OCCUPANCY	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
A1	MOBILITY TRAINING	459 SF	I-4 ADULT DAY CARE	35	14
A2	ACTIVITY AREA	233 SF	I-4 ADULT DAY CARE	35	7
A3	VIDEO LOUNGE	103 SF	I-4 ADULT DAY CARE	35	3
A4	MEETING	86 SF	I-4 ADULT DAY CARE	35	3
A5	BREAK RM.	103 SF	I-4 ADULT DAY CARE	35	4
A6	IT/WH	6 SF	ACCESSORY	-	-
A7	(E) ACCESSIBLE TOILET RM.	47 SF	I-4 ADULT DAY CARE	35	2
A8	TOILET RM.	31 SF	I-4 ADULT DAY CARE	35	1
A9	TOILET RM.	24 SF	I-4 ADULT DAY CARE	35	1
A10	TOILET RM.	27 SF	I-4 ADULT DAY CARE	35	1
A11	LOCKER RM.	51 SF	I-4 ADULT DAY CARE	35	2

TOTAL OCCUPANTS: 38



2 2ND FLR. - SUITE 'E' - EGRESS PLAN
3/16" = 1'-0"

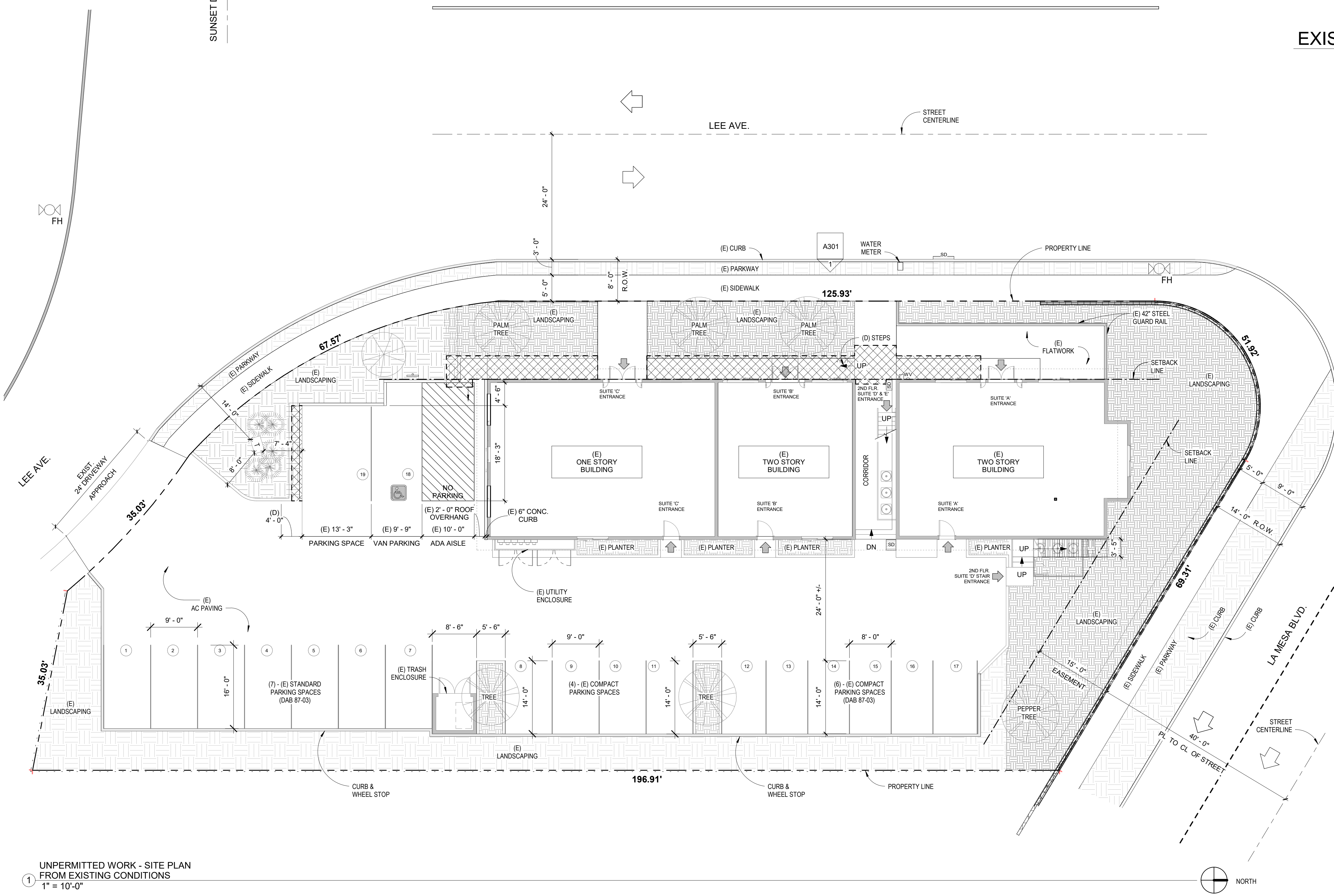
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OCCUPANCY AND EGRESS PLAN

