

LA MESA BRANCH LIBRARY

FEASIBILITY STUDY for the CITY OF LA MESA
25 July 2023



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1. EXISTING CONDITIONS

Existing Conditions - Site

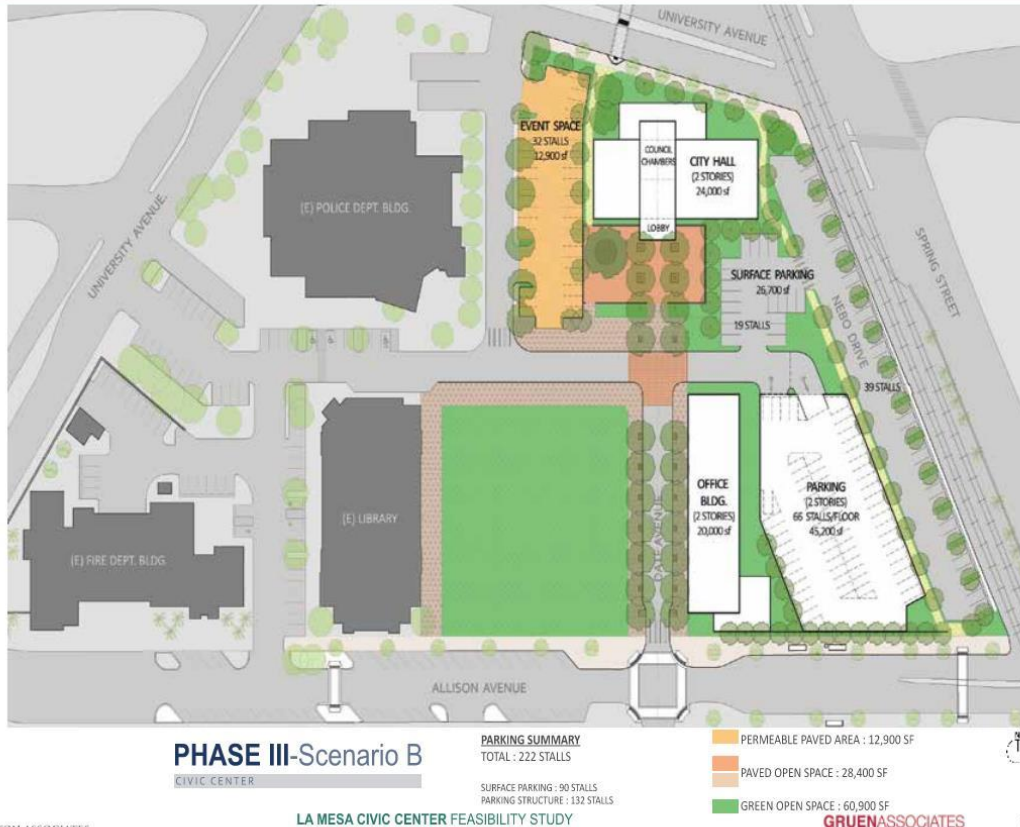


The La Mesa Branch of the San Diego County Library system is located on the corner of University Avenue and Allison Avenue in the City of La Mesa. The library has been situated on University Avenue since 1915 and within the Civic Center site since 1957, though in different buildings during this period.



Existing Conditions - Site

CONCEPTUAL SITE PLANS AND FINANCIAL FEASIBILITY

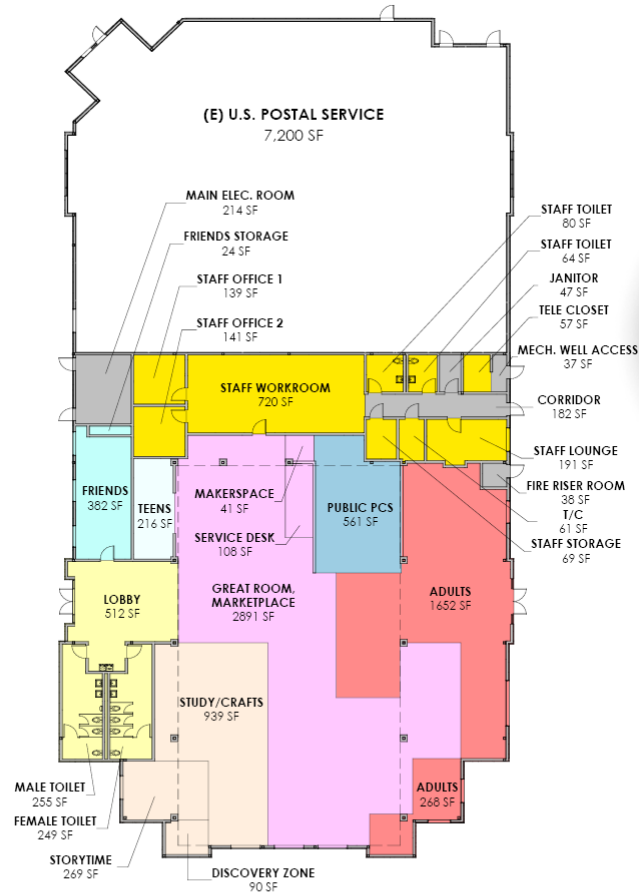


The 2016 Civic Center Feasibility Study outlines the establishment of a new City Hall and a new Event Space in the northern section of the La Mesa Civic Center while maintaining the existing buildings as is. Additionally, the plan suggests allocating parking facilities in the southern area of the Civic Center.

The La Mesa Library Feasibility Study aligns with the findings of the 2016 Civic Center Feasibility Study and offers solutions that are in accordance with its recommendations.



