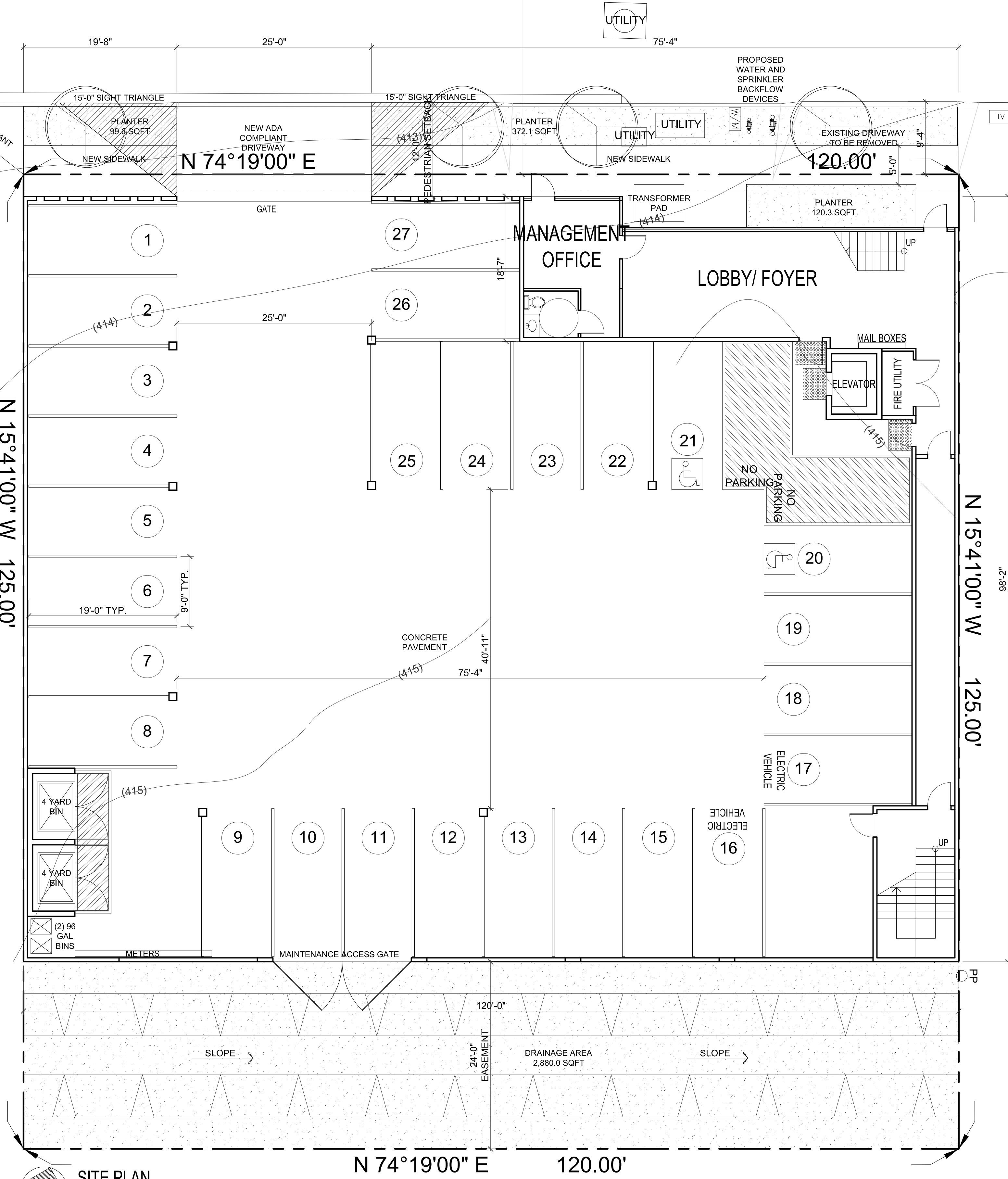


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SITE PLAN
SCALE: 1/8" = 1'-0"

GENERAL INFORMATION

PROPERTY OWNER/ APPLICANT:
 FARID MAJIDI
 7285 UNIVERSITY AVE.
 LA MESA, CA 91942
 TEL: 658/997-6655
 EMAIL: afaridmajidi@gmail.com

REPRESENTATIVES / DESIGNERS:
 MK DESIGN
 KANG & IAN MARR
 535 W. ALLEN AVE., UNIT 23
 SAN DIMAS, CA 91773
 TEL: KEN: 626-374-3834
 Email: kangdesign@hotmail.com
 TEL: IAN: 619-913-2751
 Email: iamarr@hotmail.com

SITE-ASSESSOR'S PARCEL NUMBERS INVOLVED:
 APN: 474-181-17
 APN: 474-181-18
 APN: 474-181-19

PROJECT SITE ADDRESS:
 7283, 7285, & 7287 UNIVERSITY AVE.
 LA MESA, CA 91942

EXIST. TOTAL LOT AREA:
 APN: 474-181-17
 3,750 SQFT/ 0.086 ACRES
 APN: 474-181-18
 3,750 SQFT/ 0.086 ACRES
 APN: 474-181-19
 7,500 SQFT/ 0.172 ACRES

LEGAL DESCRIPTION:
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LA MESA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 LOTS 3, 4, 5, AND 6 IN BLOCK 1 OF VISTA LA MESA VILLAS, IN THE CITY OF LA MESA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2440, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 4, 1947.
 APN: 474-181-17-00, 474-181-18-00 & 474-181-19-0

PROJECT SITE NEW TOTAL LOT AREA:
 APN: 474-181-17, 474-181-18, & 474-181-19
 15,000 SQFT/ 0.344 ACRES

ZONING: C-F-D-MJ (GENERAL COMMERCIAL FLOORWAY OVERLAY/ URBAN DESIGN OVERLAY/ MIXED USE OVERLAY)

BUILDING CODE USED:
 2022 C.B.C.

TYPE OF CONSTRUCTION:
 Type VA

OCCUPANCY TYPE:
 M (RETAIL)
 R-2 (MULTI-FAMILY UNITS)
 S-2 (PARKING STRUCTURE)

LANDUSE:
 (COMMERCIAL)

TOTAL PROJECT LOT AREA:
 15,000 SQ. FT. /
 0.344 ACRES

PROPOSED:
 JOIN PARCELS APN: 474-181-17, 474-181-18, & 474-181-19 INTO SINGLE PARCEL.
 CONSTRUCT 18 2-BEDROOM MULTI-FAMILY UNITS ABOVE PARKING GARAGE AND RETAIL (657 SQFT).

REQUIRED / ALLOWED:	PROPOSED:
REQUIRED YARDS/SETBACKS: FRONT STREET: 12' PEDESTRIAN (FROM STREET CURB) SIDE: 0' REAR: 0'	LOT COVERAGE AND AREA: AREA: 1ST FLOOR 11,245 SQFT PARKING GARAGE 10,588 SQFT LOBBY/ MANAGEMENT OFFICE 964 SQFT 2ND FLOOR 10,492 SQFT LIVING - 9 UNITS 7,200 SQFT BALCONIES 1,260 SQFT WALKWAYS 870 SQFT OPEN PARKWAY 1,162 SQFT 3RD FLOOR 9,390 SQFT LIVING - 9 UNITS 7,200 SQFT BALCONIES 1,260 SQFT WALKWAYS 840 SQFT TOTAL LIVING 14,400 SQFT TOTAL LOBBY/ MANAGEMENT OFFICE 964 SQFT <small>*DOES NOT INCLUDE STAIR STACKS</small>
EASEMENTS: REAR DRAINAGE EASEMENT: 24'	PROPOSED HEIGHT: PROPOSED NUMBER OF STORIES: 3 HEIGHT: 40'-4"
BUILDING HEIGHT & STORIES: HEIGHT: 46 FEET	TOTAL PROPOSED NUMBER OF UNITS: 18 (ACCESSIBLE UNITS: 1)
ALLOWED DENSITY: 40 UNITS PER ACRE 0.34 @ 40 = 13.6 = 14 UNITS REQUESTED DENSITY BONUS 50% = 21 UNITS	PROPOSED OPEN SPACE: BALCONIES: 2,520 SQFT COMMON SPACE: 1,162 SQFT PARKING PROVIDED: 3,682 SQFT <small>* STANDARD PARKING STALL (9' X 19'):</small> 23 <small>* EV CAPABLE STALLS (9' X 19'):</small> 2 <small>* ACCESSIBLE PARKING STALLS:</small> 2
PROPOSED UNITS: 18 UNITS	PARKING STALLS: 27
OPEN SPACE REQUIREMENT: 200 SQFT PER UNIT 18 @ 200 = 3,600 SQFT	TOTAL STALLS PROVIDED: 27 STALLS
PARKING REQUIRED: MULTI-FAMILY 18 UNITS @ 1.5 PER UNIT = 27 STALLS TOTAL STALLS REQUIRED: 27 STALLS	LANDSCAPE: <small>* PLANTER AREA:</small> 225 SQFT <small>* PLANTED DRAINAGE AREA:</small> 2,880 SQFT <small>* OPEN PARKWAY (INCLUDING EDGE PLANTERS):</small> 1,281 SQFT TOTAL: 4,386 SQFT PERCENTAGE OF LOT: 29.24%

SHEET INDEX

- A1.0 SITE PLAN AND PROJECT INFORMATION
- A2.0 1ST FLOOR PLAN
- A2.1 2ND FLOOR PLAN
- A2.2 3RD FLOOR PLAN
- A3.0 ROOF PLAN
- A4.0 UNIT FLOOR PLAN, CLOSE UP
- A5.0 ELEVATIONS
- A6.0 ELEVATIONS
- A7.0 SECTIONS
- A8.0 SECTIONS
- AB1.0 EXISTING SITE PLAN
- LP-1 CONCEPTUAL LANDSCAPE PLAN

GENERAL NOTES

1. SITE PAVING PER CIVIL PLANS.
2. NEW OR EXISTING DRIVEWAYS TO COMPLY WITH CITY OF LA MESA.
3. ALL NEW UTILITY SERVICES SHALL BE UNDERGROUND.
4. ALL DRIVEWAY AND STAGING AREAS MUST BE ABLE TO SUSTAIN A MINIMUM GROSS WEIGHT OF 60,000 LBS. PER VEHICLE.
5. ALL STAGING AREAS ARE TO BE ON SITE. NO STREET STAGING IS PERMITTED.
6. VISUAL CLEARANCE TO HAVE 7.5' TRIANGULAR CLEARANCE ON BOTH END OF DRIVEWAYS & AT INTERSECTIONS. IT IS 15' TRIANGULAR CLEARANCE WITH VERTICAL CLEARANCE OF OBSTRUCTIONS NO HIGHER THAN 3 FEET.
7. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A SEPARATE PUBLIC WORKS/ ENGINEERING DEPARTMENT ENCROACHMENT PERMIT.
8. GENERAL CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING AND ENFORCING SAFETY STANDARDS, CONDITIONS AND EQUIPMENT AS REQUIRED BY OSHA.
9. ALL PLANTER AREAS SHALL HAVE A MINIMUM OF 3" ROCK.

BUILDING CODE

2022 CALIFORNIA BUILDING CODE, TITLE 24, PART 2
 2022 CALIFORNIA ELECTRICAL CODE, TITLE 24, PART 3
 2022 CALIFORNIA MECHANICAL CODE, TITLE 24, PART 4
 2022 CALIFORNIA PLUMBING CODE, TITLE 24, PART 5
 2022 CALIFORNIA ENERGY CODE, TITLE 24, PART 6
 2022 CALIFORNIA FIRE CODE, TITLE 24, PART 9
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24, PART 11
 LA MESA MUNICIPAL CODE