G201

SUNSET DRIVE



1 UNPERMITTED WORK - SITE PLAN FROM EXISTING CONDITIONS
 1" = 10'-0"

GENERAL NOTES

1. EXISTING CONDITIONS OF CURRENT SITE PLAN PER APPROVED CITY OF LA MESA PERMIT: **DAB 87-03**

EXIST. SITE PLAN LEGEND

- - - PROPERTY LINE
- SETBACK LINE
- ▬ (E) BUILDING WALLS
- - - (E) BUILDING WALLS
- ➔ (E) OCCUPANT SUITE ENTRANCE
- [Pattern] (E) LANDSCAPE (PER DAB 87-03)
- [Pattern] (E) LANDSCAPE
- [Hatched] (D) AREA FOR ACCESSIBLE IMPROVEMENTS >20% OF PROJECT SCOPE
- ▬ (E) 6" x 6" CONCRETE CURB (PER DAB 87-03 PERMIT)
- ▬ (E) 6" x 6" CONCRETE CURB
- ▬ (D) 6" x 6" CONCRETE CURB
- - - (E) ROOF OVERHANG ABOVE
- - - (E) PARKING STRIPING
- (E) PARKING SPACE
- ⊖ (N) PARKING SPACE (108" WIDE X 216" LONG, MIN.)
- ⊕ (E) ADA PARKING STALL
- ⊕ (E) ADA PARKING SIGN
- - - STREET CENTERLINE
- - - (E) STREET STRIPING
- ➔ DIRECTION OF STREET TRAFFIC
- FH (E) FIRE HYDRANT
- ☀ (E) STREET LIGHT POLE
- ⊖ (E) PEPPER TREE (DAB 87-03)
- ⊖ (E) TREE
- ⊖ (E) SHRUB
- ▬ (E) 5' HIGH FENCE
- ▬ (E) 2' HIGH ROCK WALL
- ⊖ (E) OUTDOOR A/C UNIT
- ⊖ (E) OUTDOOR TRANSFORMER
- ⊖ (E) ELECTRICAL METER
- SD (E) STORM DRAIN
- ⊖ (E) WATER SHUT OFF VALVE ACCESS BOX WITH PAD LOCK

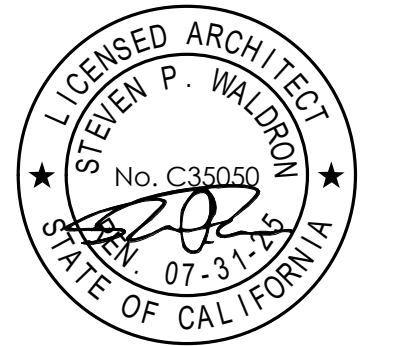


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HOPE INC.

7811 LA MESA BLVD

CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY



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EXISTING SITE PLAN

GENERAL NOTES

1. EXISTING CONDITIONS OF CURRENT SITE PLAN PER APPROVED CITY OF LA MESA PERMIT: **DAB 87-03**

ACCESSIBLE SITE PLAN LEGEND

- - - - - PROPERTY LINE
- . - . - SETBACK LINE
- - - (E) BUILDING WALLS
- - - (E) BUILDING WALLS
- ➡ (E) OCCUPANT SUITE ENTRANCE
- [Landscape Pattern] (E) LANDSCAPE (PER DAB 87-03)
- [Landscape Pattern] (E) LANDSCAPE
- [X-hatch Pattern] (D) AREA FOR ACCESSIBLE IMPROVEMENTS >20% OF PROJECT SCOPE
- [Double Line] (E) 6" x 6" CONCRETE CURB (PER DAB 87-03 PERMIT)
- [Single Line] (E) 6" x 6" CONCRETE CURB
- [Dashed Line] (D) 6" x 6" CONCRETE CURB
- [Dotted Line] (E) ROOF OVERHANG ABOVE
- [Line with Tick] (E) PARKING STRIPING
- [Line with Tick] (D) PARKING STRIPING TO BE RELOCATED
- [Circle with Dot] (E) PARKING SPACE
- [Square with Wheelchair] (E) ADA PARKING STALL
- [Square with Sign] (E) ADA PARKING SIGN
- - - STREET CENTERLINE
- . - . (E) STREET STRIPING
- ➡ DIRECTION OF STREET TRAFFIC
- [Circle with X] (E) FIRE HYDRANT
- [Sun Symbol] (E) STREET LIGHT POLE
- [Circle with Spokes] (E) PEPPER TREE (DAB 87-03)
- [Circle with Spokes] (E) TREE
- [Starburst] (E) SHRUB
- [Line with Tick] (E) 5' HIGH FENCE
- [Line with Tick] (E) 2' HIGH ROCK WALL
- [Circle with X] (E) OUTDOOR A/C UNIT
- [Square with T] (E) OUTDOOR TRANSFORMER
- [Square with G] (E) GAS METER
- [Square with E] (E) ELECTRICAL METER
- [Square with SD] (E) STORM DRAIN
- [Square with M] (E) MAIL BOX

HOPE INC.

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CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY



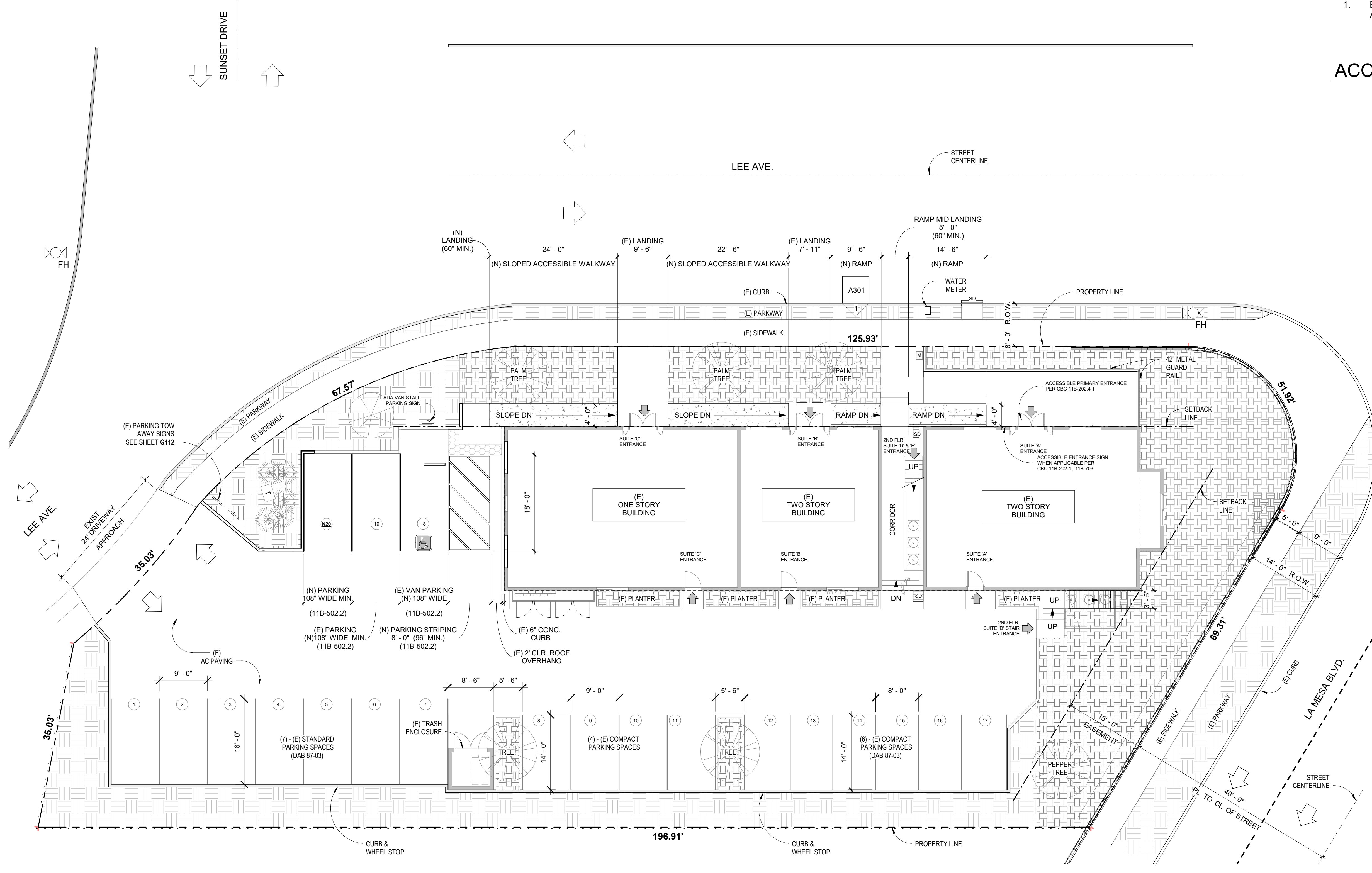
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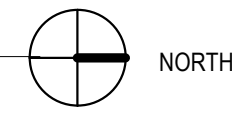
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PROPOSED SITE PLAN

A102



PROPOSED ACCESSIBILITY - SITE PLAN FROM CURRENT CONDITIONS
1" = 10'-0"



HOPE INC.

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CONDITIONAL USE BUILDING
 PERMIT TO RECTIFY
 UNPERMITTED CONSTRUCTION -
 COMMUNITY CARE FACILITY



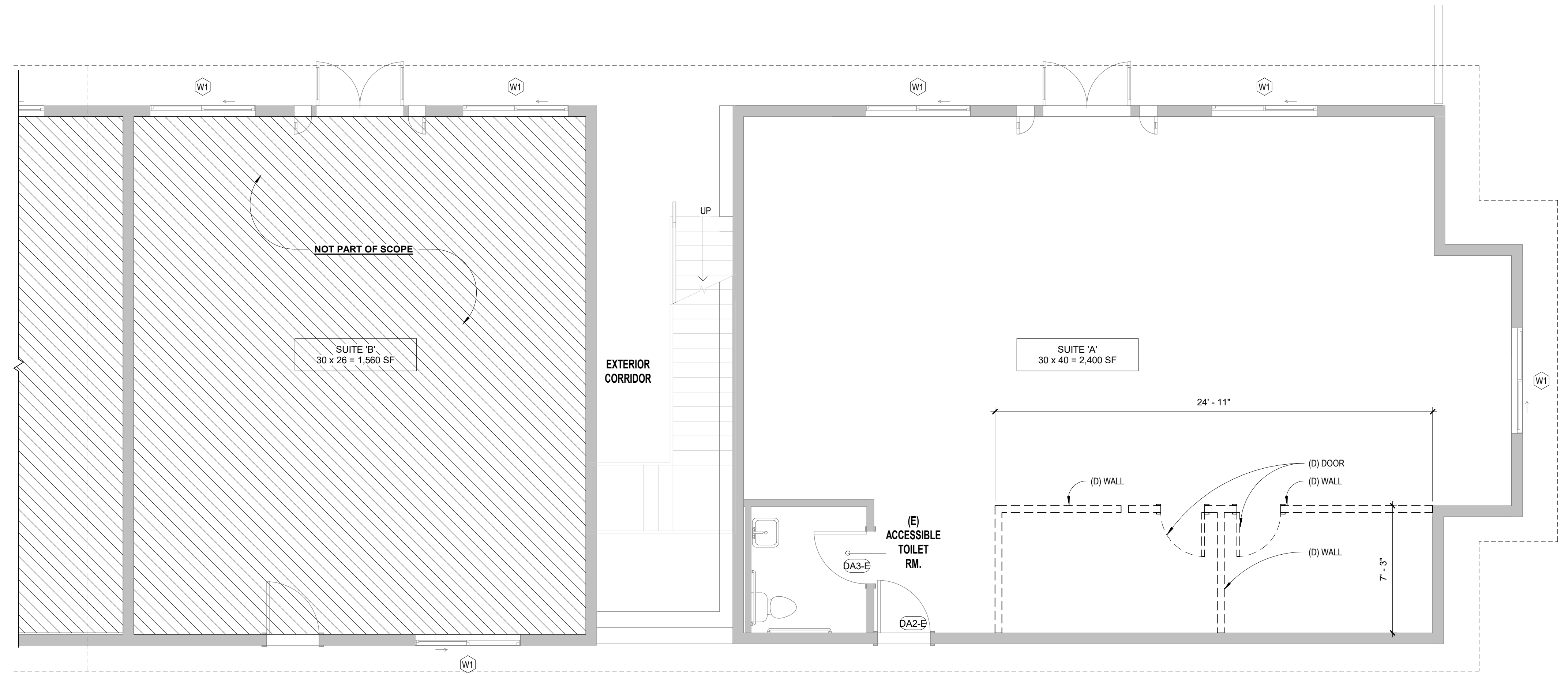
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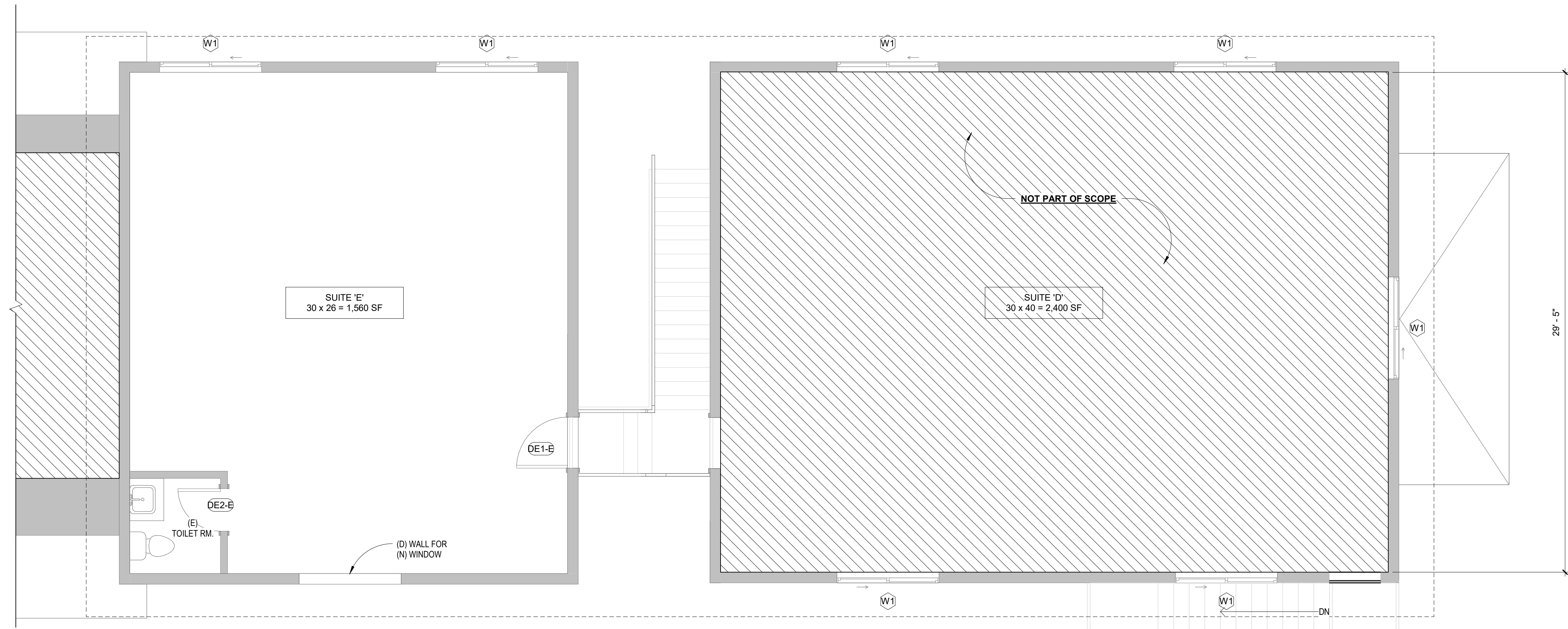
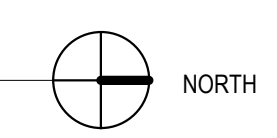
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09/19/24	1-240106
SCALE:	AHJ PROJECT NUMBER:
As indicated	