Existing Conditions - Library



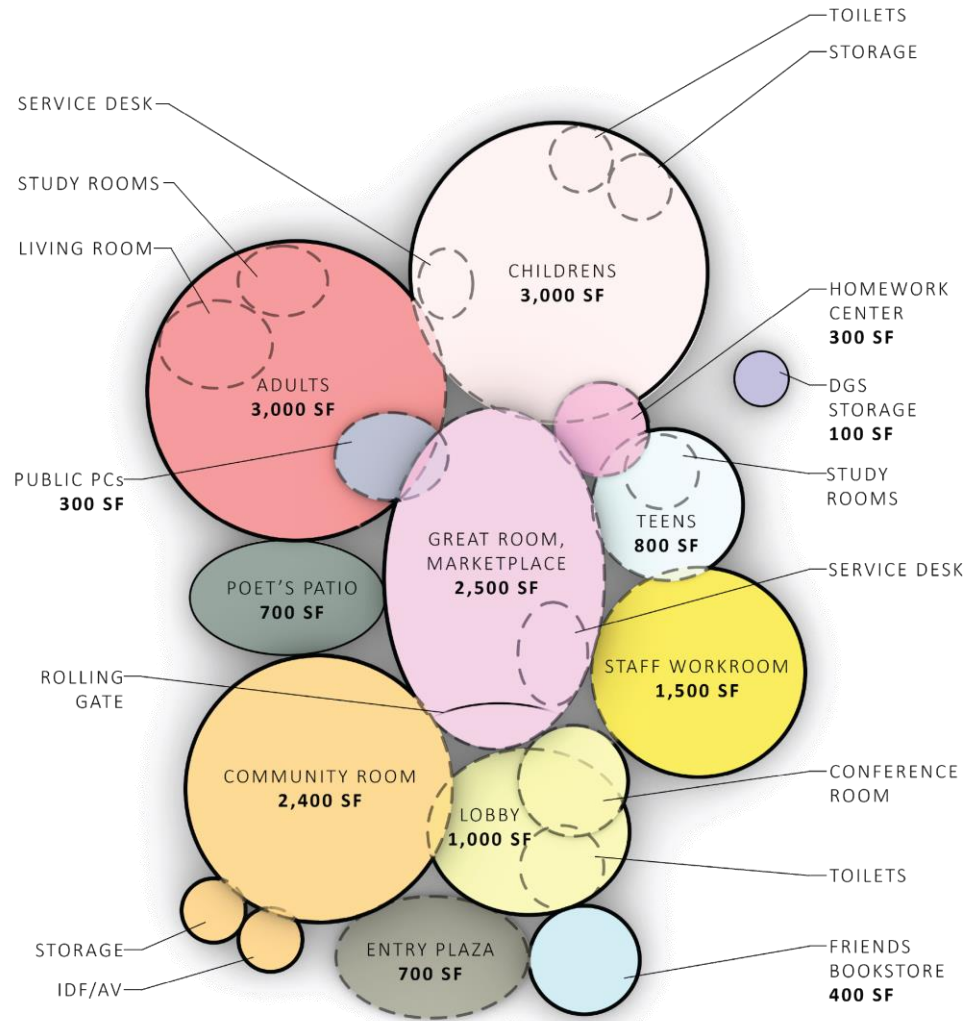
**EXISTING
LEVEL 1**

Existing La Mesa Library Level-1 Floor plan. The Library shares the building with United States Postal Service office.

| | |
|-----------------------------------|---------------------------------------|
| Gross Building Area | 16,873 SF |
| Library (GSF) | 10,373 SF |
| Post Office (GSF) | 6,500 SF |
| Building Stories/Height | 1-story w/ top of roof at 36'-4" |
| Acquired Construction Date | July 1, 2008 |
| Building Age (2023) | 15 years |
| Construction Type | Type II w/ automatic sprinkler system |
| California Building Code | 2001 |
| Specific Plan Area | Downtown Village |
| Tenure | Operating Agreement |
| Rent | N/A |
| Expiration | November 3, 2045 |
| Facility Condition Index | N/A |

Library Building Matrix

Program Adjacencies



MEDIUM
15,000 SF

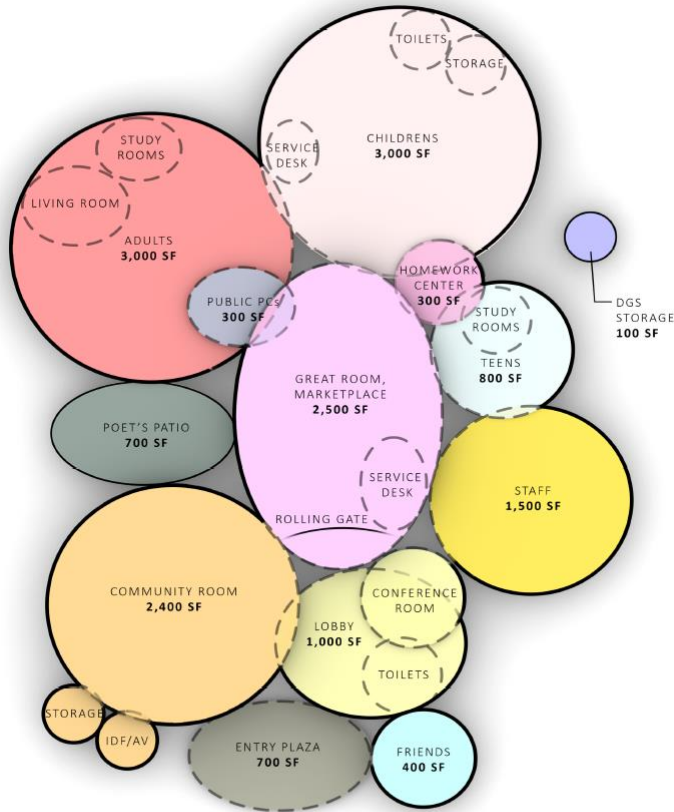
As per the SDCL Master Plan Template (2016) for a medium sized library(15,000 SF), a library should have dedicated secondary spaces such as:

- homework centers
- study rooms
- conference rooms etc.

Community rooms are accessed through the lobby for potential after-hours use, where the lobby can be closed via rolling gate. At minimum, a 2,000 SF community room shall be provided.

A Friends of the Library bookstore is included and accessed from the entry plaza only.

Existing Conditions - Library



PROTOTYPE DIAGRAM
MIN. 15,000 SF

| | PROTOTYPE | EXISTING | |
|------------|------------|-------------------------------|------------|
| | AREA (GSF) | LIBRARY PROGRAM | AREA (GSF) |
| LOBBY | 200 SF | LOBBY | 512 SF |
| | 200 SF | CONFERENCE ROOM | 0 SF |
| | 300 SF | MALE TOILET | 255 SF |
| | 300 SF | FEMALE TOILET | 249 SF |
| | 1,000 SF | | 1,016 SF |
| COMMUNITY | 2,000 SF | COMMUNITY ROOM | 0 SF |
| | 150 SF | SERVING ROOM | 0 SF |
| | 200 SF | STORAGE ROOM | 0 SF |
| | 50 SF | IDF / AV CLOSET | 0 SF |
| | 2,400 SF | | 0 SF |
| FRIENDS | 300 SF | PUBLIC SPACE | 382 SF |
| | 100 SF | STORAGE / PROCESSING | 24 SF |
| | 400 SF | | 406 SF |
| GREAT ROOM | 1,600 SF | GREAT ROOM / MARKETPLACE | 2,891 SF |
| | 200 SF | SERVICE DESK (REFERENCE DESK) | 108 SF |
| | 100 SF | MAKERSPACE | 41 SF |
| | 300 SF | HOMEWORK CENTER | 0 SF |
| | 300 SF | PUBLIC PCS | 561 SF |
| ADULTS | 2,500 SF | | 3,601 SF |
| | 2,000 SF | ADULT SPACE | 1,920 SF |
| | 450 SF | LIVING ROOM | 0 SF |
| | 150 SF | STUDY ROOM 1 | 0 SF |
| | 150 SF | STUDY ROOM 2 | 0 SF |
| | 150 SF | STUDY ROOM 3 | 0 SF |
| | 100 SF | VET CONNECT | 0 SF |
| | 3,000 SF | | 1,920 SF |
| CHILDRENS | 80 SF | SERVICE DESK (REFERENCE DESK) | 0 SF |
| | 900 SF | STORYTIME AREA | 269 SF |
| | 900 SF | DISCOVERY ZONE | 90 SF |
| | 1,000 SF | STUDY / CRAFTS AREA | 939 SF |
| | 50 SF | STORAGE | 0 SF |
| | 70 SF | ALL GENDER TOILET | 0 SF |
| | 3,000 SF | | 1,298 SF |
| TEENS | 500 SF | TEEN AREA | 216 SF |
| | 150 SF | TEEN STUDY ROOM 1 | 0 SF |
| | 150 SF | TEEN STUDY ROOM 2 | 0 SF |
| | 800 SF | | 216 SF |
| STAFF | 950 SF | STAFF WORKROOM | 720 SF |
| | 100 SF | MANAGER'S OFFICE | 280 SF |
| | 130 SF | STAFF STORAGE | 69 SF |
| | 120 SF | DATA / IDF | 118 SF |
| | 130 SF | STAFF BREAKROOM | 191 SF |
| | 70 SF | STAFF TOILET | 144 SF |
| | 1,500 SF | | 1,522 SF |
| DGS | 100 SF | DGS STORAGE | 0 SF |
| | 100 SF | | 0 SF |
| | 15,300 SF | TOTAL GROSS AREA: | 9,855 SF |
| SERVICE | - | JANITORIAL | 47 SF |
| | - | ELECTRICAL / MECHANICAL | 289 SF |
| | - | CORRIDOR | 182 SF |
| | | | 518 SF |
| | | TOTAL GROSS AREA: | 10,373 SF |



This feasibility study uses the San Diego County Libraries' template adjacency diagram for a 15,300 gross square foot library (informally referred to as 15,000 GSF), as the target size and spatial layout for the future of the La Mesa branch library.