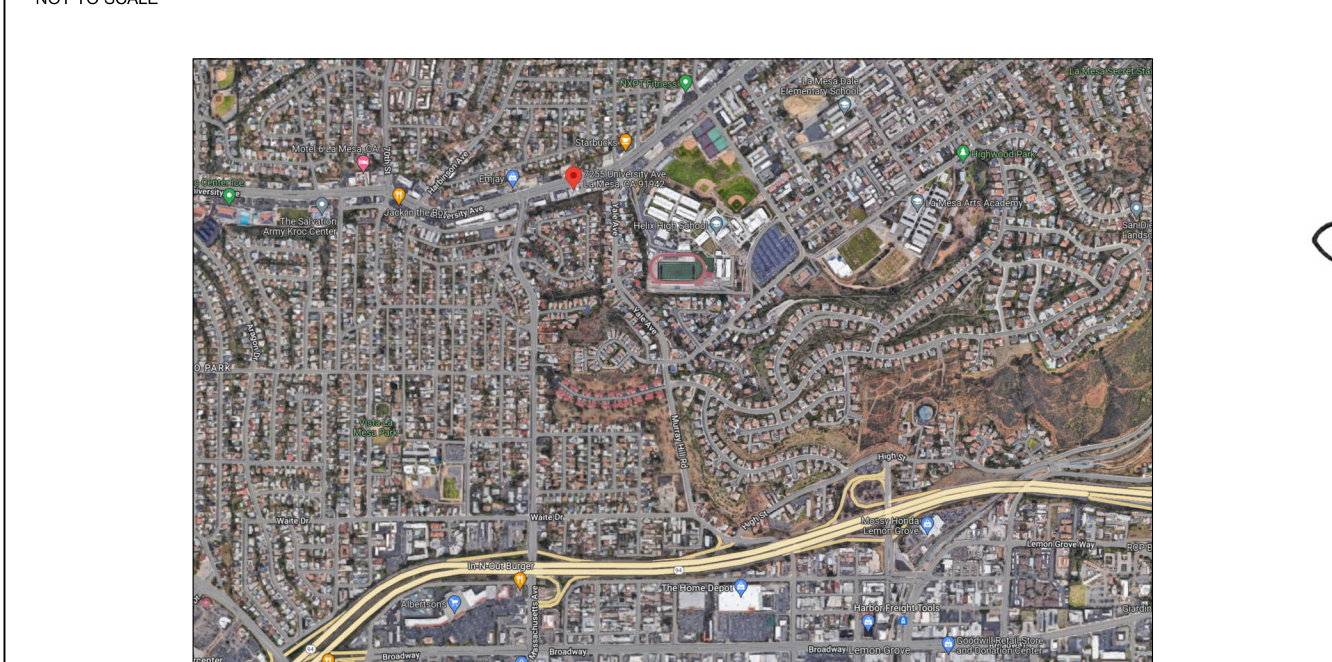
DEFERRED SUBMITTALS

- FIRE SPRINKLERS
- FIRE ALARM SYSTEM
- UNDERGROUND FIRE SERVICE
- EMERGENCY RESPONDER RADIO COMMUNICATIONS SYSTEM

LEGEND

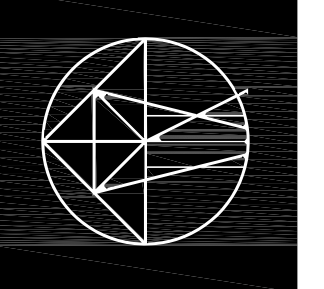


VICINITY MAP



MULTI-FAMILY PROJECT
7285 UNIVERSITY AVE., LA MESA, CA 91942

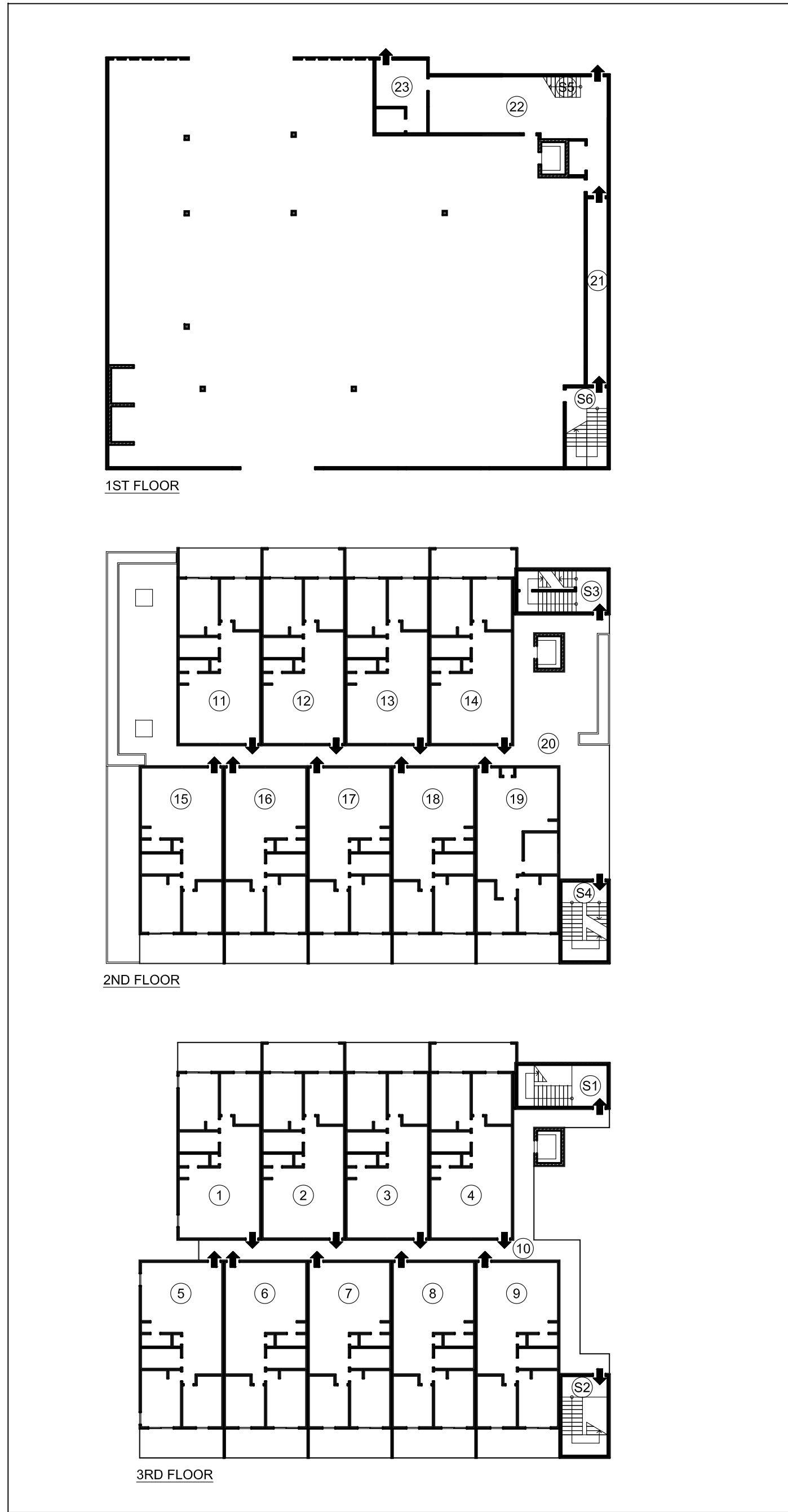
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EGRESS DISCHARGE CALCULATION:

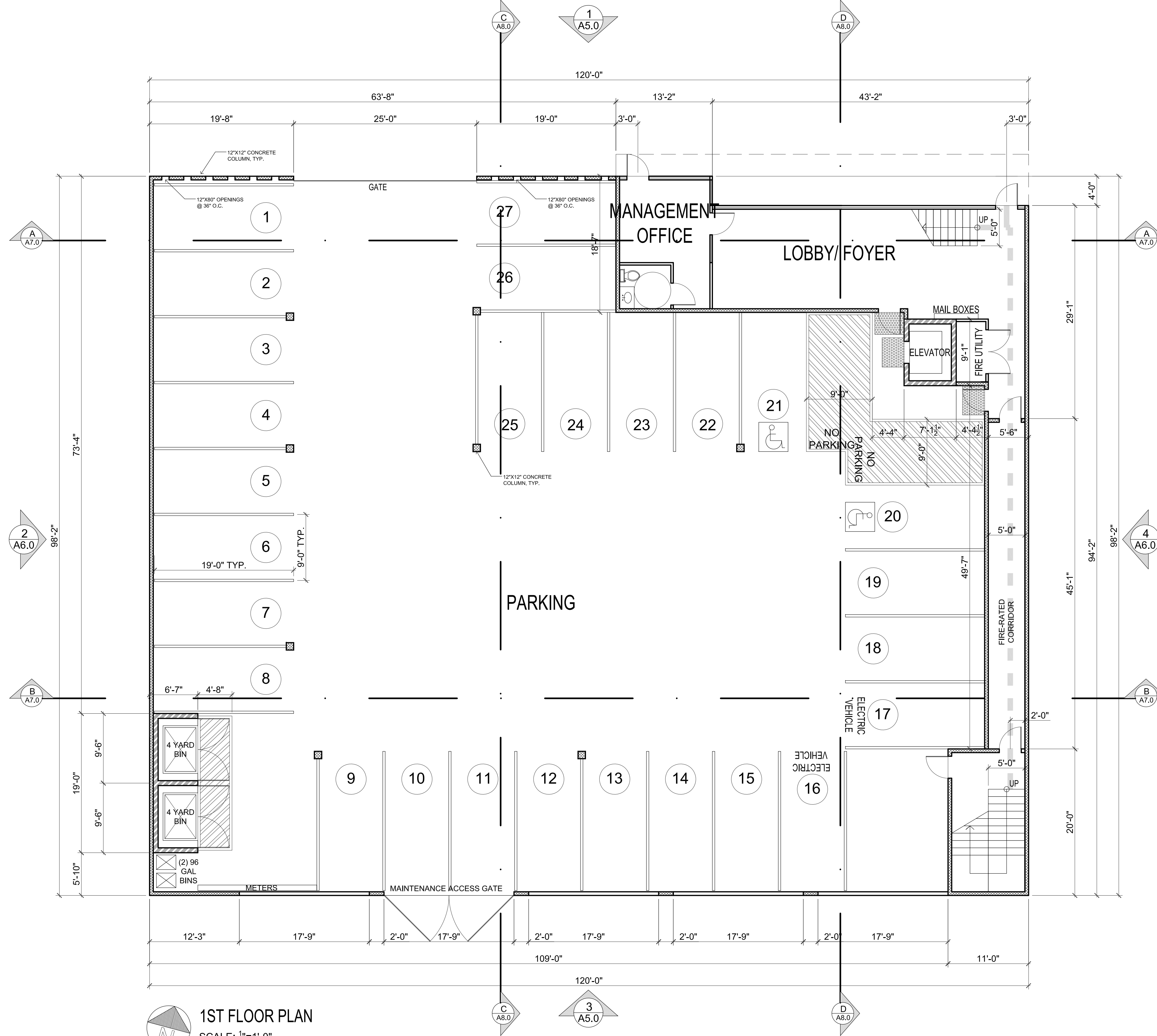
3RD FLOOR							
AREA	OL	EI	ED	CE	RE	PE	DISCHARGE TO
1	2	0	2	0.6'	36"	36"	10
2	2	0	2	0.6'	36"	36"	10
3	2	0	2	0.6'	36"	36"	10
4	2	0	2	0.6'	36"	36"	10
5	2	0	2	0.6'	36"	36"	11
6	2	0	2	0.6'	36"	36"	10
7	2	0	2	0.6'	36"	36"	10
8	2	0	2	0.6'	36"	36"	10
9	2	0	2	0.6'	36"	36"	10
10	0	18	18	5.4'	36"	36"	S1(9), S2(9)
S1	0	9	9	2.7'	36"	36"	S3
S2	0	9	9	2.7'	36"	36"	S4

2ND FLOOR							
AREA	OL	EI	ED	CE	RE	PE	DISCHARGE TO
11	2	0	2	0.6'	36"	36"	20
12	2	0	2	0.6'	36"	36"	20
13	2	0	2	0.6'	36"	36"	20
14	2	0	2	0.6'	36"	36"	20
15	2	0	2	0.6'	36"	36"	20
16	2	0	2	0.6'	36"	36"	20
17	2	0	2	0.6'	36"	36"	20
18	2	0	2	0.6'	36"	36"	20
19	2	0	2	0.6'	36"	36"	20
20	0	18	18	5.4'	36"	36"	S3(9), S4(9)
S3	0	18	18	5.4'	36"	36"	S5
S4	0	18	18	5.4'	36"	36"	S6

1ST FLOOR							
AREA	OL	EI	ED	CE	RE	PE	DISCHARGE TO
21	1	0	1	0.3'	36"	36"	OUTSIDE
22	0	36	36	10.8'	36"	36"	OUTSIDE
23	0	18	18	5.4'	36"	36"	22
S5	0	18	18	5.4'	36"	36"	22
S6	0	18	18	5.4'	36"	36"	23

OL - OCCUPANCY LOAD
 EI - EGRESS INLET
 ED - EGRESS DISCHARGE
 CE - CALCULATED EGRESS WIDTH
 RE - REQUIRED EGRESS WIDTH
 PE - PROVIDED EGRESS WIDTH

REQUIRED CORRIDOR/EXIT WIDTH: EGRESS DISCHARGE X 0.3
 REQUIRED STAIR WIDTH: EGRESS DISCHARGE X 0.2



1ST FLOOR PLAN
SCALE: 1/8"=1'-0"

WALKWAYS NOTES

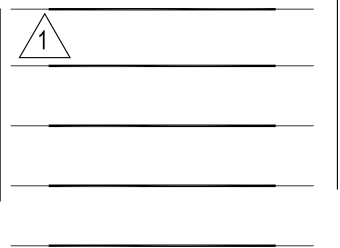
1. ALL DECKS AND WALKWAYS TO USE A DECK COATING MATERIAL.
2. APPROVED DECK COATING MATERIALS:
DEX-OTEX + DEX-FLEX
ICCF: ESR-1714
3. DECK FINISH TO BE ROOM OR BACKROLL FINISH.
4. COLOR: 402 DRAK GRAY

WALL LEGEND

- 2x4 STUD WALL
- 2x8 STUD WALL
- 6" CONCRETE OR CMU WALL
- 8" CMU WALL
- EGRESS PATH

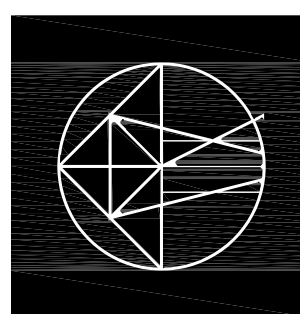
FLOOR PLAN NOTES

1. WALL DIMENSION ARE TO FACE OF STUD, OR CMU.
2. POST A SIGN ADJACENT TO THE MAIN EXIT DOOR WITH 1" LETTERING STATING: "THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."
3. ALL DOORS SHALL HAVE A FLOOR OR LANDING THAT IS NOT MORE THAN 3/4" LOWER THAN THE THRESHOLD OF THE DOORWAY.
4. A 30"x30" DEDICATED FLOOR SPACE FOR THE ROOF ACCESS MUST NOT BE INTRUDED UPON BY STORAGE OR OTHER EQUIPMENT.
5. ELECTRICAL PANELS REQUIRE A CLEAR FLOOR SPACE AT LEAST AS WIDE AS THE EQUIPMENT AND EXTENDING AT LEAST 30" AWAY FROM THE EQUIPMENT. THIS SPACE MUST NOT BE USED FOR STORAGE OR OTHER EQUIPMENT.
6. WALL HUNG EQUIPMENT, SHELVES, FIXTURES AND/OR STORAGE THAT WEIGHS OR IS EXPECTED TO SUPPORT 20 OR MORE POUNDS REQUIRE BACKING FRAMING FOR ADDITIONAL SUPPORT.
7. ALL NON DIMENSIONED DOORS ARE TO BE LOCATED NO MORE THAN 6 INCHES FROM THE WALL CORNER.
8. FLOORS OR LANDINGS ON EACH SIDE OF DOORS TO HAVE THE SAME ELEVATION. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS (2% MAX. SLOPE).
9. IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS.
10. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, AND SLIP-RESISTANT.
11. CHANGES IN LEVEL BETWEEN 1/2 INCH AND 3/4 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50 PERCENT SLOPE).
12. A MINIMUM OF 50% OF NON-HAZARDOUS CONSTRUCTION WASTE MUST BE RECYCLE THROUGH A LOCALLY APPROVED VENDOR.
13. STAIRS AND ELEVATORS ARE SUBJECT TO FINAL SIZING.
14. TRASH ENCLOSURE IS SIZED FOR 4 CU. YD. DUMPSTERS.
15. GARAGE SECURITY GATE TO BE KEYPAD AND REMOTELY CONTROLLED.
16. GARAGE MUST MAINTAIN A 8'-2" MINIMUM VERTICAL CLEARANCE ALONG ANY ACCESSIBLE ROUTE.



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 SAN DIMAS, CA 91773
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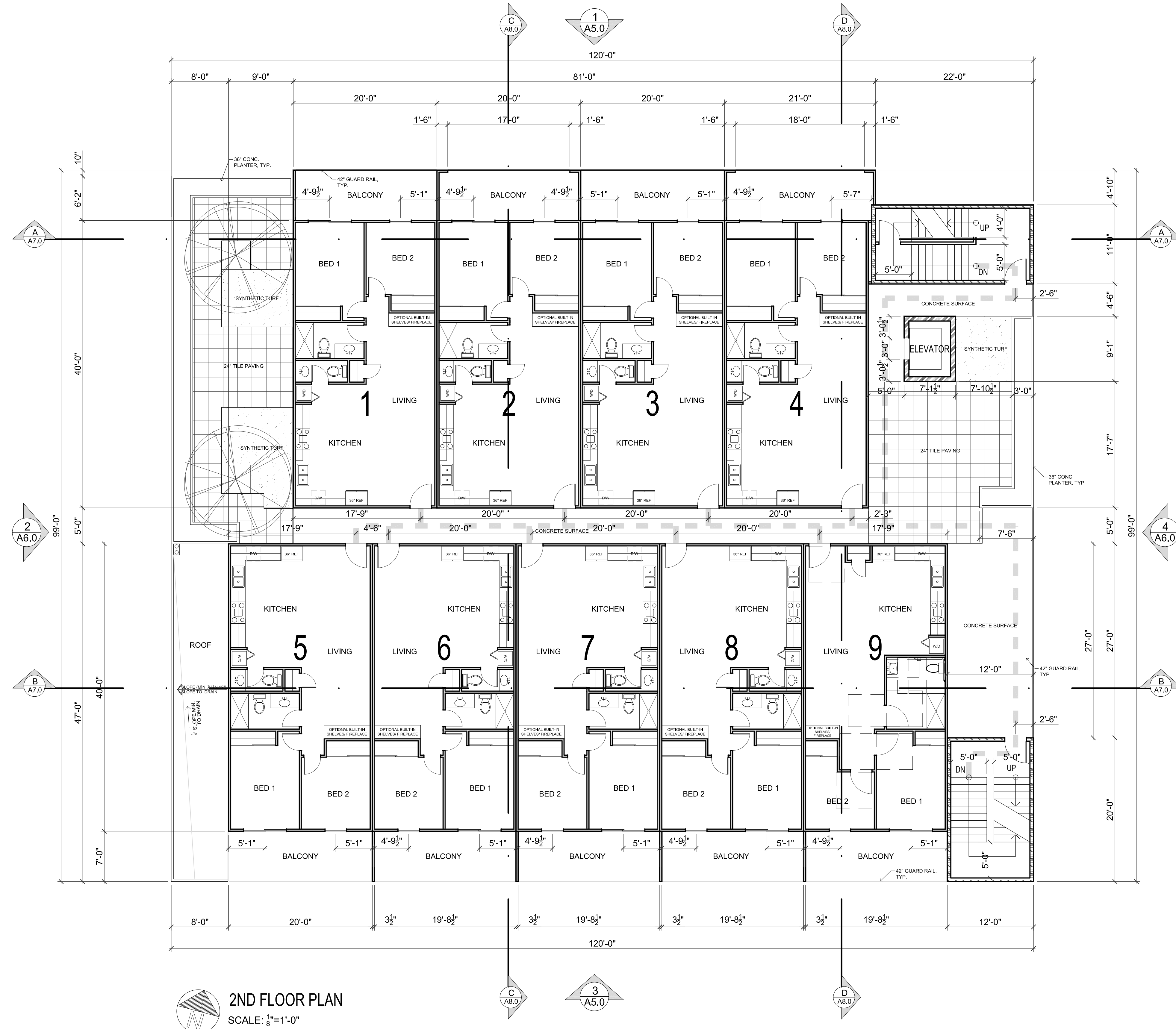
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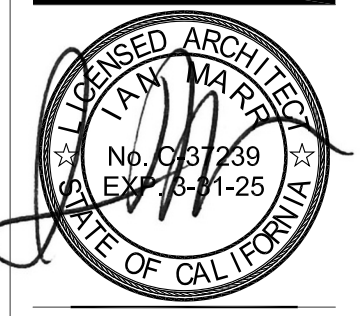
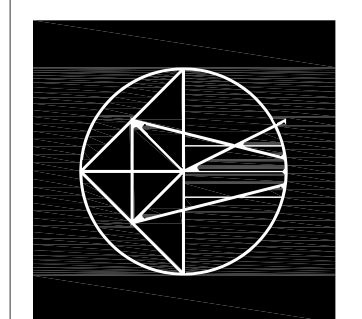
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2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