DEMO FLOOR PLANS (PER PERMIT DAB 87-03)

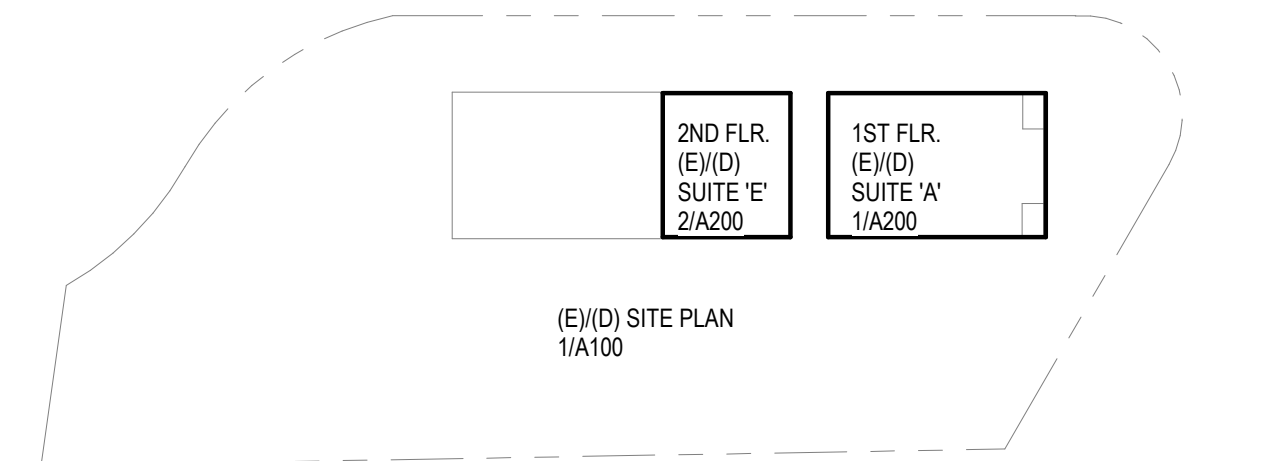
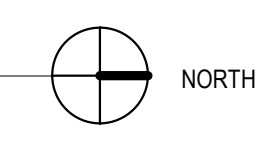
A200



DEMO - 1ST FLOOR PLAN - SUITE 'A'
 (DAB 87-03)
 1/4" = 1'-0"



DEMO - 2ND FLOOR PLAN - SUITE 'E'
 (DAB 87-03)
 1/4" = 1'-0"



LOCATION MAP

GENERAL NOTES

1. EXISTING CONDITIONS OF CURRENT SITE PLAN PER APPROVED CITY OF LA MESA PERMIT: **DAB 87-03**

HOPE INC.