The existing library branch is without any dedicated **communal meeting spaces, homework center, dedicated study rooms, or an exterior reading space ("Poet's Patio")**

2. SURVEY SUMMARY AND FINDINGS

Survey summary and findings

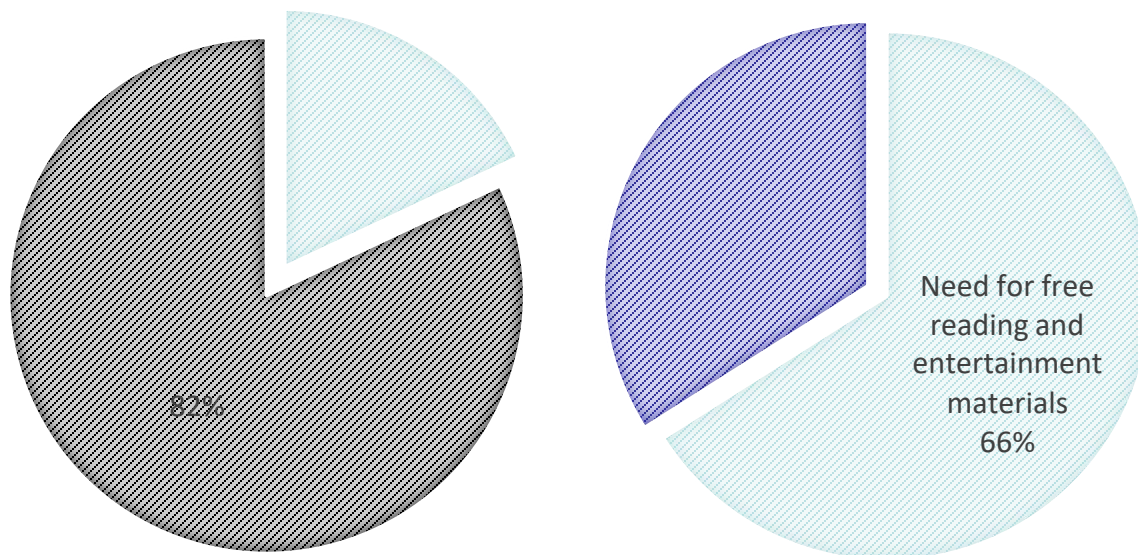
2023 City of La Mesa Parks, Recreation & Library Needs Assessment

A survey was commissioned as part of this study to receive scientifically valid input from residents. ETC conducted the survey.



LA MESA RESIDENTS

■ w/out Library card ■ w/ library card



The three roles and services that residents think are most important for the library to provide, are:

- Support for education and literacy for children, teens, and adults **(60%)**
- Provide resources for reading/listening/viewing **(43%)**
- Provide quiet places for reading and individual study **(34%)**

Seventy-one percent (71%) of residents use books provided by the La Mesa Branch Library, 78% of residents are aware but do not use the public computers/laptops, 67% of residents are not aware that State Park Passes are offered or Tech Connect Kits (62%).

Survey summary and findings

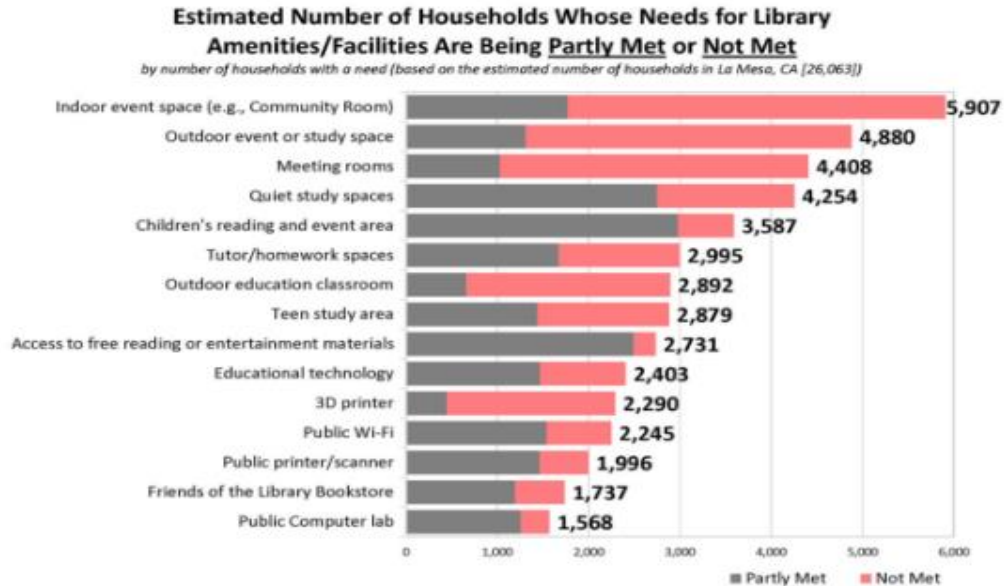
Library Amenities/Facilities - Needs

ETC Institute was able to estimate the number of households in La Mesa that had the greatest “unmet” need for library amenities/facilities



The top four library amenities/facilities with the highest percentage of households whose needs are currently being partly met or not met are listed below:

- Indoor event space (5,907 households)
- Outdoor event or study space (4,880 households)
- Meeting rooms (4,408 households)
- Quiet study spaces (4,254 households)



Survey summary and findings

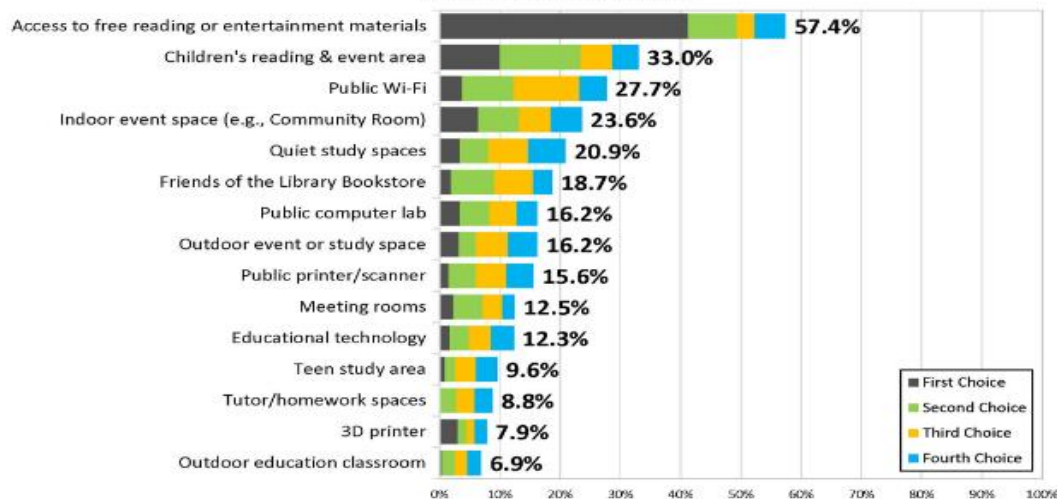
Library Amenities/Facilities - Importance

In addition to assessing the needs for each amenity/facility, ETC Institute also evaluated the importance that households placed on each one.