MULTI-FAMILY PROJECT
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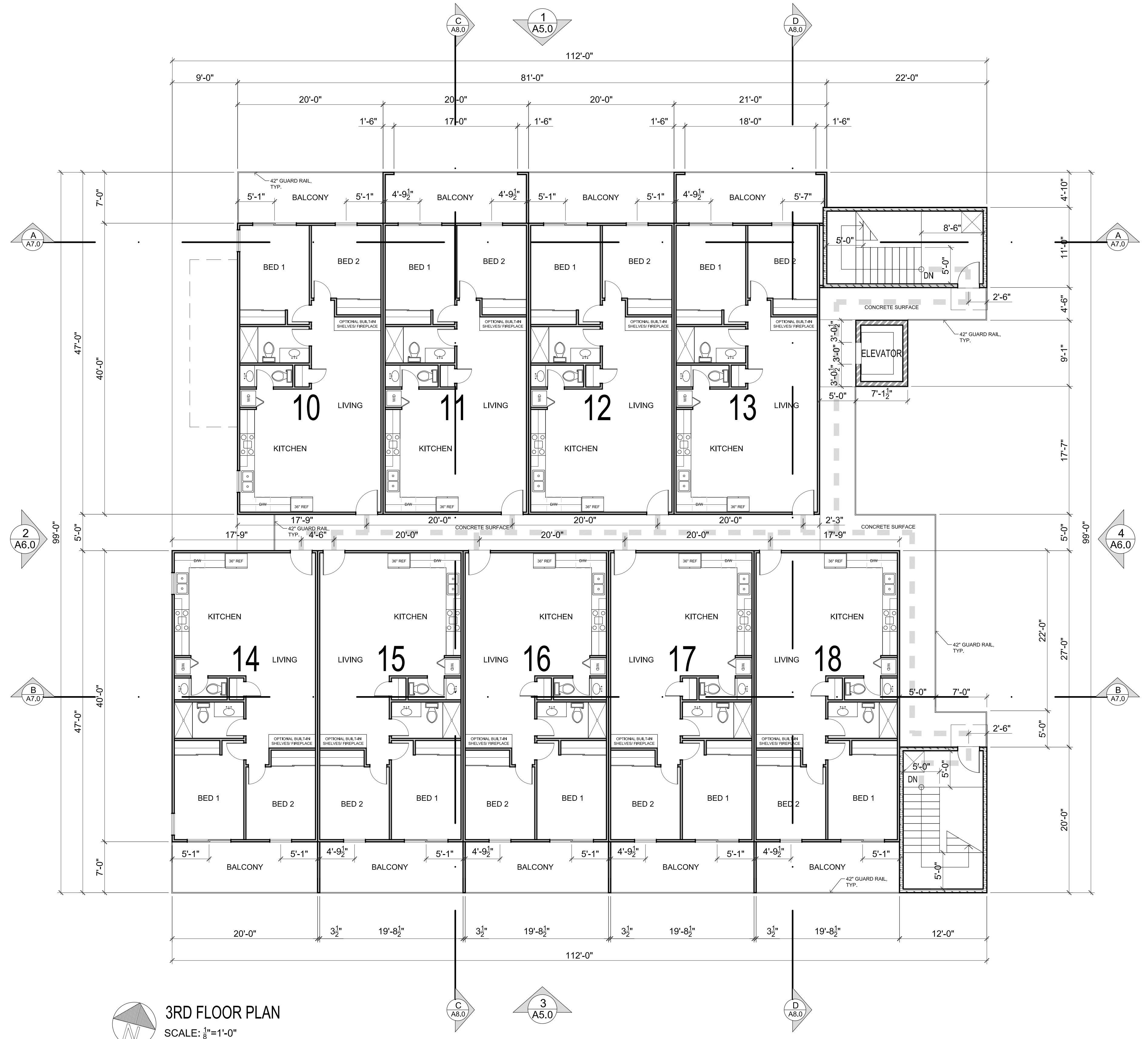
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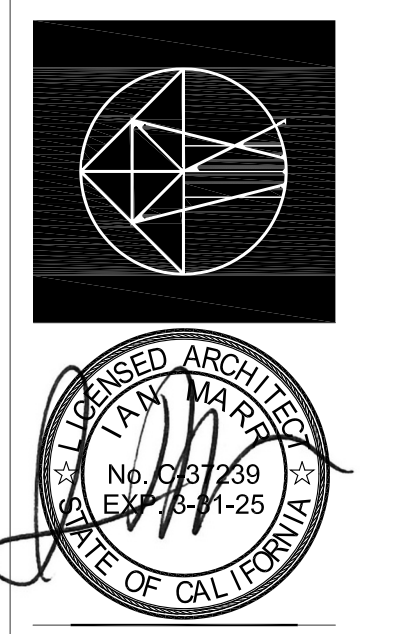
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3RD FLOOR PLAN
SCALE: 1/8"=1'-0"

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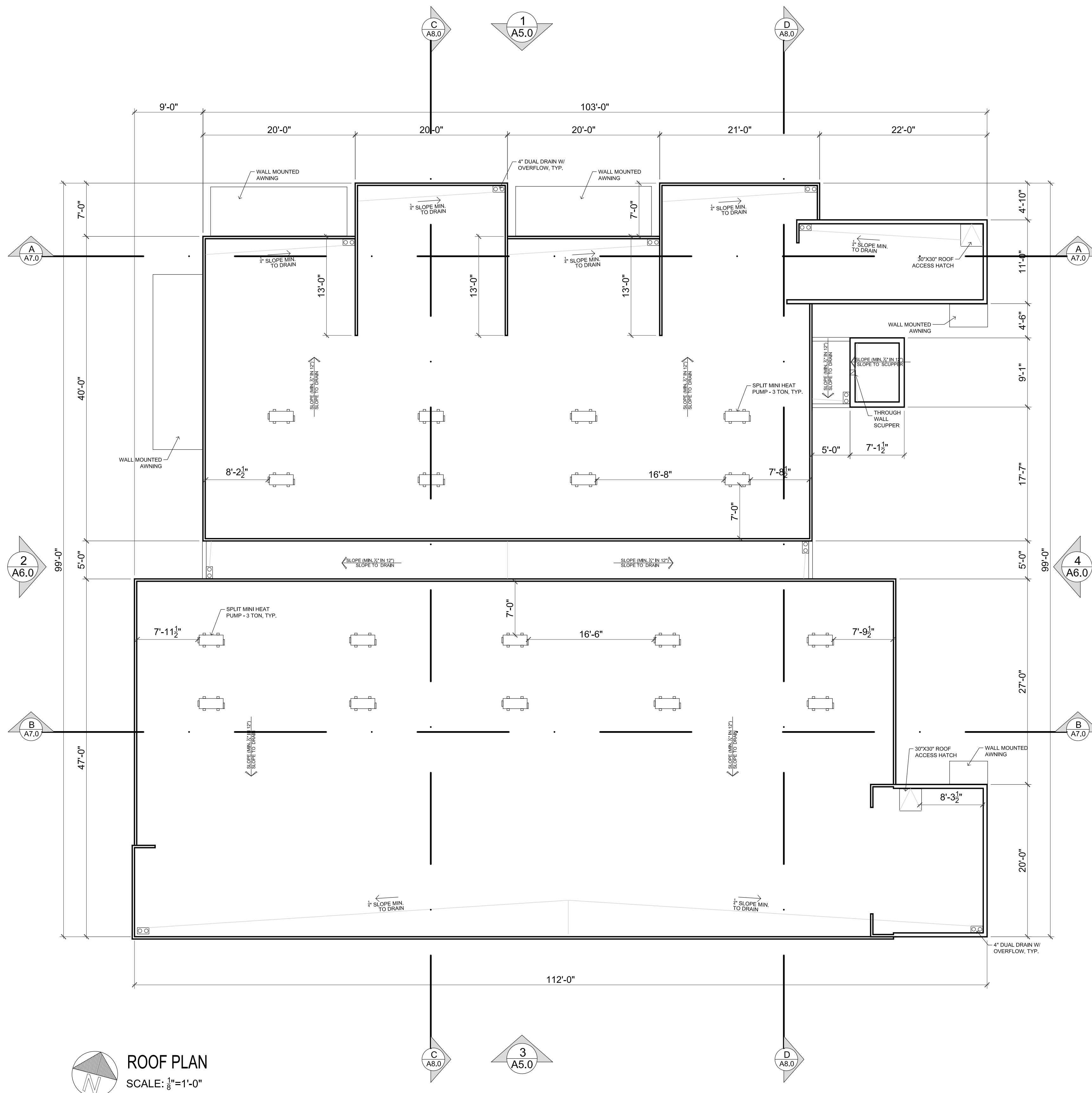
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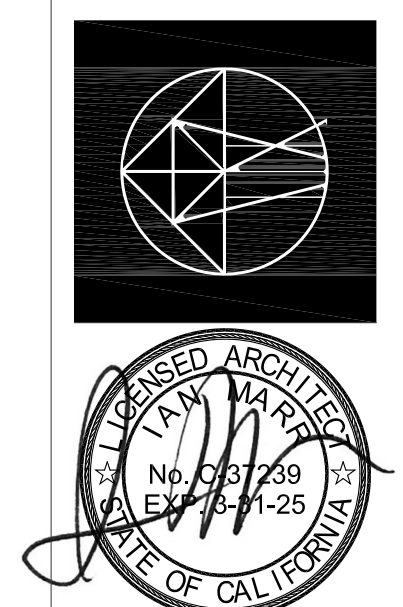
ROOF PLAN
 SCALE: $\frac{1}{8}" = 1'-0"$

ROOF NOTES

- NEW ROOF (FLAT ROOF): TPO (THERMOPLASTIC-POLYOLEFIN) SINGLE MEMBRANE ROOF - ICC# ESR-1463
 RECOMMENDED MANUFACTURER: CARLISLE SYNTEC
 MINIMUM THICKNESS: 60 MIL
 MINIMUM ROOF CLASS: CLASS B ROOF
 REQUIRED ATTACHMENT METHOD: FULLY ADHERED OR MECHANICALLY ADHERED
 COOL ROOF: YES
- NEW ROOFING MEMBRANE PENETRATIONS MUST USE PRE-FABRICATED BOOTS, FITTED COVERINGS, AND/OR OTHER ACCESSORIES AS REQUIRED BY ROOFING SYSTEM MANUFACTURER.
- VERIFY THAT ALL ROOF AREAS HAVE 1/2" FT. MIN. SLOPE, INCLUDING CRICKETS.
- ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM VIEW
- ROOF ACCESS MUST HAVE A LOCKING MECHANISM THAT IS OPERABLE FROM THE INSIDE WITHOUT THE NEED OF A KEY.
- ROOFING SURFACE MUST EXTEND UP THE REAR FACE OF PARAPET WALLS OR BE PROVIDED WITH ROOF-WALL FLASHING.
- PROVIDE 3" MIN. CANT STRIPS AT ALL ROOF PARAPET/WALL TRANSITIONS UNLESS NOTED OTHERWISE BY ROOF FINISH MANUFACTURER.
- SURROUNDING TREES TO BE TRIMMED BACK AS TO NOT SHED LEAVES AND DEBRIS ONTO ROOF.
- DRAINS, ROOFTOP EQUIPMENT, EDGE CONDITIONS ARE TO BE CONSTRUCTED AS DIRECTED BY THE ROOFING SYSTEM MANUFACTURER.
- GENERAL CONTRACTOR MUST CONFIRM FINAL CURB SIZES FROM EQUIPMENT MANUFACTURERS PRIOR TO CURB CONSTRUCTION.