7811 LA MESA BLVD

CONDITIONAL USE BUILDING
PERMIT TO RECTIFY
UNPERMITTED CONSTRUCTION -
COMMUNITY CARE FACILITY



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FLOOR PLAN LEGEND

- (E) WALL TO REMAIN (DAB 87-03)
- NOTE: THERE WILL BE **NO CHANGES TO EXISTING WALLS**
- ROOF OVERHANG LINE ABOVE
- REF REFRIGERATOR
- TOILET
- VANITY
- KITCHEN SINK
- OUTDOOR A/C UNIT
- CIRCUIT BREAKER PANEL
- THERMOSTAT
- LIGHT SWITCH
- DUPLEX OUTLET
- DATA OUTLET
- FIRE EXTINGUISHER

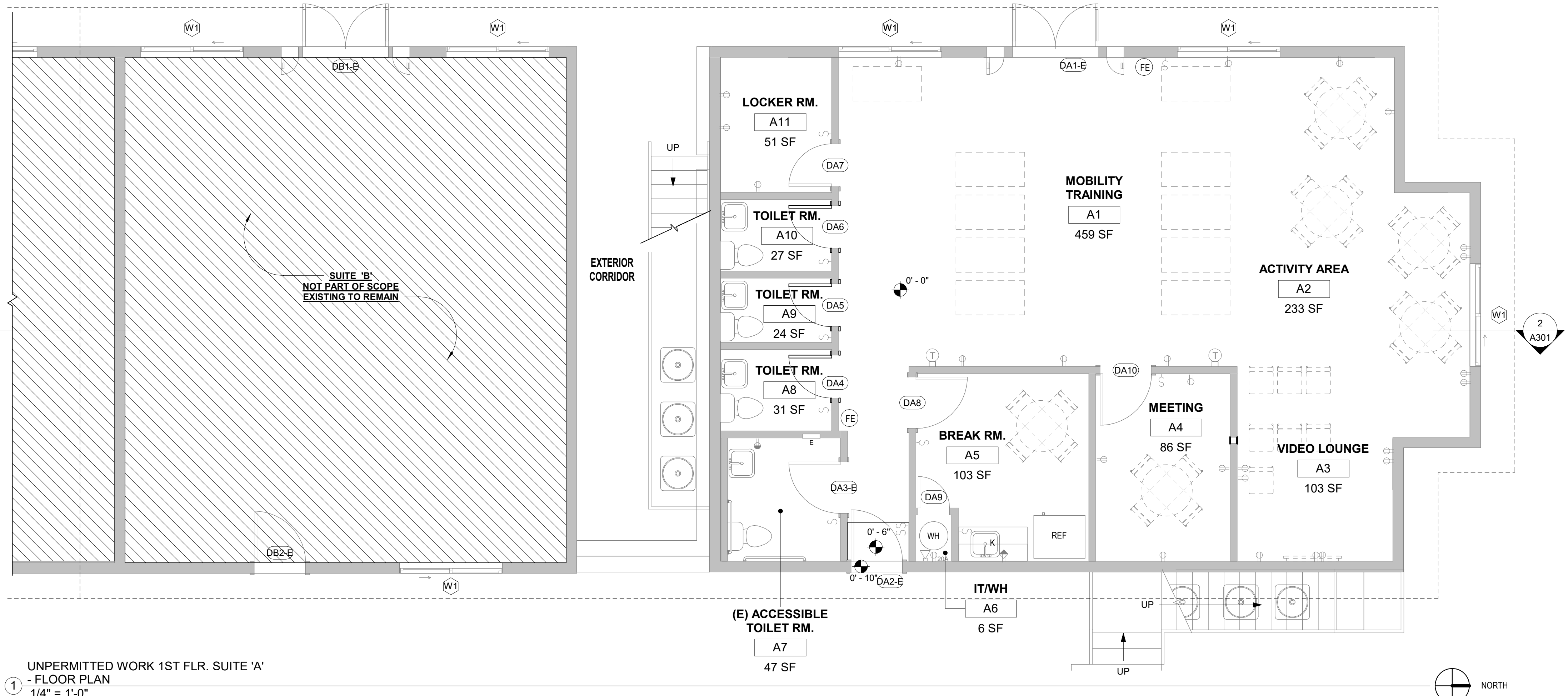
(E) RCP LEGEND

- NOTE: THERE WILL BE **NO CHANGES TO EXISTING CEILING**
- (E) FULL HEIGHT WALL
- (E) BELOW CEILING HEIGHT WALL
- (E) 2 x 4 CEILING GRID
- (E) GYPSUM BOARD CEILING
- (E) 2x4 RECESSED CEILING GRID LIGHT FIXTURE
- (E) TOILET ROOM LIGHT WITH VENTILATION
- (E) CIRCULAR SURFACE MOUNTED LIGHT
- (E) EXIT SIGN
- MECHANICAL RETURN GRILLE
- MECHANICAL SUPPLY GRILLE
- ROUND SPEAKER