Q3. Which FOUR types of amenities/facilities from the list in Question 2 are MOST IMPORTANT to you or any members of your household?

by sum of respondents top four choices



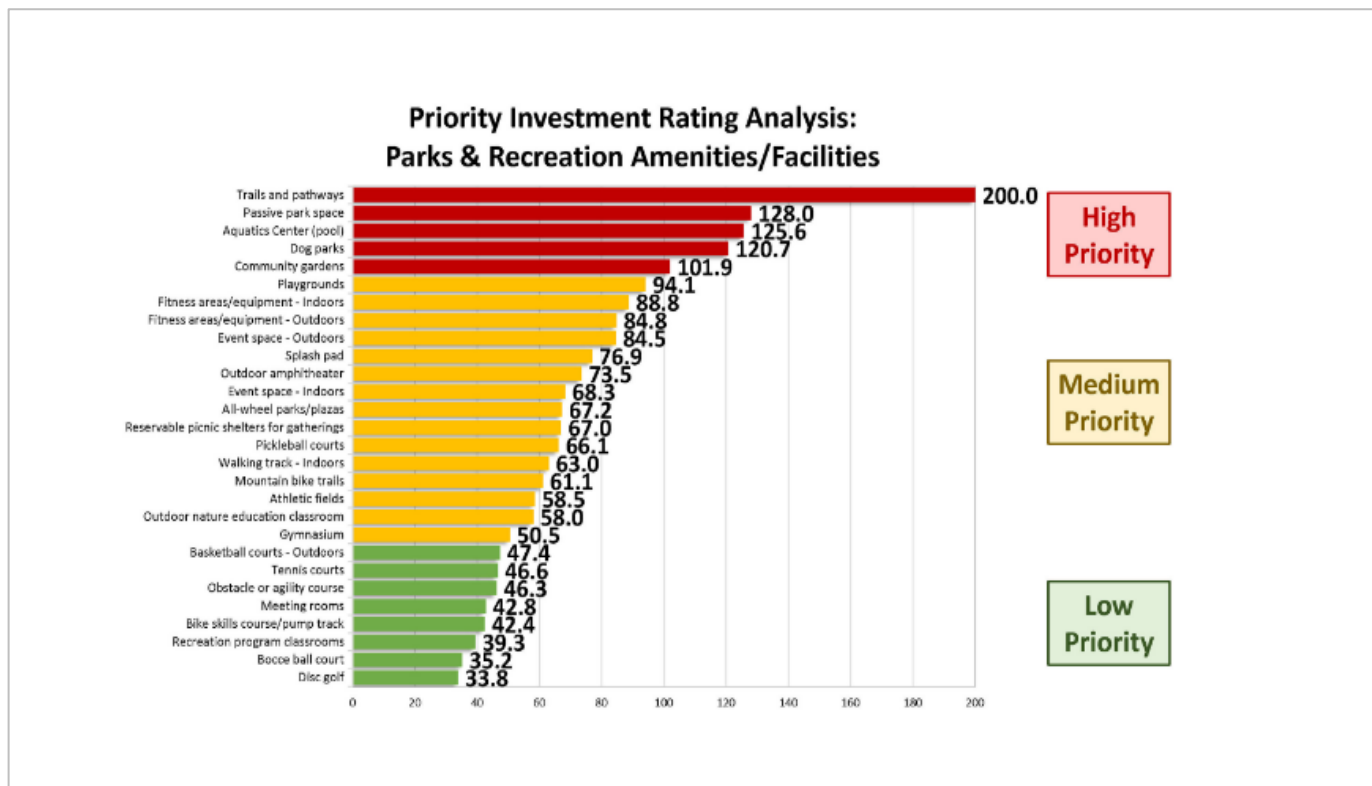
Based on the sum of households' top four choices, the top four most important amenities/facilities to households are listed below:

- Access to free reading or entertainment materials (57%)
- Children's reading and event area (33%)
- Public Wi-Fi (28%)
- Indoor event space (24%)

Survey summary and findings

Library Amenities/Facilities - Investment

The Priority Investment Rating (PIR) was developed by ETC Institute to provide organizations with an objective tool for evaluating the priority that should be placed on Parks and Recreation investments.



Based on the Priority Investment Rating (PIR), the library amenities/facilities that were rated as high priorities for investment are listed below:

- Access to free reading or entertainment materials
- Indoor event space
- Children's reading and event area
- Outdoor event or study space

Based on the Priority Investment Rating (PIR), the library amenities/facilities that were rated as medium priorities for investment are listed below:

- Meeting rooms
- Public Wi-Fi
- Tutor/Homework spaces
- Teen study area

Survey summary and findings



Recommendations

In order to ensure the City of La Mesa Parks, Recreation, and Library Departments continues to meet the needs and expectations of their service area, ETC Institute recommends that they sustain and/or improve the performance in areas that are identified as "high priorities" by the Priority Investment Rating (PIR). The parks and recreation and library amenity, facility, and programs with the highest PIR ratings are listed below.