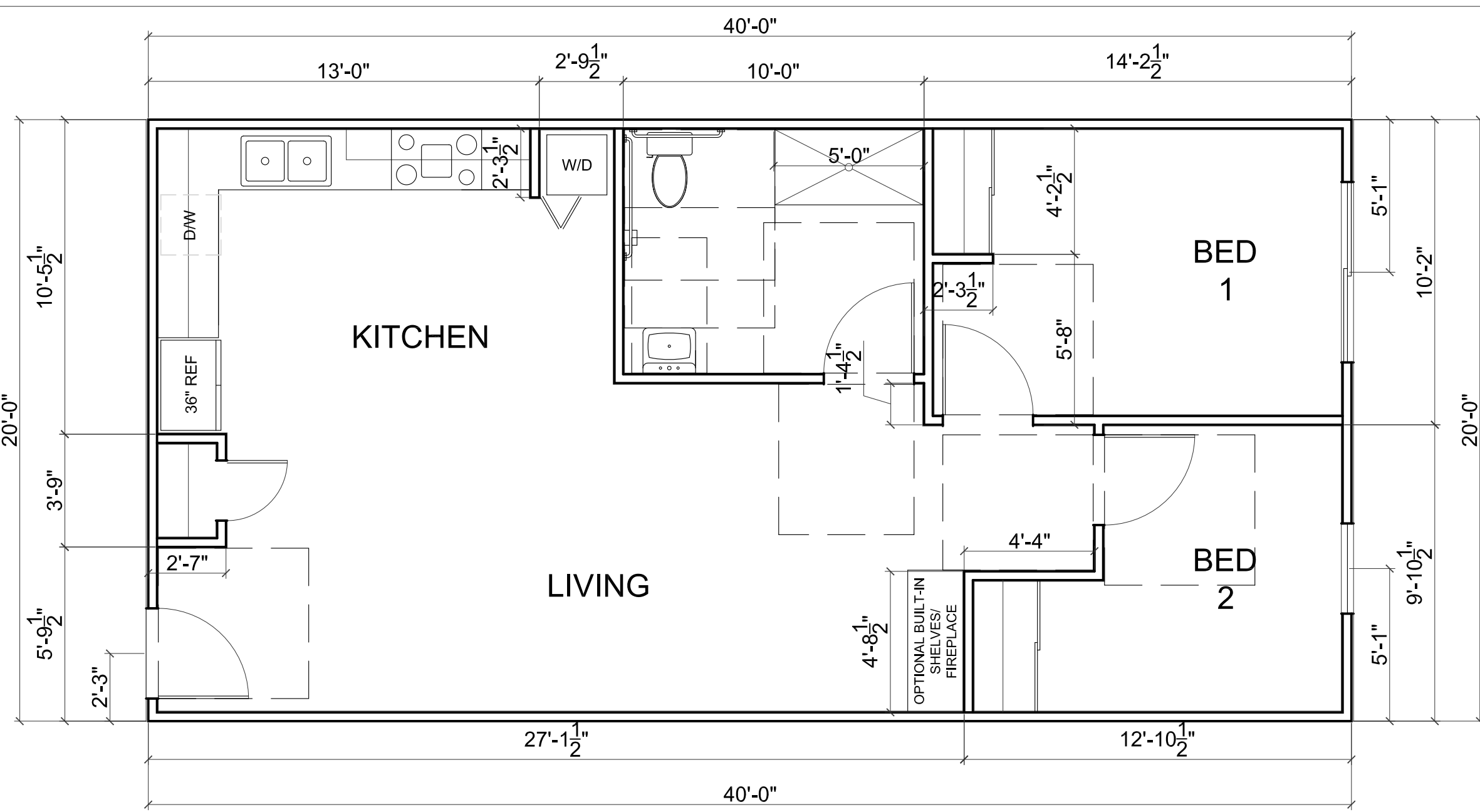
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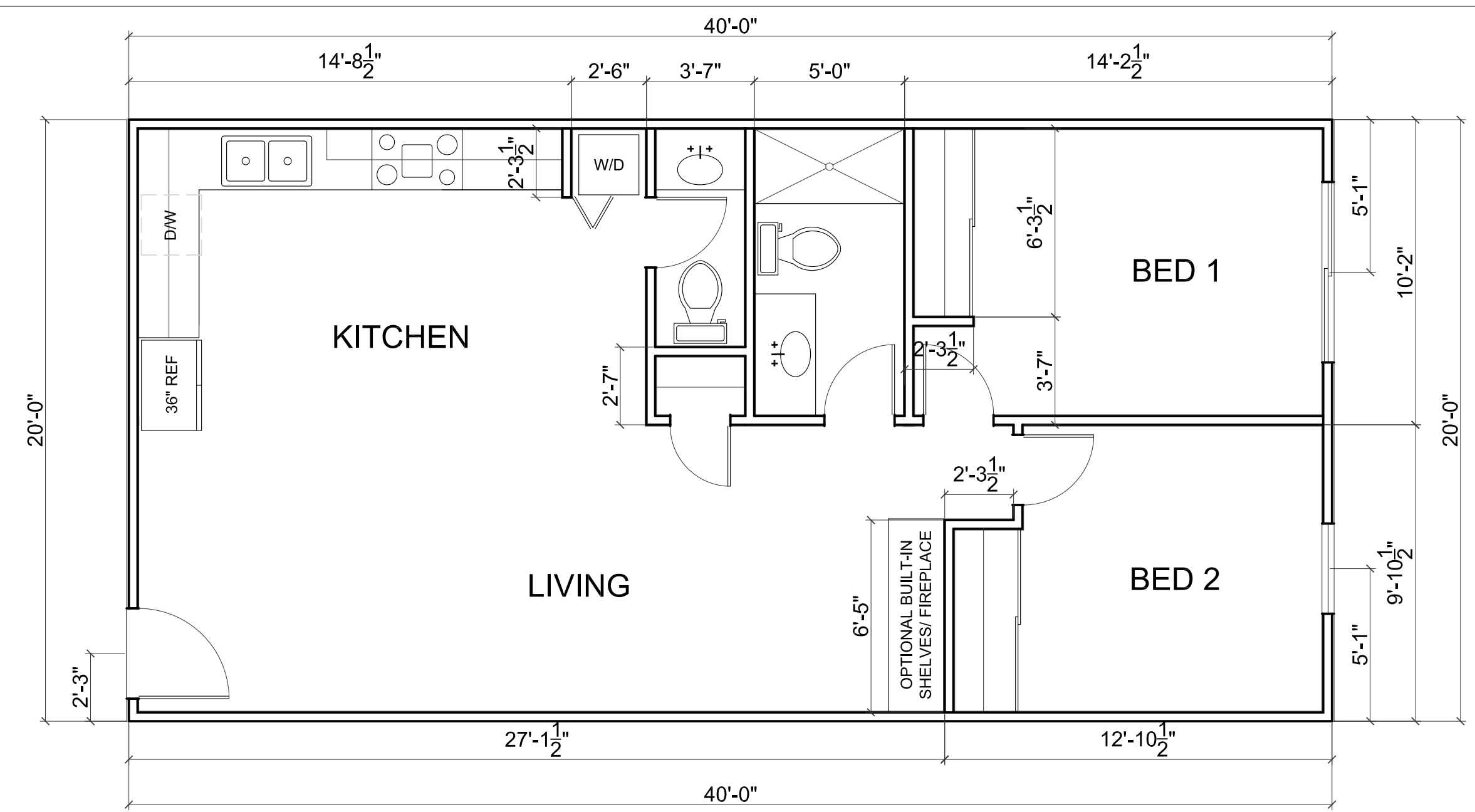


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ACCESSIBLE 2 BEDROOM/ 1.5 BATH UNIT (800 SQFT)
SCALE: 1/4"=1'-0"



TYPICAL 2 BEDROOM/ 1.5 BATH UNIT (800 SQFT)
SCALE: 1/4"=1'-0"

HALO HLBSL6

Order Information
SAMPLE ORDER NUMBER: HLBSL609P231EMW

Model	Lumens	CR / CCT	Driver	Finish	Package
HLBSL6 - 6 inch LED recessed lens housing with remote driver and junction box	99-103 lumens (nominal)	90-100 CRI, 2700K, 3000K, 4000K, 5000K, 6000K CCT	1A - 100% LED, LITE DIMMABLE, 100% LED, 100% LED	White	6-pack, 6-pack and 12-pack

Accessories

Model	Description	Notes
HLBSL609P231EMW	6-inch LED recessed lens housing with remote driver and junction box	Standard finish
HLBSL609P231EMW	6-inch LED recessed lens housing with remote driver and junction box	White finish
HLBSL609P231EMW	6-inch LED recessed lens housing with remote driver and junction box	Black finish



Product Specifications

Mounting: Recessed mounting frame with integral flange. Achieves L70 at 35,000 hours in IC and non-IC applications.

Optics: Precision acrylic light guide organizes source flux into wide distribution with 1.25 spacing criteria. Available for general use (non-dimmable).

LED Array: Features 60 power LEDs providing a uniform source with high efficiency and long life. Available in 2700K, 3000K, 4000K, 5000K, 6000K CCT. Meets ENERGY STAR color uniformity requirements, deviation is less than 3.0% or 7°.

Remote Driver / Junction Box: On-board remote driver / junction box with captive 2-wire junction box cover. (6) 1/2" (16mm) 18 AWG 180°C silicone conductors, 24" (610mm) (2) shielded (6) 1/2" (16mm) 18 AWG 180°C silicone conductors. 120V AC line voltage, 1.25A, 14.4, 14.2, 14.0, 12.2, 12.0, 11.8, 11.6, 11.4, 11.2, 11.0, 10.8, 10.6, 10.4, 10.2, 10.0, 9.8, 9.6, 9.4, 9.2, 9.0, 8.8, 8.6, 8.4, 8.2, 8.0, 7.8, 7.6, 7.4, 7.2, 7.0, 6.8, 6.6, 6.4, 6.2, 6.0, 5.8, 5.6, 5.4, 5.2, 5.0, 4.8, 4.6, 4.4, 4.2, 4.0, 3.8, 3.6, 3.4, 3.2, 3.0, 2.8, 2.6, 2.4, 2.2, 2.0, 1.8, 1.6, 1.4, 1.2, 1.0, 0.8, 0.6, 0.4, 0.2, 0.0.

Dimensions: Can be installed in 3/4" to 5/8" thick ceilings. Round ceiling cutout. Heat treated springs hold fixture fitting securely in the ceiling. Mounting hole diameter is 1 1/2" (38mm). Housing is less than 1/2" thick and can span a 2" recessed ceiling. Can be removed from below the ceiling for service or replacement.



Project	Collaboration	Type
Proposed by	Notes	Date



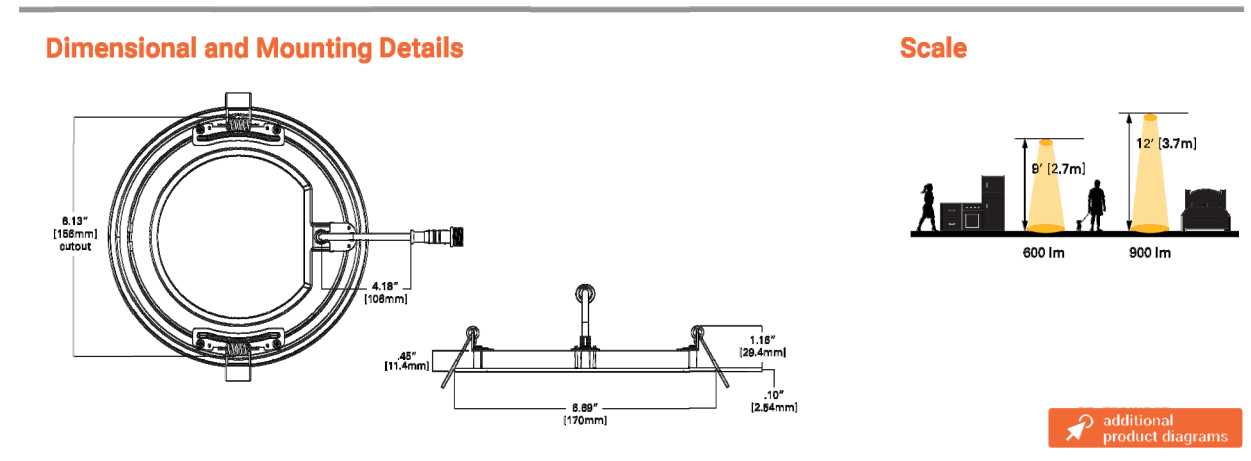
HALO HLBSL6
6-Inch LED Lens Downlight with Remote Driver / Junction Box

Typical Applications: Residential

Product Certification: ETL, UL, IES, Energy Star, Dimmable

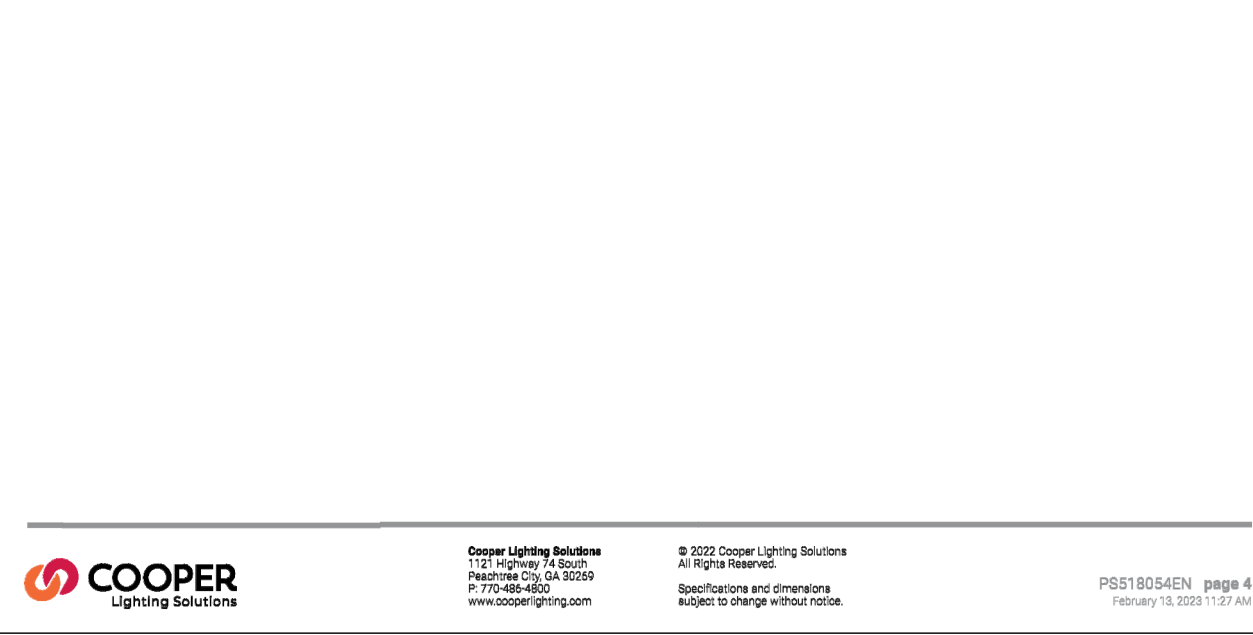
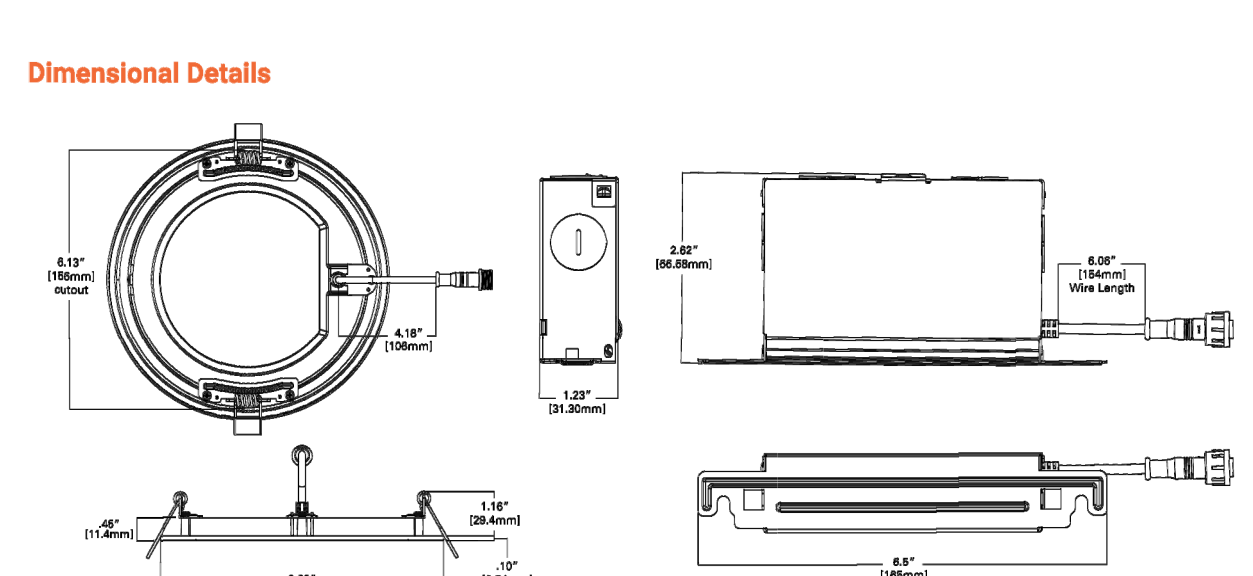
Product Features: Dimming Guide

- Top Product Features**
- Direct mount - does not require recessed housing or junction box
 - Delivers up to 994 lumens
 - Achieves L70 at 35,000 hours in IC and non-IC applications
 - 2700, 3000, 3500, 4000 and 5000, 6000K field selectable CCT