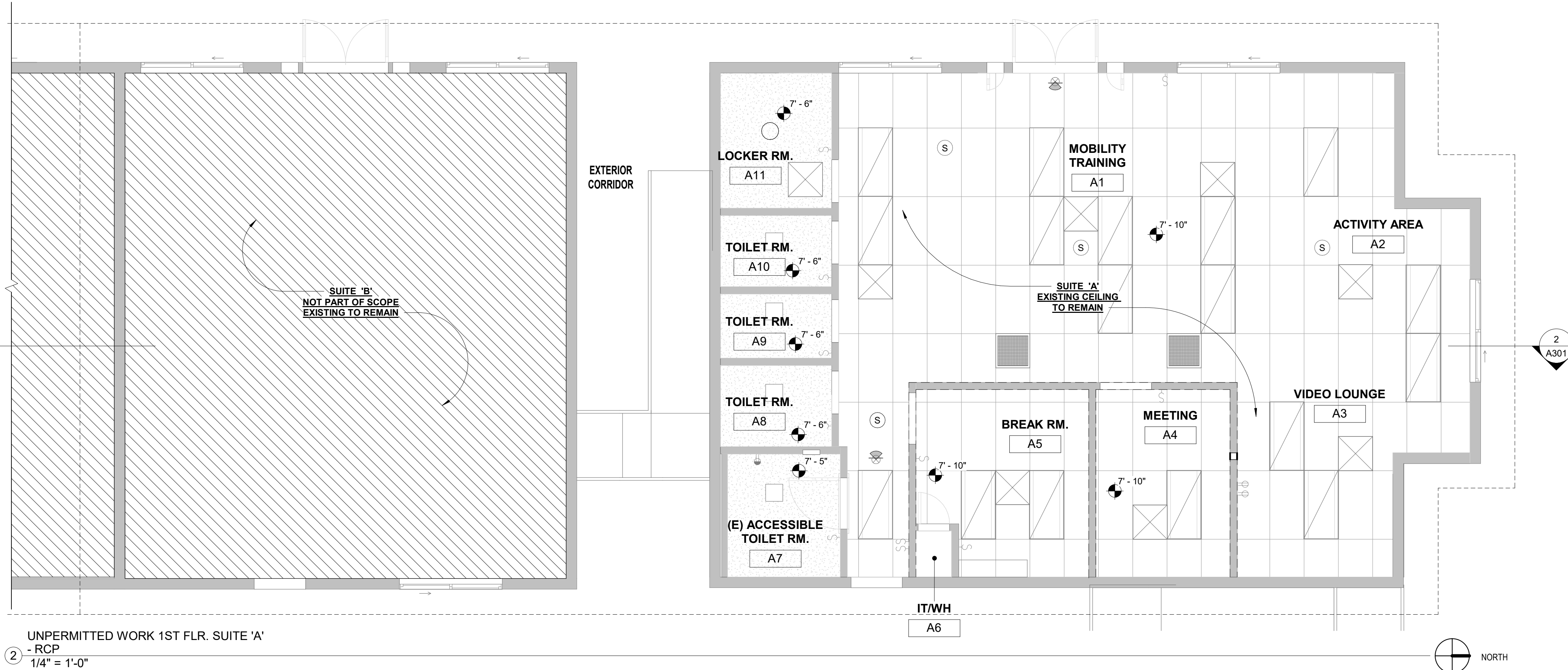
SUITE 'E'
2ND FLR.
1/A202

SUITE 'A'
1ST FLR.
1/A201

LOCATION MAP



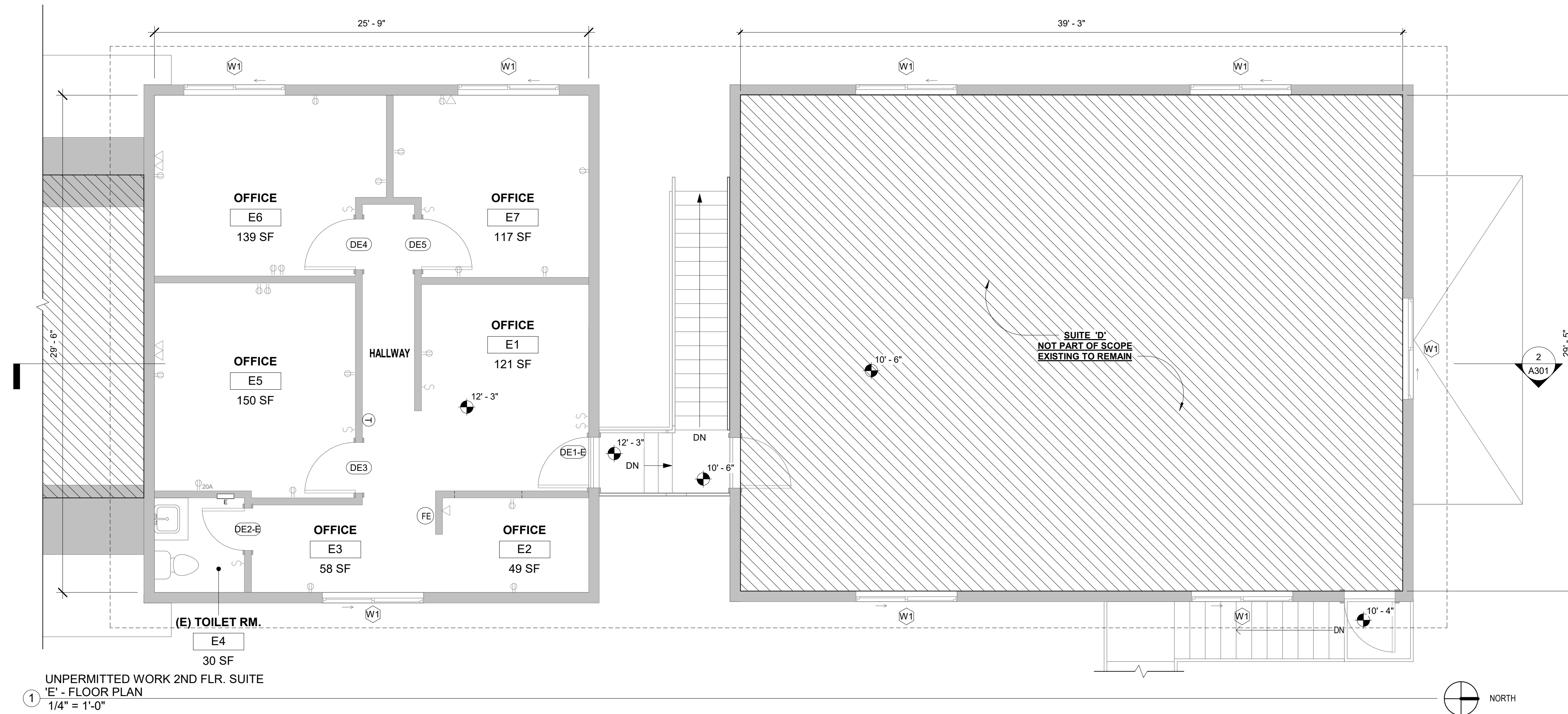
1 UNPERMITTED WORK 1ST FLR. SUITE 'A'
- FLOOR PLAN
1/4" = 1'-0"