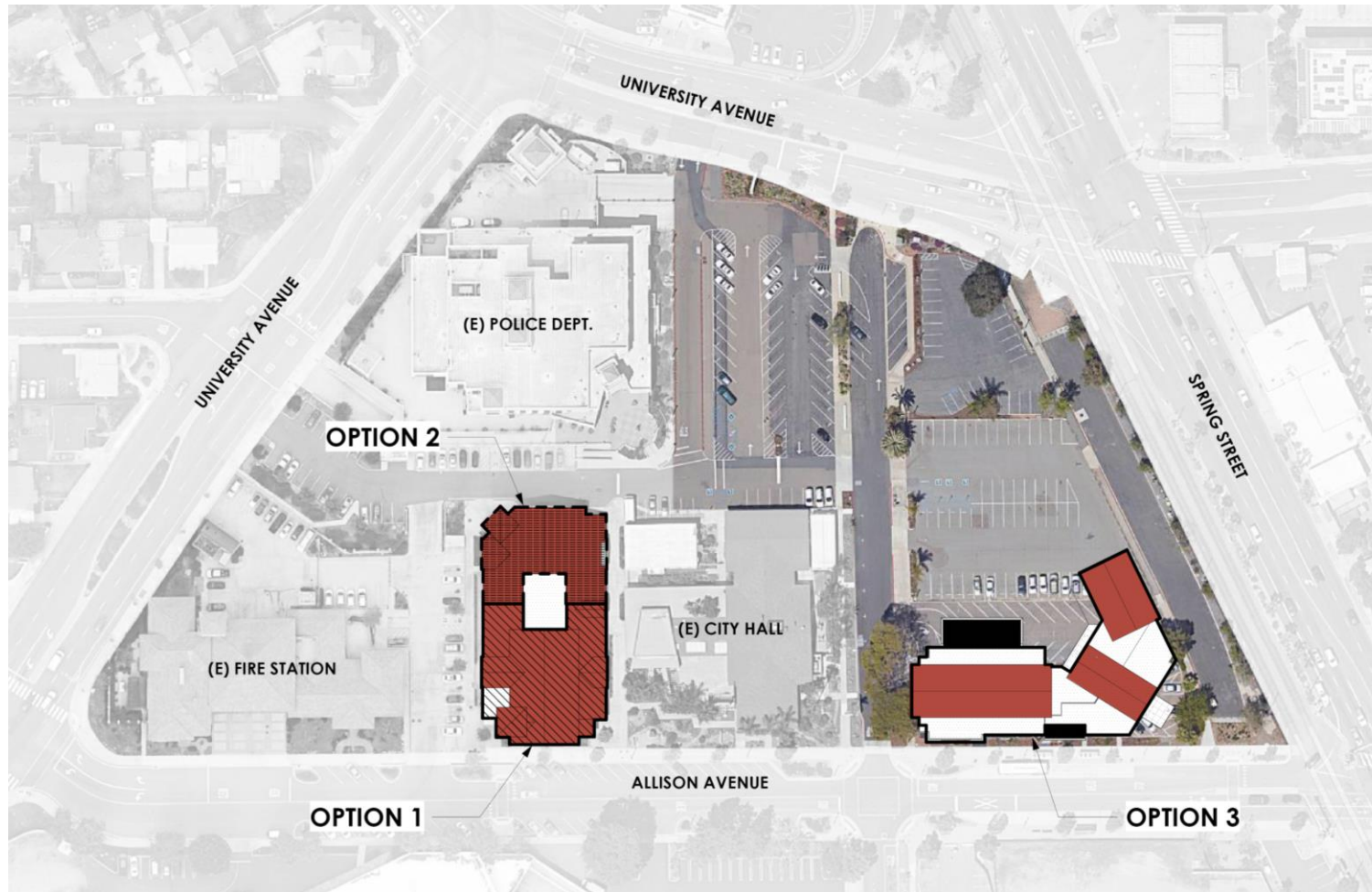
Library Amenities/Facilities

- Access to free reading or entertainment materials
- Indoor event space
- Children's reading and event area
- Outdoor event or study space

3. SCHEMATIC PLANS AND COST ESTIMATE

- Option 1: Vertical Expansion
- Option 2: Post Office Expansion
- Option 3: New Building

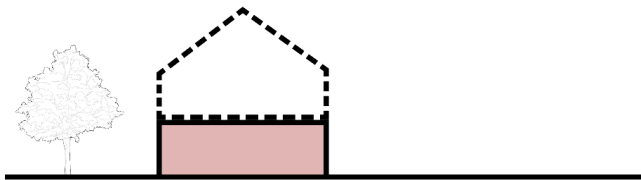
Schematic Plans and Cost Estimate



Three schematic options were developed to increase the branch size.

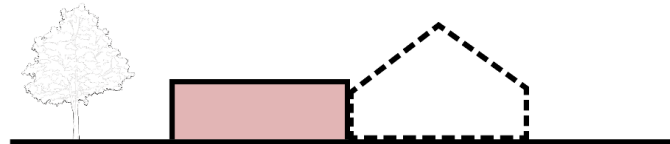
While the first two options studied the feasibility of expanding at the current library facility, the third option studied a new facility of which the first two options could be compared against in cost. The total gross square footage target for each option was 15,300 GSF.

Schematic Plans and Cost Estimate



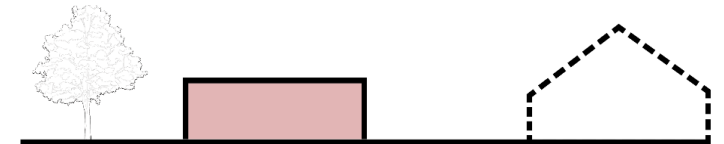
Option 1 - Vertical Expansion

This option adds a second level to the existing library facility.



Option 2 - Horizontal Expansion

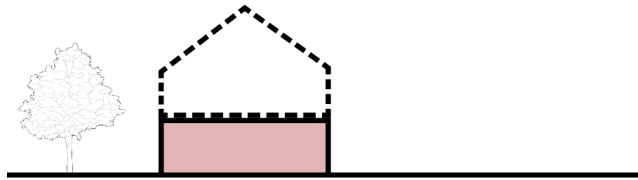
This option expands the library into the existing and adjacent United States Postal Service Office.



Option 3 - New Facility

This option builds a new library facility in the adjacent parking lot.

Schematic Plans and Cost Estimate



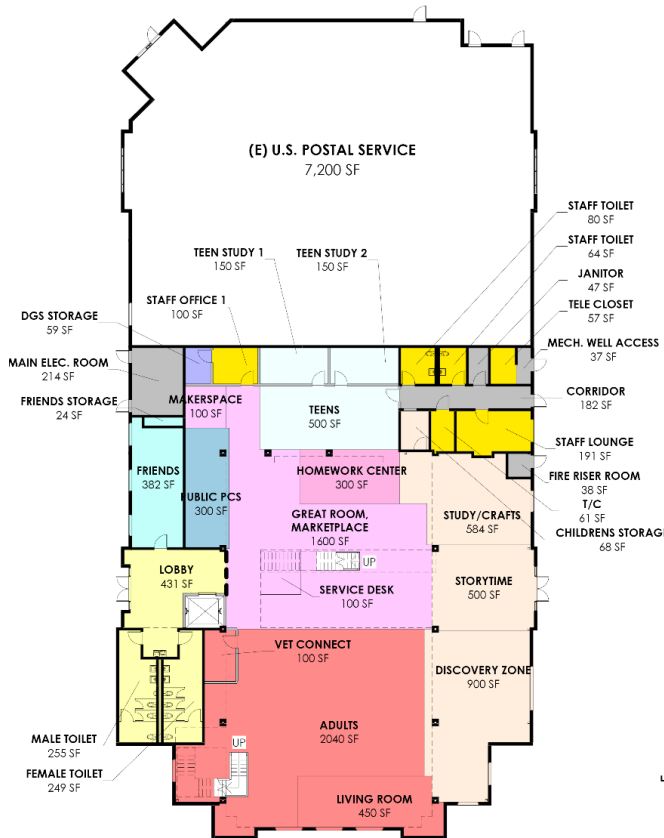
Option 1 - Vertical Expansion

This option adds a second level to the existing library facility.