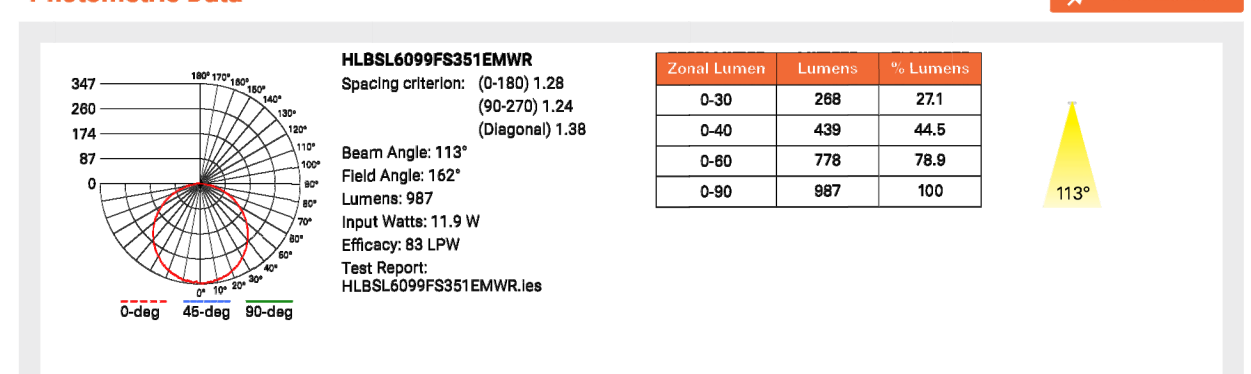


HALO HLBSL6

Model	Lumens	CR / CCT	Driver	Finish	Package
HLBSL609P231EMW	99-103 lumens (nominal)	90-100 CRI, 2700K, 3000K, 4000K, 5000K, 6000K CCT	1A - 100% LED, LITE DIMMABLE, 100% LED, 100% LED	White	6-pack, 6-pack and 12-pack



HALO HLBSL6

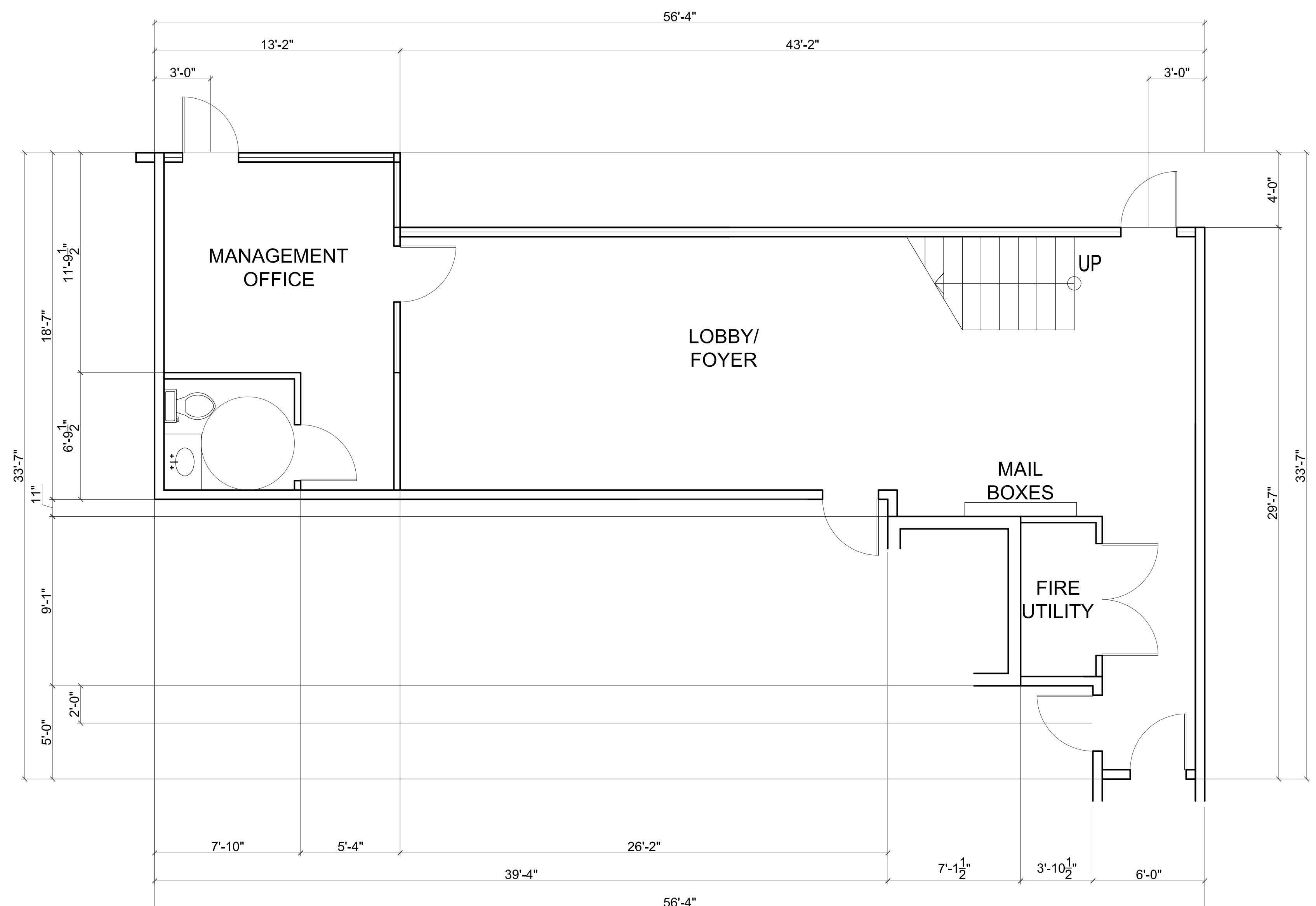


COLOR METRIC SUMMARY

Model	Beam Angle	Spacing	CR	CRI	CCT
HLBSL609P231EMW	30°	1.25	90	90	2700K
HLBSL609P231EMW	30°	1.25	90	90	3000K
HLBSL609P231EMW	30°	1.25	90	90	4000K
HLBSL609P231EMW	30°	1.25	90	90	5000K
HLBSL609P231EMW	30°	1.25	90	90	6000K

Energy and Performance Data

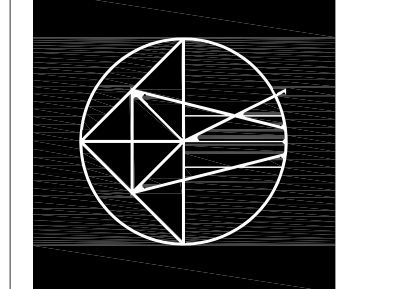
Model	Lumens	Power (W)	SPF
HLBSL609P231EMW	994	12.5	79.8
HLBSL609P231EMW	994	12.5	79.8
HLBSL609P231EMW	994	12.5	79.8
HLBSL609P231EMW	994	12.5	79.8
HLBSL609P231EMW	994	12.5	79.8



LOBBY W/ MANAGEMENT OFFICE (964 SQFT)
SCALE: 1/4"=1'-0"

MULTI-FAMILY PROJECT
 7285 UNIVERSITY AVE., LA MESA, CA 91942

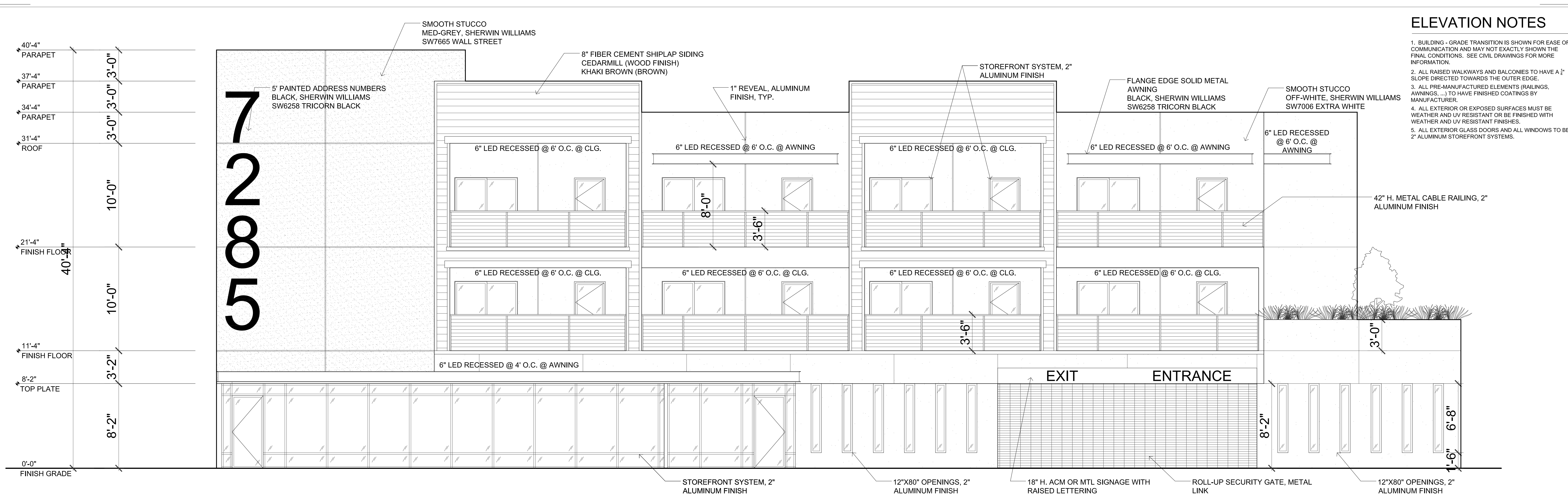
MK Design
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 SAN DIMAS, CA 91773
 626.974.4384 & 619.913.2751
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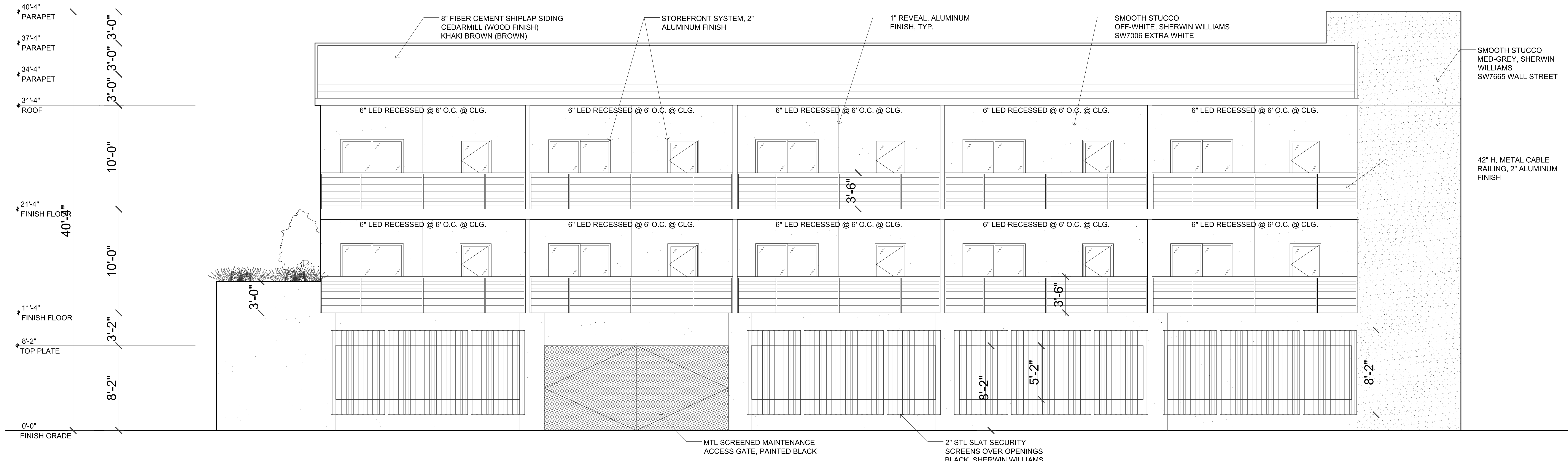
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- ### ELEVATION NOTES
- BUILDING - GRADE TRANSITION IS SHOWN FOR EASE OF COMMUNICATION AND MAY NOT EXACTLY SHOWN THE FINAL CONDITIONS. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
 - ALL RAISED WALKWAYS AND BALCONIES TO HAVE A 1" SLOPE DIRECTED TOWARDS THE OUTER EDGE.
 - ALL PRE-MANUFACTURED ELEMENTS (RAILINGS, AWNINGS, ...) TO HAVE FINISHED COATINGS BY MANUFACTURER.
 - ALL EXTERIOR OR EXPOSED SURFACES MUST BE WEATHER AND UV RESISTANT OR BE FINISHED WITH WEATHER AND UV RESISTANT FINISHES.
 - ALL EXTERIOR GLASS DOORS AND ALL WINDOWS TO BE 2" ALUMINUM STOREFRONT SYSTEMS.