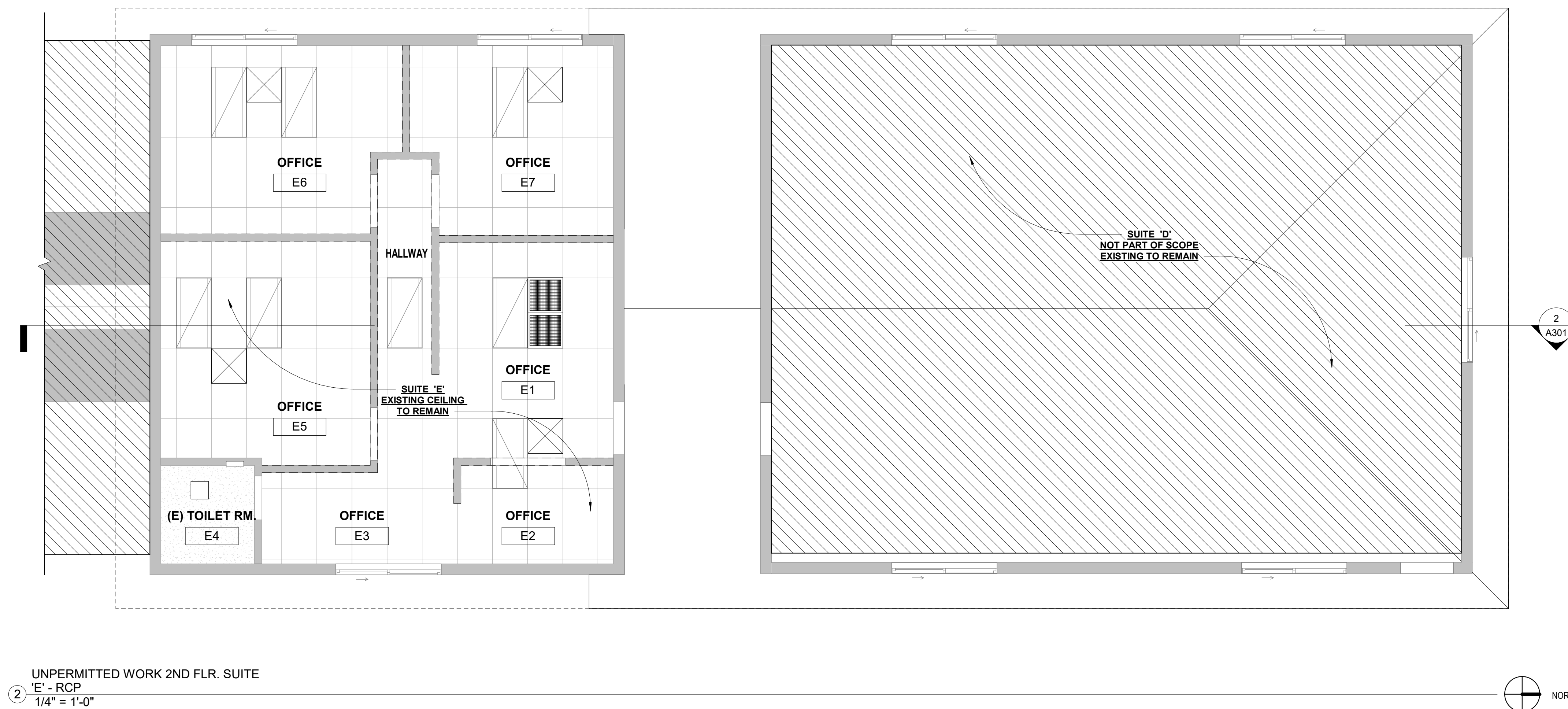
2 UNPERMITTED WORK 1ST FLR. SUITE 'A'
- RCP
1/4" = 1'-0"

FLOOR PLAN & RCP - 1ST FLR. SUITE 'A'

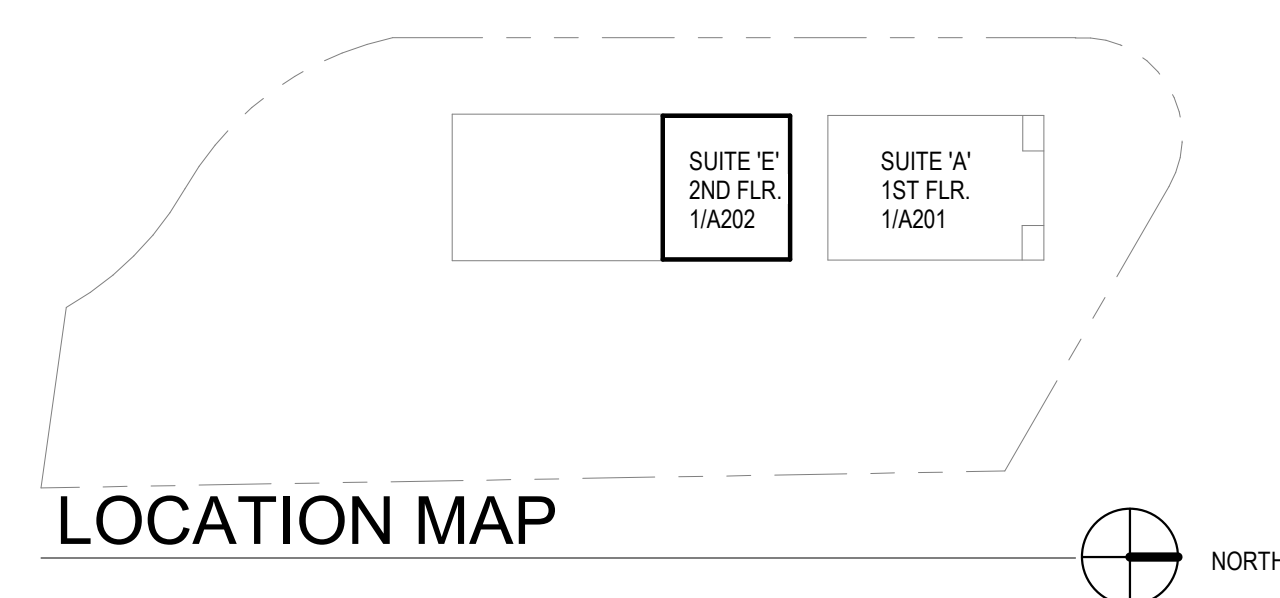
A201



① UNPERMITTED WORK 2ND FLR. SUITE 'E' - FLOOR PLAN
 1/4" = 1'-0"