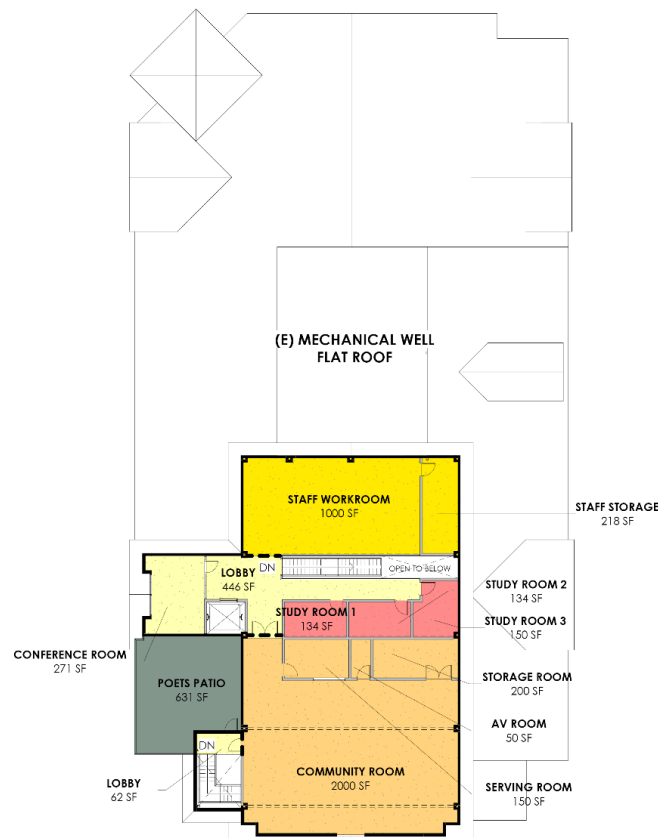
Schematic Plans and Cost Estimate

Option 1 - Vertical Expansion

This option adds a second level to the existing library facility.



**OPTION 1
LEVEL 1**



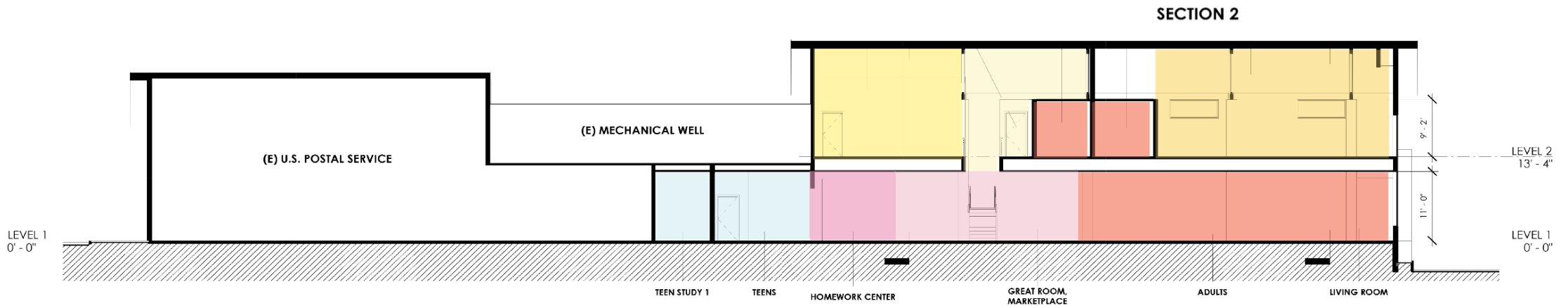
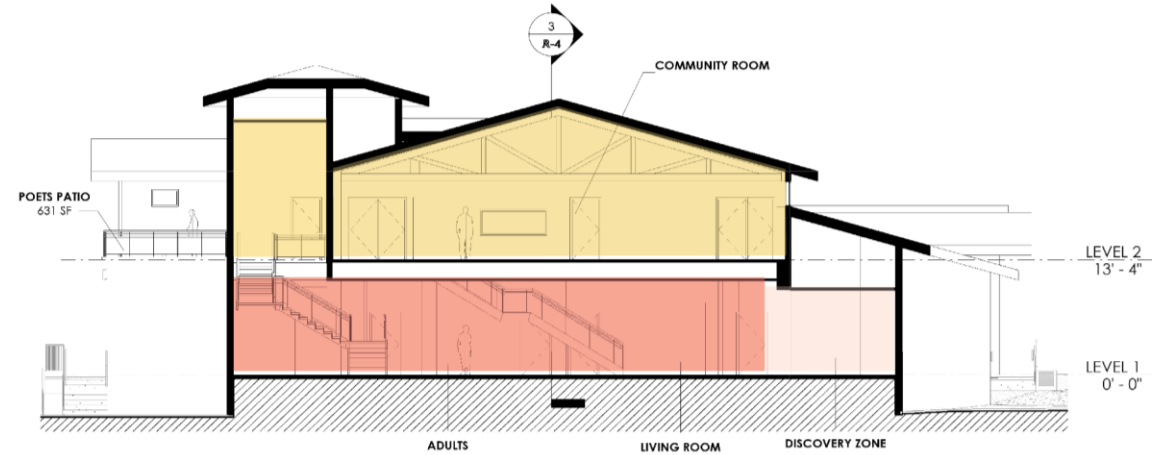
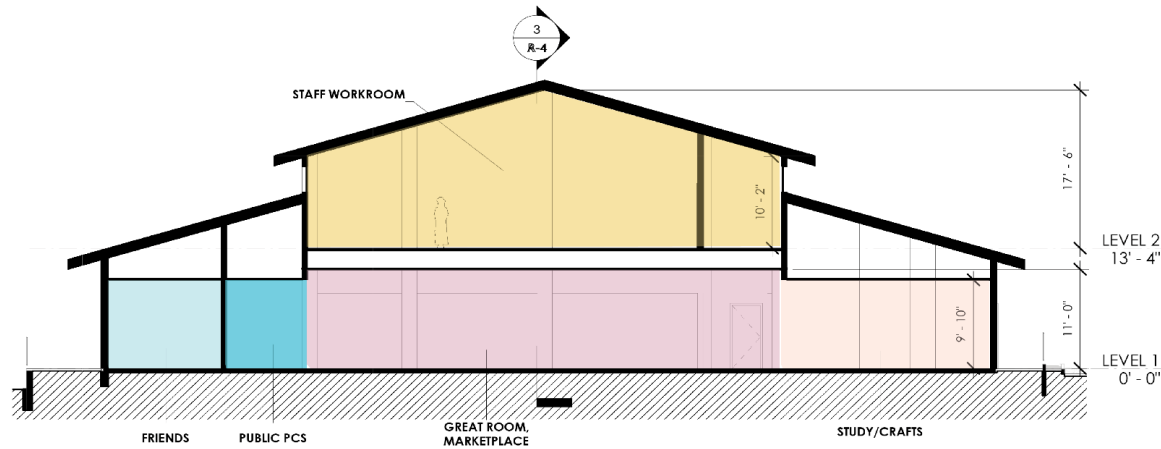
**OPTION 1
LEVEL 2**