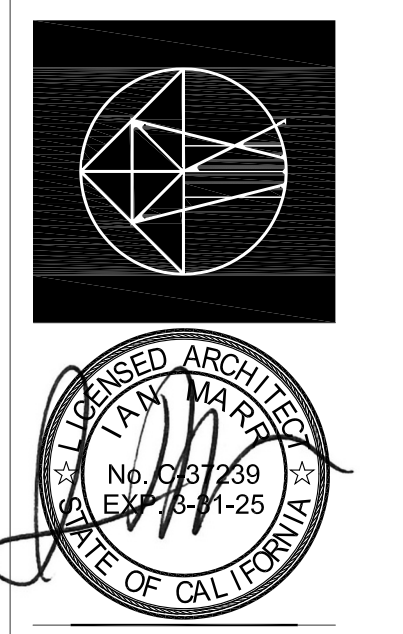
1 SOUTH ELEVATION (STREET ELEVATION)
 SCALE: 1/4" = 1'-0"
56.1% GLASS FRONTAGE



3 NORTH ELEVATION (REAR ELEVATION)
 SCALE: 1/4" = 1'-0"

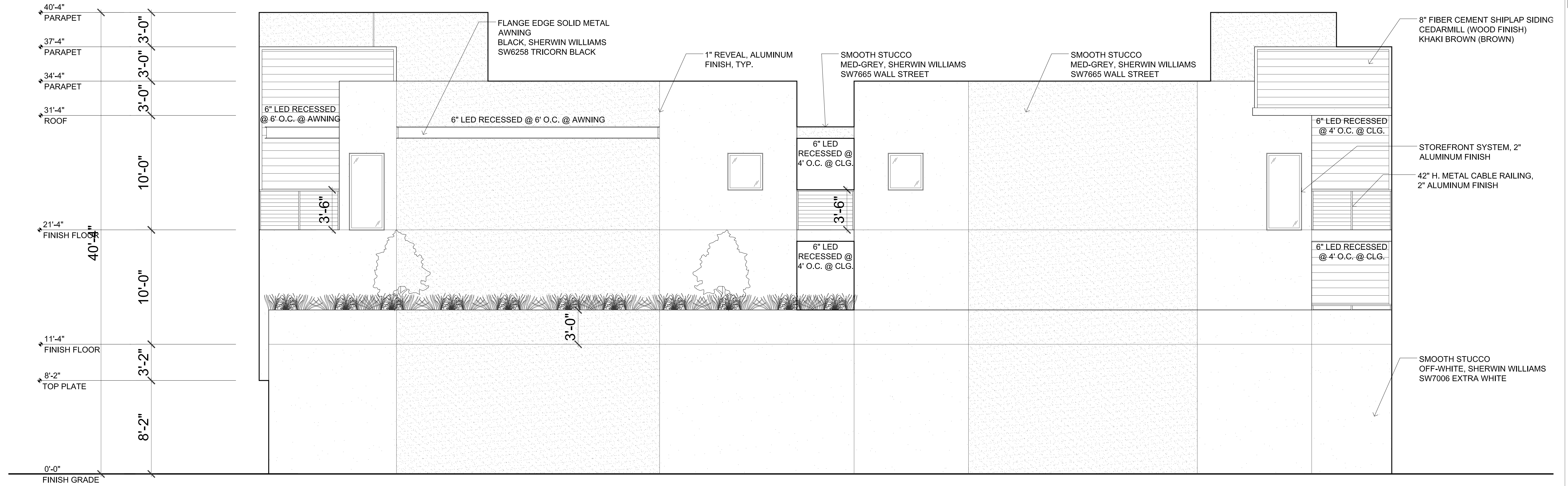
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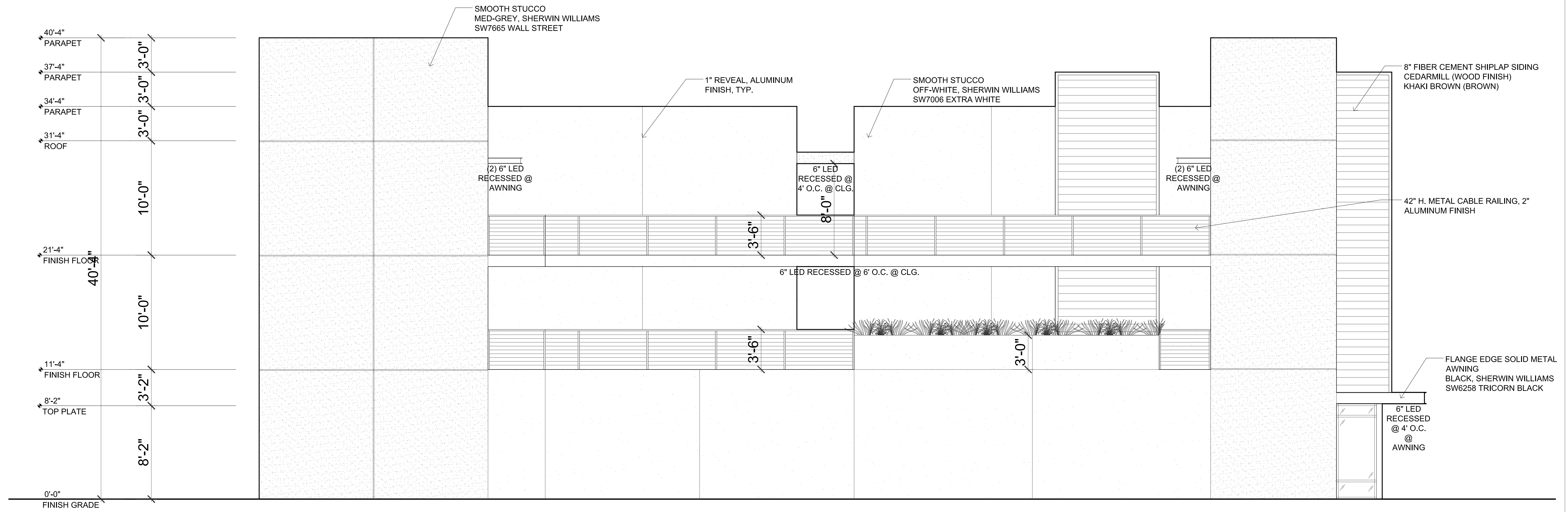


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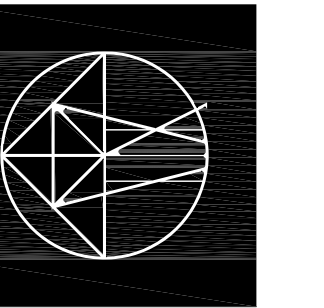
2 WEST ELEVATION (RIGHT ELEVATION)
SCALE: 1/4"=1'-0"



4 EAST ELEVATION (LEFT ELEVATION)
SCALE: 1/4"=1'-0"

MULTI-FAMILY PROJECT
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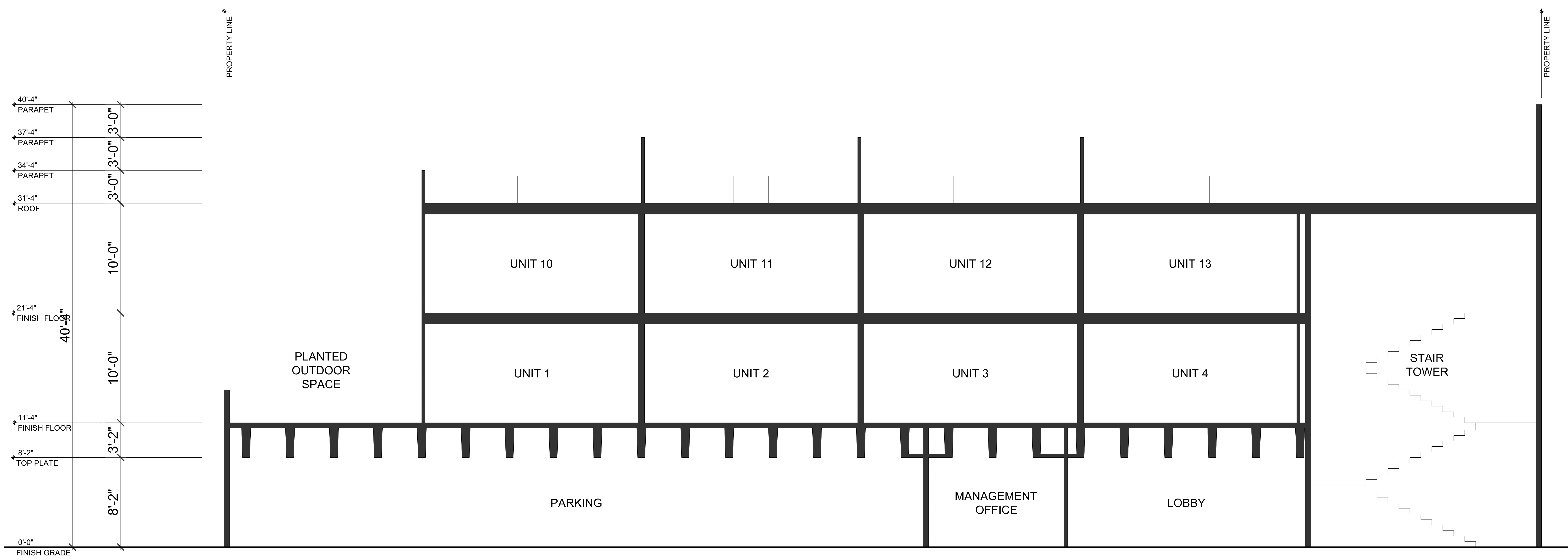
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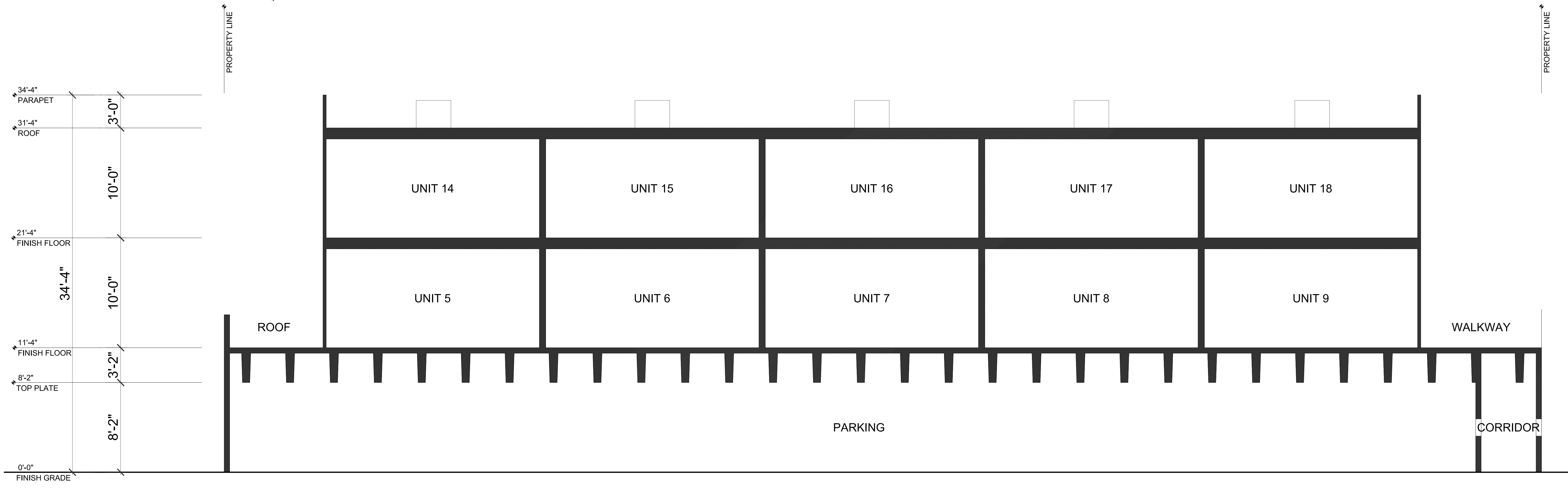
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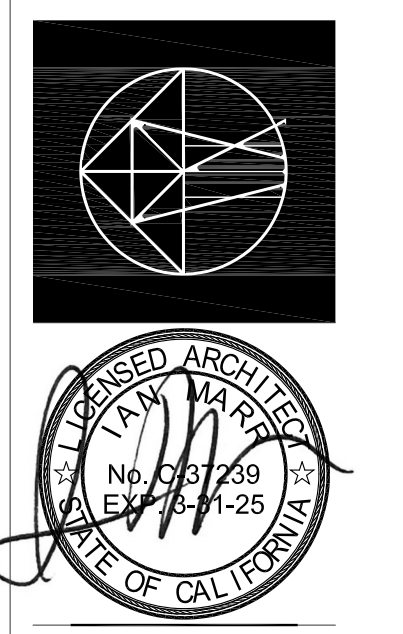
A SECTION A
SCALE: 1/2"=1'-0"



B SECTION B
SCALE: 1/2"=1'-0"

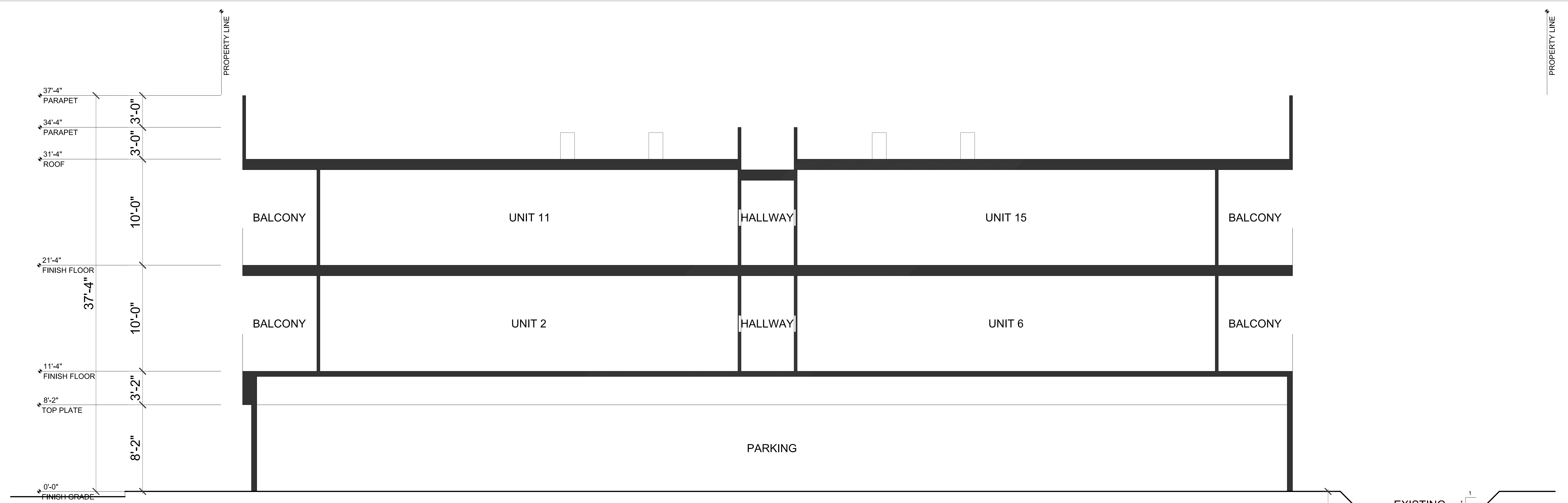
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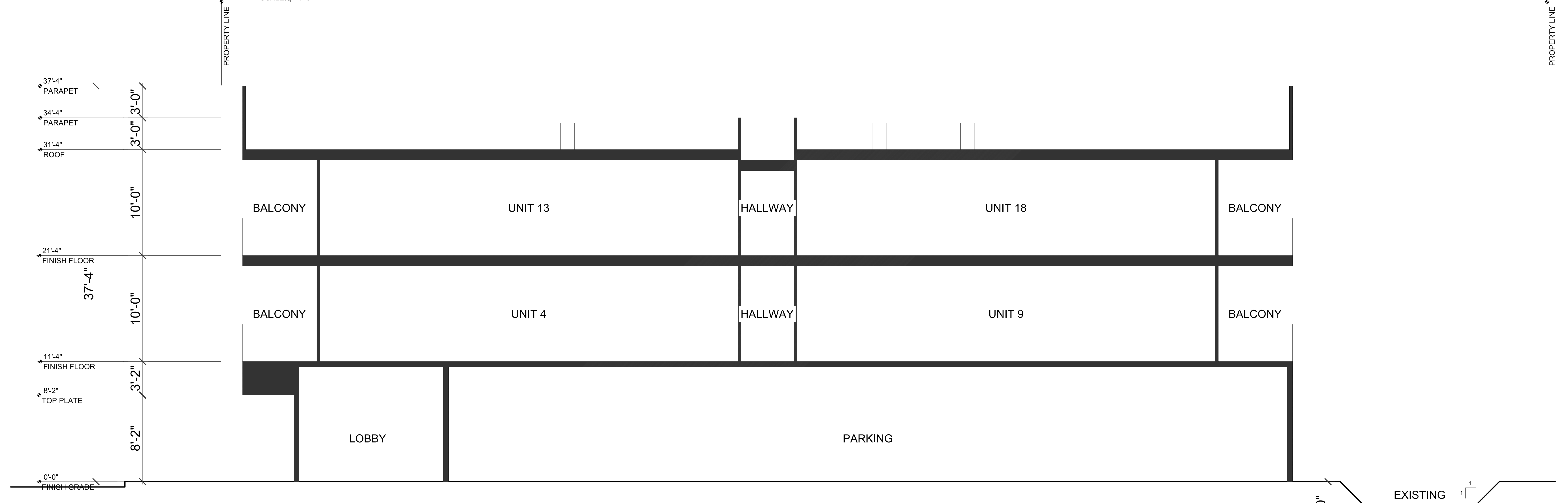


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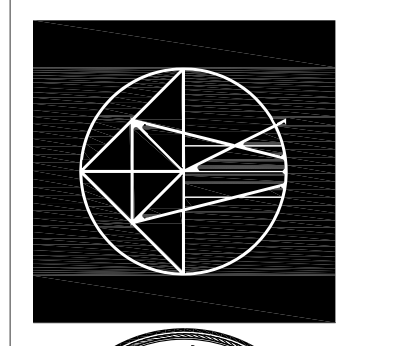
C SECTION C
SCALE: $\frac{1}{4}'' = 1'-0''$