② UNPERMITTED WORK 2ND FLR. SUITE 'E' - RCP
 1/4" = 1'-0"



LOCATION MAP

GENERAL NOTES

1. EXISTING CONDITIONS OF CURRENT SITE PLAN PER APPROVED CITY OF LA MESA PERMIT: DAB 87-03

FLOOR PLAN LEGEND

- (E) WALL TO REMAIN (DAB 87-03)
 NOTE: THERE WILL BE **NO CHANGES TO EXISTING WALLS**
- ROOF OVERHANG LINE ABOVE
- REF REFRIGERATOR
- TOILET
- VANITY
- KITCHEN SINK
- OUTDOOR A/C UNIT
- CIRCUIT BREAKER PANEL
- THERMOSTAT
- LIGHT SWITCH
- DUPLEX OUTLET
- DATA OUTLET
- FIRE EXTINGUISHER

(E) RCP LEGEND

- NOTE: THERE WILL BE **NO CHANGES TO EXISTING CEILINGS**
- (E) FULL HEIGHT WALL
- (E) BELOW CEILING HEIGHT WALL
- (E) 2 x 4 CEILING GRID
- (E) GYPSUM BOARD CEILING
- (E) 2X4 RECESSED CEILING GRID LIGHT FIXTURE
- (E) TOILET ROOM LIGHT WITH VENTILATION
- (E) CIRCULAR SURFACE MOUNTED LIGHT
- (E) EXIT SIGN
- MECHANICAL RETURN GRILLE
- MECHANICAL SUPPLY GRILLE
- ROUND SPEAKER

HOPE INC.

7811 LA MESA BLVD

CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY



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SCALE: As indicated AHJ PROJECT NUMBER:

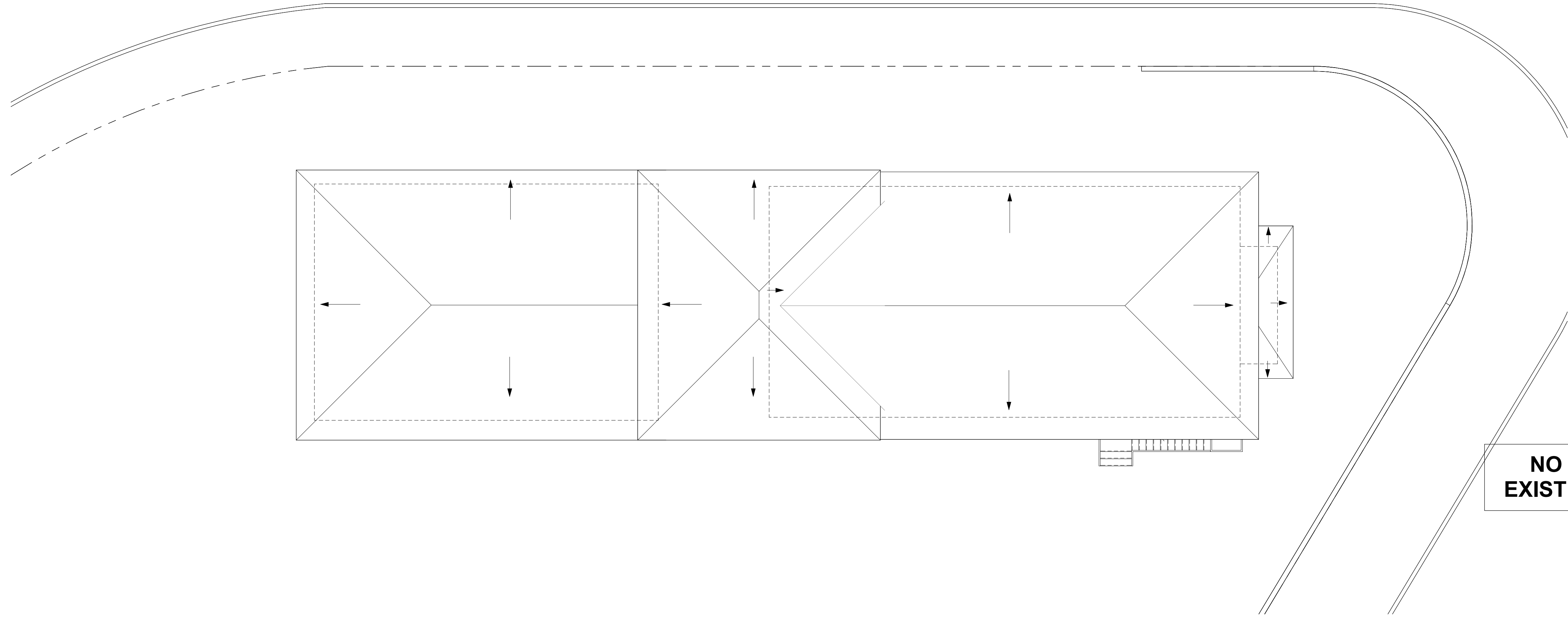
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FLOOR PLAN & RCP - 2ND FLR. SUITE 'E'

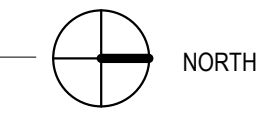
A202

LEGEND	
- - - - -	WALL LINE BELOW
←	WATER DRAINAGE

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1 EXISTING ROOF PLAN
1/8" = 1'-0"



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BLVD

NO CHANGES TO
EXISTING ROOF PLAN

CONDITIONAL USE BUILDING
PERMIT TO RECTIFY
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EXISTING ROOF
PLAN (TO REMAIN)