| | PROTOTYPE | OPTION 1 | |
|-------------------|------------------|-------------------------------|------------------|
| | AREA (GSF) | LIBRARY PROGRAM | AREA (GSF) |
| (E) = AS EXISTING | | | |
| LOBBY | 200 SF | LOBBY | 939 SF |
| | 200 SF | CONFERENCE ROOM | 271 SF |
| | 300 SF | MALE TOILET | 255 SF (E) |
| | 300 SF | FEMALE TOILET | 249 SF (E) |
| | 1,000 SF | | 1,714 SF |
| COMMUNITY | 2,000 SF | COMMUNITY ROOM | 2,000 SF |
| | 150 SF | SERVING ROOM | 150 SF |
| | 200 SF | STORAGE ROOM | 200 SF |
| | 50 SF | IDF / AV CLOSET | 50 SF |
| | 2,400 SF | | 2,400 SF |
| FRIENDS | 300 SF | PUBLIC SPACE | 382 SF (E) |
| | 100 SF | STORAGE / PROCESSING | 24 SF (E) |
| | 400 SF | | 406 SF |
| GREAT ROOM | 1,600 SF | GREAT ROOM / MARKETPLACE | 1,600 SF |
| | 200 SF | SERVICE DESK (REFERENCE DESK) | 100 SF |
| | 100 SF | MAKERSPACE | 100 SF |
| | 300 SF | HOMEWORK CENTER | 300 SF |
| | 2,500 SF | | 2,500 SF |
| ADULTS | 2,000 SF | ADULT SPACE | 2,040 SF |
| | 450 SF | LIVING ROOM | 450 SF |
| | 150 SF | STUDY ROOM 1 | 134 SF |
| | 150 SF | STUDY ROOM 2 | 134 SF |
| | 3,000 SF | | 3,008 SF |
| CHILDRENS | 80 SF | SERVICE DESK (REFERENCE DESK) | 0 SF |
| | 900 SF | STORYTIME AREA | 500 SF |
| | 900 SF | DISCOVERY ZONE | 900 SF |
| | 1,000 SF | STUDY / CRAFTS AREA | 584 SF |
| | 3,000 SF | | 2,052 SF |
| TEENS | 500 SF | TEEN AREA | 500 SF |
| | 150 SF | TEEN STUDY ROOM 1 | 150 SF |
| | 150 SF | TEEN STUDY ROOM 2 | 150 SF |
| | 800 SF | | 800 SF |
| STAFF | 950 SF | STAFF WORKROOM | 1,000 SF |
| | 100 SF | MANAGER'S OFFICE | 100 SF |
| | 130 SF | STAFF STORAGE | 218 SF |
| | 120 SF | DATA / IDF | 118 SF (E) |
| | 1,500 SF | | 1,764 SF |
| DGS | 100 SF | DGS STORAGE | 59 SF |
| | 100 SF | | 59 SF |
| | 15,300 SF | TOTAL GROSS AREA: | 15,658 SF |
| SERVICE | - | JANITORIAL | 47 SF (E) |
| | - | ELECTRICAL / MECHANICAL | 289 SF (E) |
| | - | CORRIDOR | 182 SF (E) |
| | | | 518 SF |
| | | TOTAL GROSS AREA: | 16,176 SF |

Schematic Plans and Cost Estimate

Option 1 - Vertical Expansion

This option adds a second level to the existing library facility.

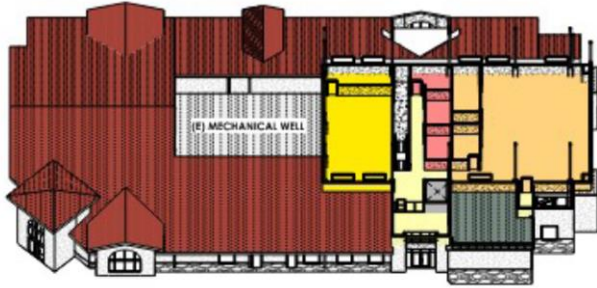


SECTION 3

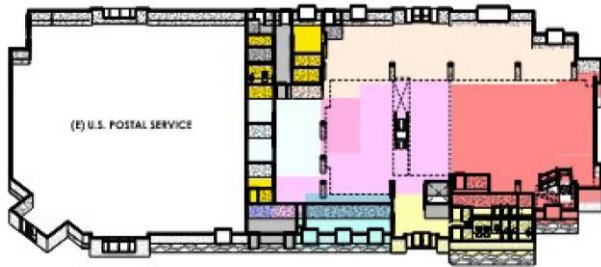
Schematic Plans and Cost Estimate

Option 1 - Vertical Expansion

This option adds a second level to the existing library facility.

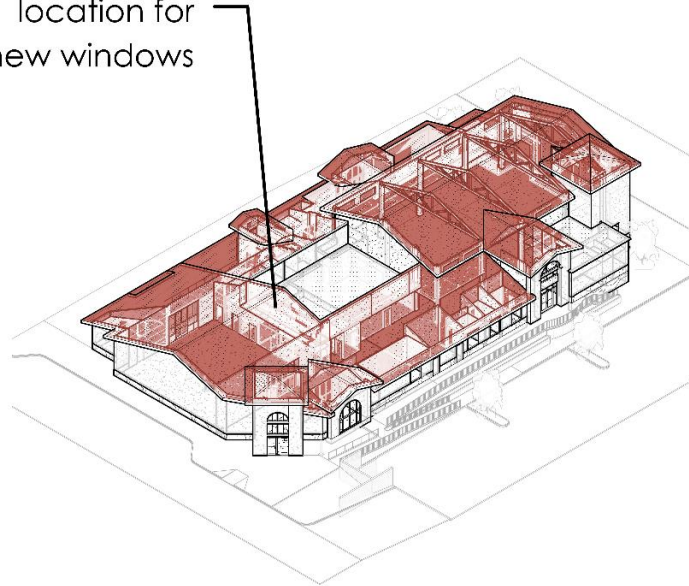


**OPTION 1
LEVEL 2 FLOOR PLAN**

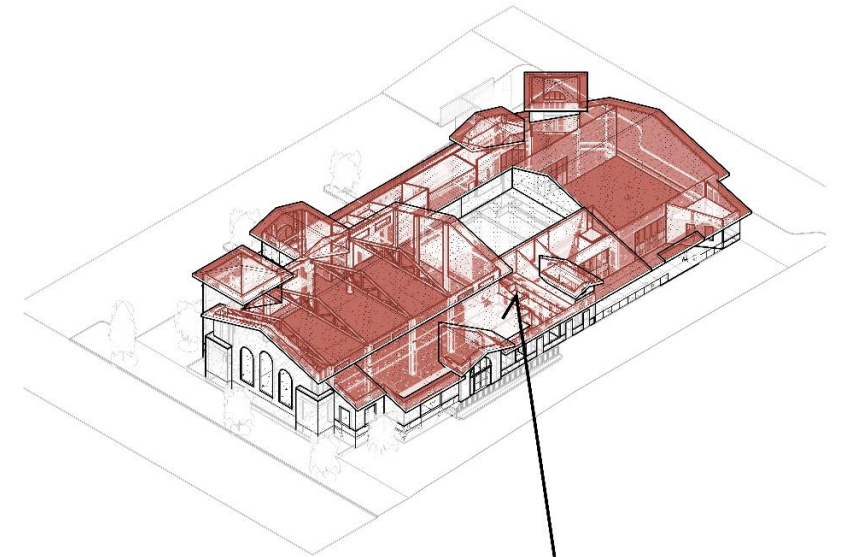


**OPTION 1
LEVEL 1 FLOOR PLAN**

Possible
location for
new windows



**OPTION 2 (OPTION 1 SIMILAR)
NORTHWEST AXONOMETRIC**



**OPTION 2 (OPTION 1 SIMILAR)
SOUTHEAST AXONOMETRIC**

Location
of second
level is within
the existing
envelope

Schematic Plans and Cost Estimate

Option 1 - Vertical Expansion

Cost Estimate and Development Timeline

Cost Estimate is based on interior, air-conditioned spaces. Poet's patio, Staff Patio and other exterior patio spaces are not included in Cost Estimate.