D SECTION D
SCALE: $\frac{1}{4}'' = 1'-0''$

MULTI-FAMILY PROJECT
 7285 UNIVERSITY AVE., LA MESA, CA 91942

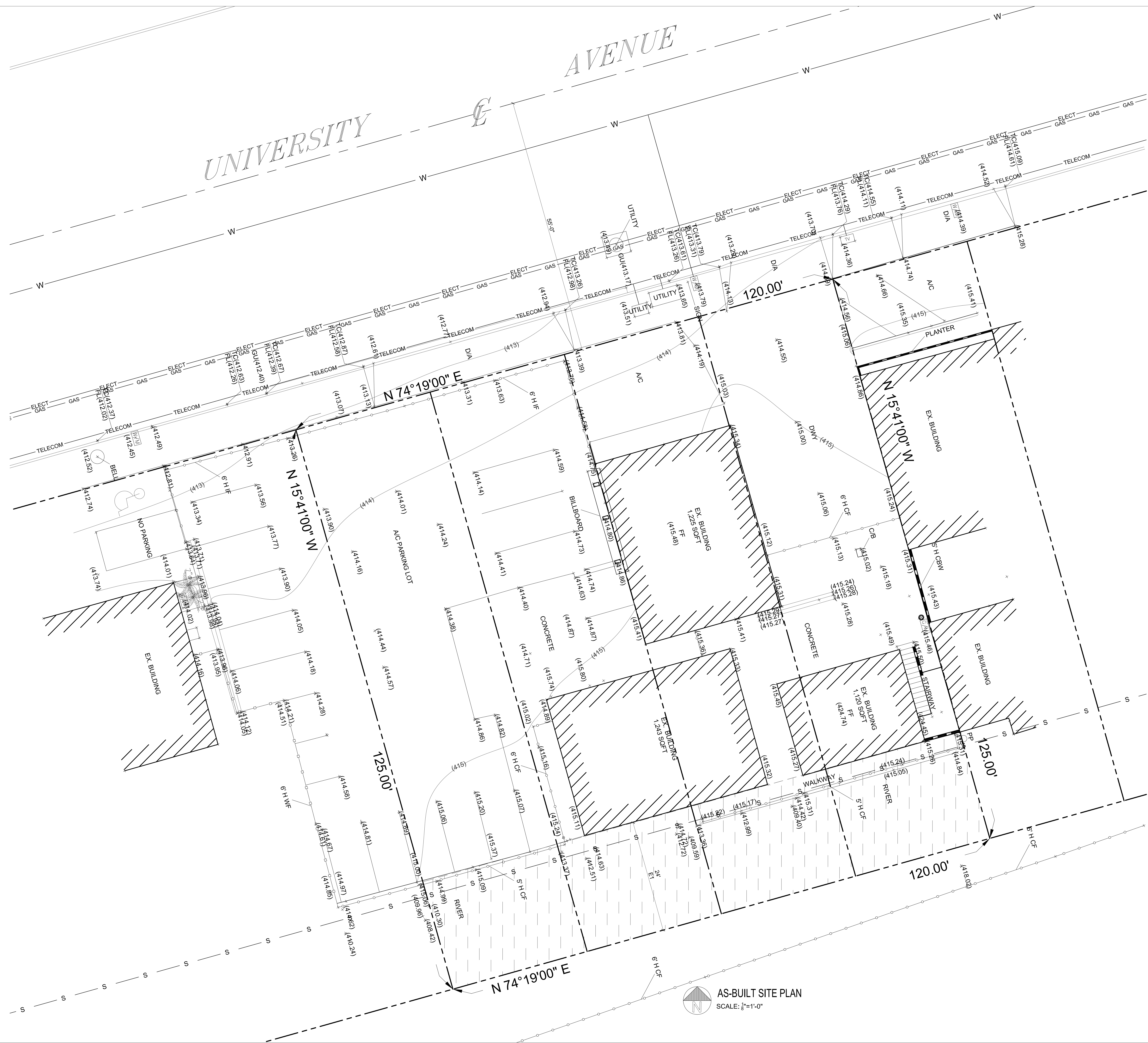
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AS-BUILT NOTES

1. EXISTING SITE DRAWINGS ARE A GOOD FAITH REPRESENTATION OF EXISTING SITE CONDITIONS.
2. AS-BUILT DRAWINGS WERE MADE FROM EXISTING DOCUMENTS PROVIDED FOR THE PROPOSED SITE.
3. EXISTING DRAWINGS DO NOT MAKE ANY ATTEMPT TO SHOW EXISTING COMPLIANCE WITH CURRENT CODES.

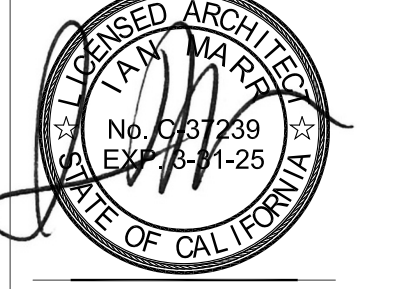
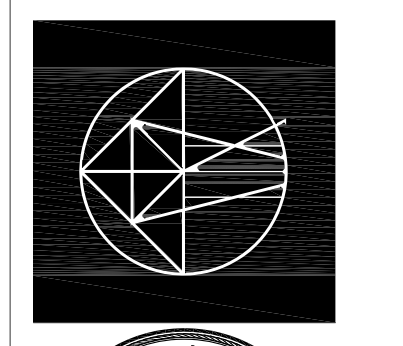
DEMOLITION NOTES

1. ALL EXISTING STRUCTURES ARE TO BE DEMOLISHED AND/OR REMOVED FROM THE SITE.
2. ALL DRIVEWAYS AND SIDEWALKS TO BE REPAIRED OR ALTERED SO AS TO BE IN CONFORMANCE WITH PROPOSED PLANS AND APPLICABLE CODES.

AS-BUILT SITE PLAN
SCALE: 1/8"=1'-0"

MULTI-FAMILY PROJECT
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Date 7/11/2024
 Scale 1/8"=1'-0"
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 Sheet

AB1.0



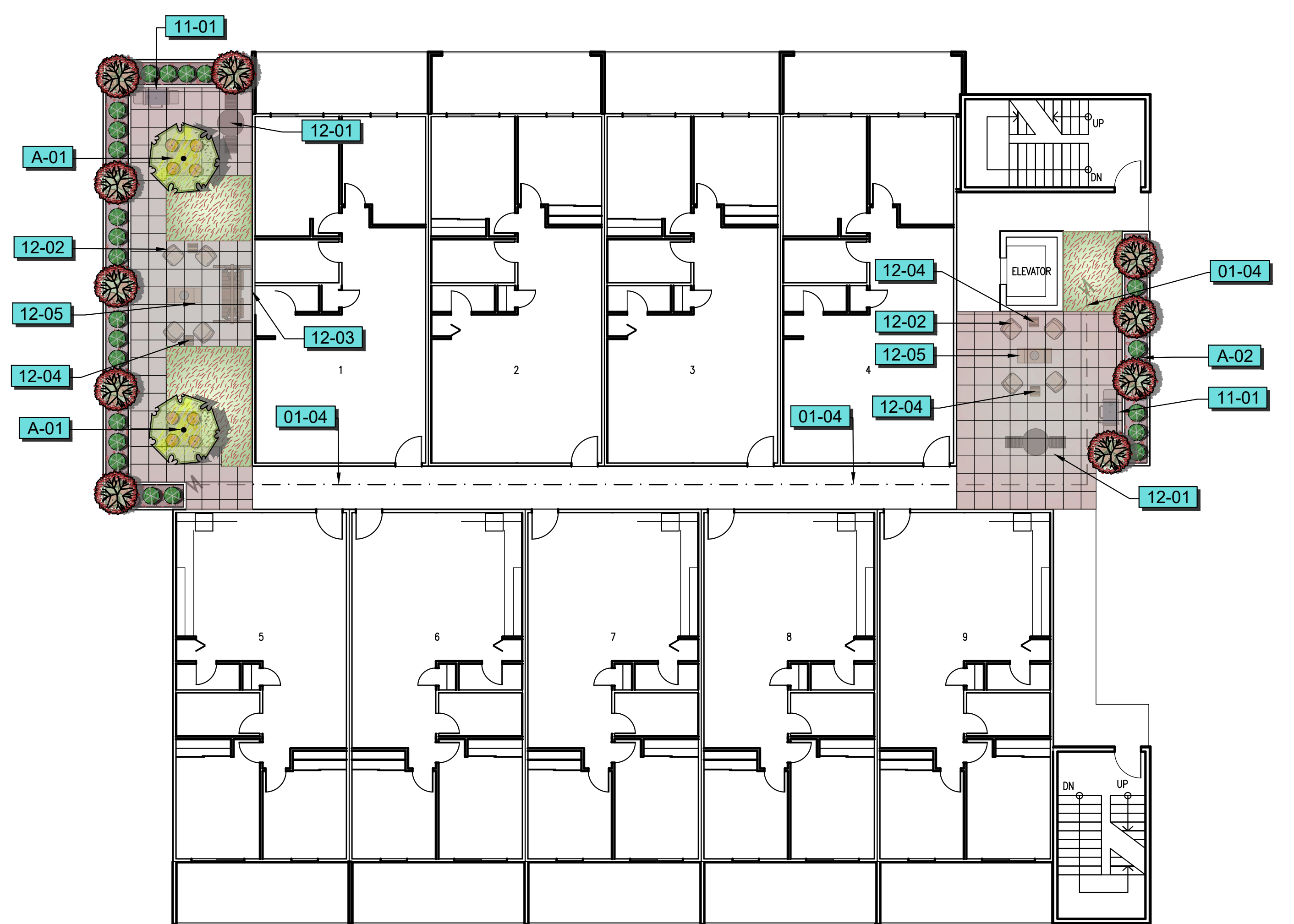
CONCEPTUAL LANDSCAPE PLAN

MULTI-FAMILY PROJECT 7285 UNIVERSITY AVENUE LA MESA, CALIFORNIA OWNER: FARID MAJIDI

NO.	REVISIONS

DRAWN BY	CAD
DESIGNED BY	STB
CHECKED BY	CR
DATE	6/26/24
JOB NO.	23-44
SCALE	1"=10'
SHEET	LP-1

UNIVERSITY AVENUE



2ND FLOOR

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
TREES					
	10	CITRUS JAPONICA 'MEIWA' PATIO TREE FORM	MEIWA KUMQUAT	15 GAL	MOD
	1	EUCALYPTUS CITRIODORA	LEMON SCENTED GUM	15 GAL	LOW
	1	PINUS CANARIENSIS STREET TREE	CANARY ISLAND PINE	36" BOX	MOD
	2	PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'	SILVER SHEEN TAWHIHIWI	36" BOX	LOW
SHRUBS					
	11	CRASSULA CAPITELLA 'CAMPFIRE' PLANT AT 18" O.C. FROM 4" POTS	CAMPFIRE CRASSULA	4"	LOW
GRASSES					
	17	LOMANDRA LONGIFOLIA 'BREEZE' TM	BREEZE MAT RUSH	5 GAL	LOW
PERENNIALS					
	40	PELARGONIUM PELTATUM MIXED COLORS--ALLOW TO DRAPE OVER WALLS	IVY GERANIUM	1 GAL	LOW
SUCCULENTS					
	7	AGAVE VILMORINIANA	OCTOPUS AGAVE	5 GAL	LOW
	24	ALOE RUDIOPPAE 'LITTLE GEM'	LITTLE GEM ALOE	5 GAL	LOW
	23	SANSEVIERIA TRIFASCIATA 'LAURENTII'	SANSEVIERIA	5 GAL	LOW
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
GROUND COVERS					
	2,880 SF	EXISTING VEGETATED FLOOD CHANNEL PROTECT IN PLACE	EXISTING	---	LOW
	635 SF	STONE MULCH--BLACK LAVA 1/2" SIZE OR LESS 3" DEEP	---	---	---
	235 SF	SYNTHETIC TURF OVER COOLING PAD	---	---	---

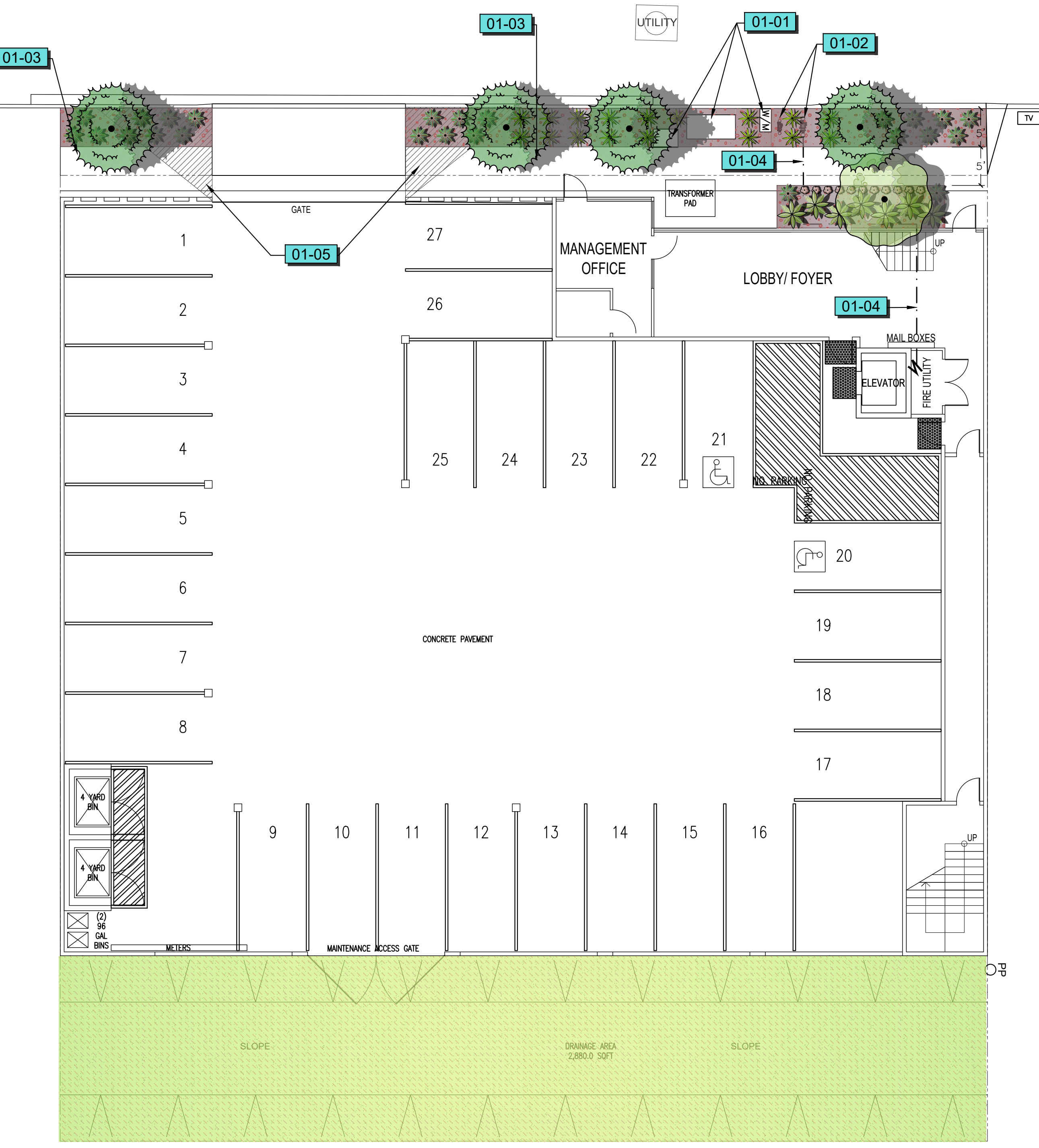
SYMBOL	01 GENERAL DESCRIPTION
01-01	EXISTING UTILITY--PROTECT IN PLACE
01-02	PROPOSED WATER AND SPRINKLER BACKFLOW DEVICES
01-03	NEW SIDEWALK PER ARCHITECT
01-04	CONCEPTUAL IRRIGATION MAINLINE LAYOUT. FINAL INSTALLATION SHALL BE PER DETERMINED IN WORKING DRAWINGS BY COORDINATION BETWEEN ARCHITECT AND LANDSCAPE ARCHITECT.
01-05	SIGHT LINE TRIANGLE PER CIVIL
SYMBOL	11 EQUIPMENT DESCRIPTION
11-01	BBQ UNIT WITH SIDE TABLES
SYMBOL	12 FURNISHINGS DESCRIPTION
12-01	36IN. DIAMETER TABLE WITH 2 SEATS.
12-02	LOUNGE CHAIR
12-03	SWINGING CHAIR
12-04	SIDE TABLE
12-05	FIRE TABLE
SYMBOL	CONSTRUCTION NOTES DESCRIPTION
A-01	RAISED TREE PLANTER--4' SQ X 3.5' HIGH--TIED INTO ROOF DRAINS
A-02	30" WIDE X 42" HIGH RAISED PLANTER/SAFETY BARRIER
SYMBOL	CONCRETE DESCRIPTION
	24" SQ. TILE PAVERS

MAWA AND ETWU CALCULATIONS							
California Water Efficient Landscape Worksheet							
Reference Evapotranspiration (ET _r)	Plant	Irrigation Method	Irrigation Efficiency (%)	ETAF (PPAE)	Project Type	Residential	0.55
Hydrozone # 7	Planting Description*	Factor (PF)	Method	Efficiency (%)	Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) [†]
Regular Landscape Areas							
TREES/SHRUBS	0.4	Drip	0.81	0.49	635	314	8341
SYNTHETIC LAWN	0	Drip	0.81	0.00	235	0	0
		Drip	0.81	0.00	0	0	0
		Drip	0.75	0.00	0	0	0
		Drip	0.81	0.00	0	0	0
Totals					870	314	8341
Special Landscape Areas							
					1	0	0
Totals					0	0	0
							8341
					ETWU Total		
					Maximum Allowed Water Allowance (MAWA) [‡]		
					12727		
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area	314						
Total Area	870						
Average ETAF	0.36						
All Landscape Areas							
Total ETAF x Area	314						
Total Area	870						
Average ETAF	0.36						

WATER CONSERVATION & IRRIGATION CONCEPT STATEMENT:
FINAL LANDSCAPE PLANS MEET ALL WATER CONSERVATION REQUIREMENTS SET FORTH IN BOTH THE CITY AND STATE ORDINANCES. THE FINAL PLANS WILL ACHIEVE THESE GOALS THROUGH THE USE OF HIGHLY EFFICIENT DRIP LINES AND/OR EMITTERS AND TREE BUBBLERS TO ALL PLANTED AREAS, COMBINED WITH A "SMART" E.T. BASED CONTROLLER AND RAIN SHUT-OFF DEVICE. THE CONTROLLER WILL RECEIVE E.T. INFORMATION THAT WILL ALLOW THE CONTROLLER TO UP-DATE R.C.V. RUN TIMES ON A DAILY BASIS THEREBY REDUCING THE NEED FOR MANUALLY ADJUSTING THE CONTROLLER FOR WEEKLY OR SEASONAL WEATHER CHANGES

EXISTING FLOOD CHANNEL LANDSCAPE:
ALL LANDSCAPE AND IRRIGATION WITHIN THE FLOOD CHANNEL IS TO BE PROTECTED IN PLACE. IF ANY AREA IS DISTURBED OR DAMAGED DURING PROJECT CONSTRUCTION, SAID AREAS IRRIGATION AND LANDSCAPE WILL BE REPAIRED OR REPLACED AS NEEDED TO A LIKE NEW CONDITION WITH LIKE IRRIGATION EQUIPMENT AND PLANTING AT NO COST TO THE OWNER AND TO THE OWNER'S SATISFACTION.

LANDSCAPE CONCEPT STATEMENT:
ALL PROPOSED PLANTING IS DROUGHT TOLERANT, CLIMATE ZONED APPROPRIATE AND GEARED TOWARD LOW MAINTENANCE AND LONGEVITY. THE PROPOSED LANDSCAPE WILL CREATE AN INVITING AND WELCOMED RELIEF TO THE CURRENT HARSH CONCRETE AND ASPHALT ENVIRONMENT. THE PROPOSED STREET TREES AT ±30' FEET ON CENTER, WILL PROVIDE MUCH NEEDED SHADE, WHILE THE UNDERSTORY OF ORNAMENTAL GRASSES, AGAVE, ALOES AND CRESSULA WILL ADD TEXTURE AND COLOR WHILE SOFTENING THE MAIN PEDESTRIAN WAY ALONG UNIVERSITY AVENUE. ONCE INSIDE THE NEW TENENTS WILL BE ABLE TO ACCESS, RELAX AND ENJOY 2 PRIVATE ROOFTOP GARDENS. THESE INTIMATE GARDENS WILL PROVIDE A PLACE TO GET AWAY AND SOCIALIZE WITH NEIGHBORS AND FRIENDS WHILE ENJOYING FRESH AIR, SUNSHINE OR THE NIGHT'S BREEZE.



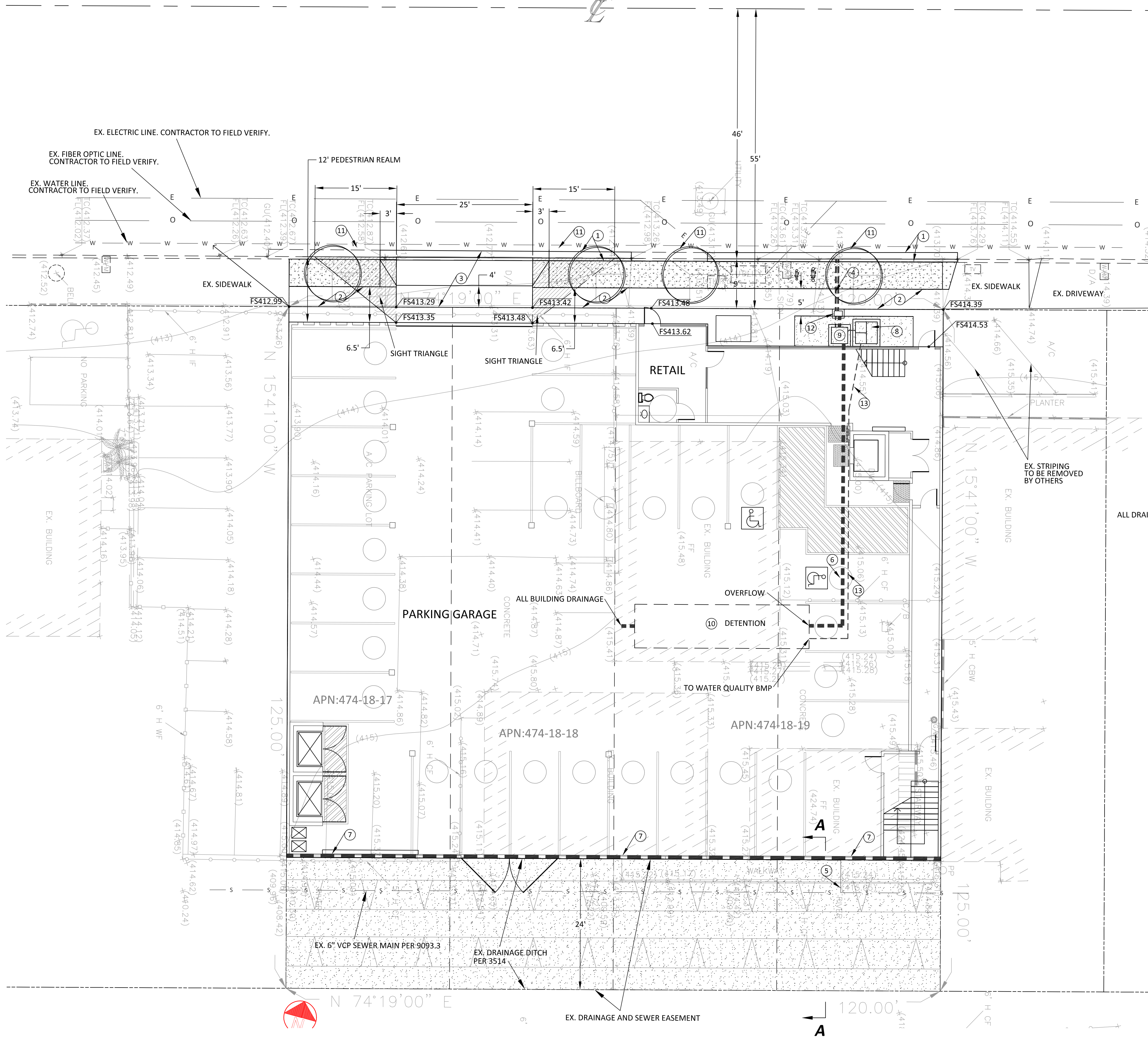
GROUND FLOOR

UNDERGROUND SERVICE ALERT
CALL TOLL FREE 811

Scale 1" = 10'

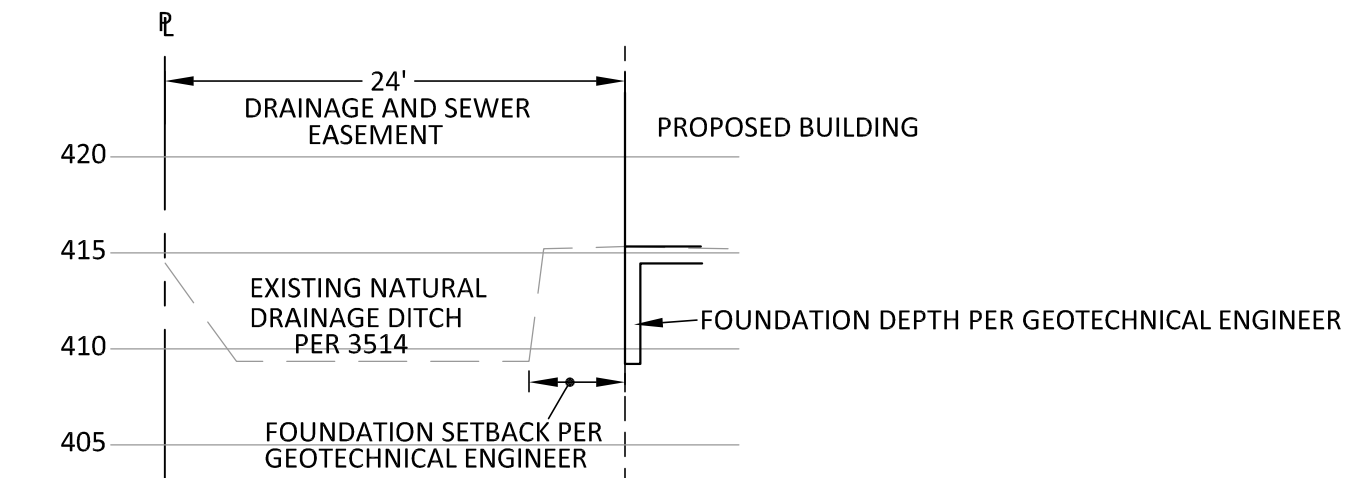
CONCEPTUAL GRADING PLAN

UNIVERSITY AVENUE

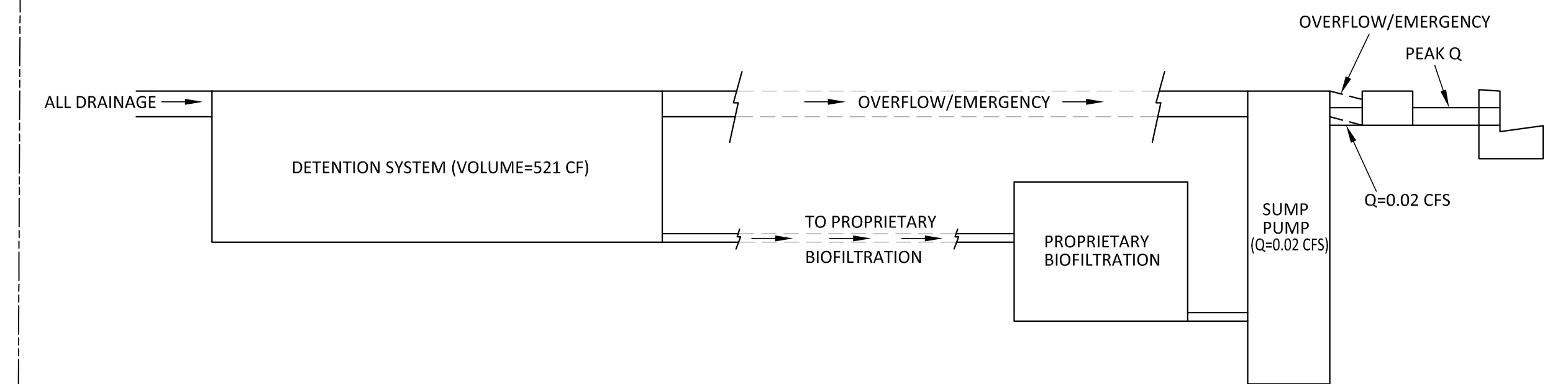


NOTES

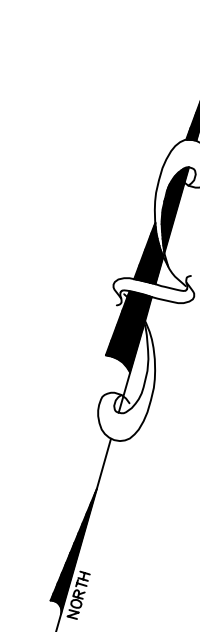
- 1 PROPOSED CURB AND GUTTER - COMBINED, PER SDRSD G-02
- 2 PROPOSED SIDEWALK PER SDRSD G-07
- 3 PROPOSED CONCRETE DRIVEWAY PER SDRSD G-14-B
- 4 PROPOSED SIDEWALK UNDERDRAIN PIPES PER SDRSD D-27
- 5 PROTECT-IN-PLACE EXISTING 6" SEWER LATERAL. EXISTING CONDITION TO BE VERIFIED.
- 6 PROPOSED DRAINAGE PIPE.
- 7 PROPOSED FOOTING PER STRUCTURAL PLANS AND GEOTECHNICAL RECOMMENDATIONS
- 8 PROPOSED PROPRIETARY BIOTREATMENT (STORM WATER POLLUTANT CONTROL BMP)
- 9 PROPOSED SUMP PUMP (MAX Q = 0.02 CFS)
- 10 PROPOSED DETENTION SYSTEM (VOLUME - 521 CUBIC FEET)
- 11 PROPOSED STREET TREE
- 12 PROPOSED CONCRETE CATCH BASIN
- 13 PROPOSED 2" DRAINAGE PIPE



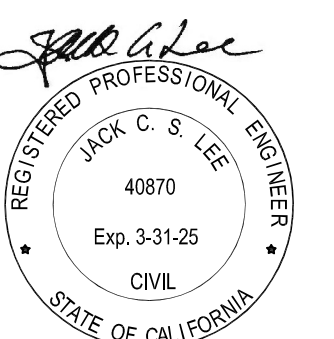
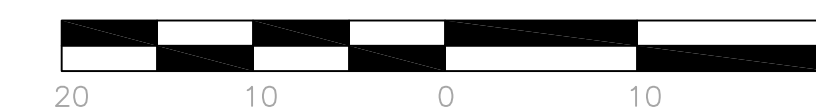
SECTION A-A



DRAINAGE DIAGRAM



SCALE: 1" = 10 FEET



7-11-2024

REFERENCE PLANS
CITY OF LA MESA DRAWING, NO'S



SITE PLAN FOR:
MULTI-FAMILY PROJECT
7285 UNIVERSITY AVENUE

CITY OF LA MESA, CALIFORNIA - PUBLIC WORKS/ENGINEERING DIVISION
SHEET 1 OF 1 SHEETS