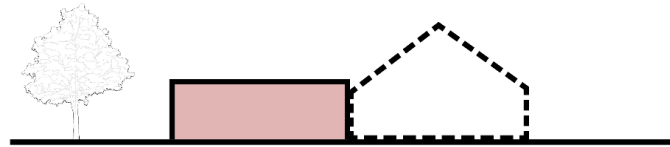
| Cost Estimate Option 1 - Second level addition | |
|---|--------------------|
| Cost per SF: | \$291.56 |
| Direct cost: | \$4,716,353 |
| Indirect Cost per SF: | \$127.18 |
| Indirect Cost: | \$2,057,304 |
| Escalation Rate: | 7.55% |
| Escalation Cost per SF: | \$31.62 |
| Escalation cost: | \$511,500 |
| Total Cost per SF: | \$450.37 |
| Total Cost: | \$7,285.157 |

| A brief development timeline may include: | |
|--|-----------|
| 1. Option Choice La Mesa and RNT Architects conclude feasibility study and choose an option out of the three options presented | 3 months* |
| 2. Design and Permitting Construction Documentations and Permits are collected | 6 months* |

| | |
|--|-------------------|
| 3. Relocation Temporary relocation of library staff and services to prepare for construction and temporary library closure | 3 months* |
| 4. Construction | 12 months* |
| 5. Reinstatement Permanent reinstatement of library staff and services into library, and opening of New Library. | 3 months* |
| Total | 27 months* |

* Approximate

Schematic Plans and Cost Estimate



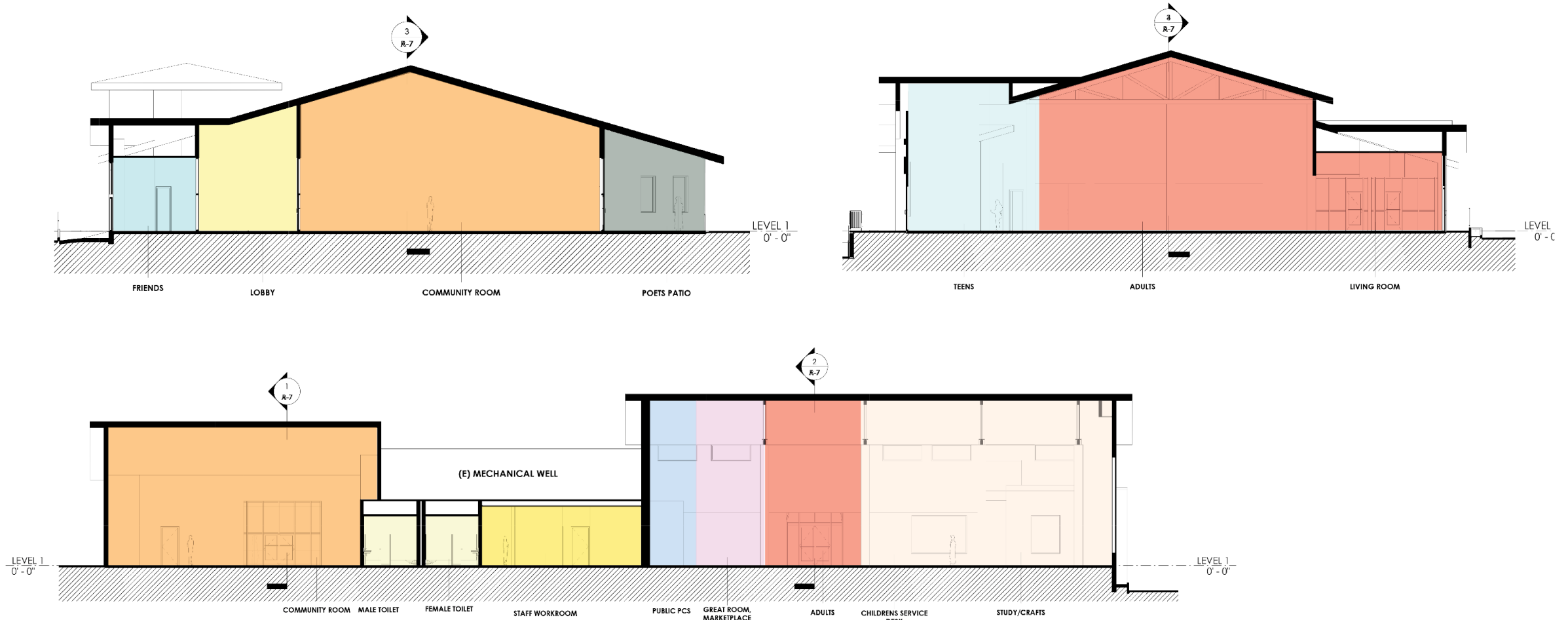
Option 2 - Horizontal Expansion

This option expands the library into the existing and adjacent United States Postal Service Office.

Schematic Plans and Cost Estimate

Option 2 - Horizontal Expansion

This option expands the library into the existing and adjacent United States Postal Service Office.



Schematic Plans and Cost Estimate

Option 2 - Horizontal Expansion

This option expands the library into the existing and adjacent United States Postal Service Office.



OPTION 2
EXPAND LIBRARY INTO THE EXISTING POST OFFICE



OPTION 2 (OPTION 1 SIMILAR)
NORTHWEST AXONOMETRIC

Location of new Entrance



OPTION 2 (OPTION 1 SIMILAR)
SOUTHEAST AXONOMETRIC

Location of new Poet's Patio

Schematic Plans and Cost Estimate



Option 2 - Horizontal Expansion

Cost Estimate and Development Timeline

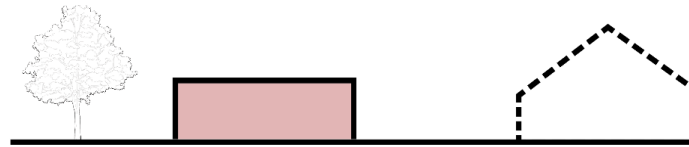
Cost Estimate is based on interior, air-conditioned spaces. Poet's patio, Staff Patio and other exterior patio spaces are not included in Cost Estimate.

| Cost Estimate Option 2 - Expand Library to existing United States Postal Service Office | |
|--|--------------------|
| Cost per SF: | \$235.82 |
| Direct cost: | \$3,805,740 |
| Indirect Cost per SF: | \$102.87 |
| Indirect Cost: | \$1,660,088 |
| Escalation Rate: | 7.55% |
| Escalation Cost per SF: | \$25.58 |
| Escalation cost: | \$412,742 |
| Total Cost per SF: | \$ 364.27 |
| Total Cost: | \$5,878,571 |

| A brief development timeline may include: | |
|--|-------------------|
| 1. Option Choice La Mesa and RNT Architects conclude feasibility study and choose an option out of the three options presented | 3 months* |
| 2. Design and Permitting Construction Documentations and Permits are collected | 6 months* |
| 3. Relocation Permanent relocation of United States Postal Service staff and services to prepare for library expansion | 3 months* |
| 4. Construction | 12 months* |
| Total | 24 months* |

* Approximate

Schematic Plans and Cost Estimate



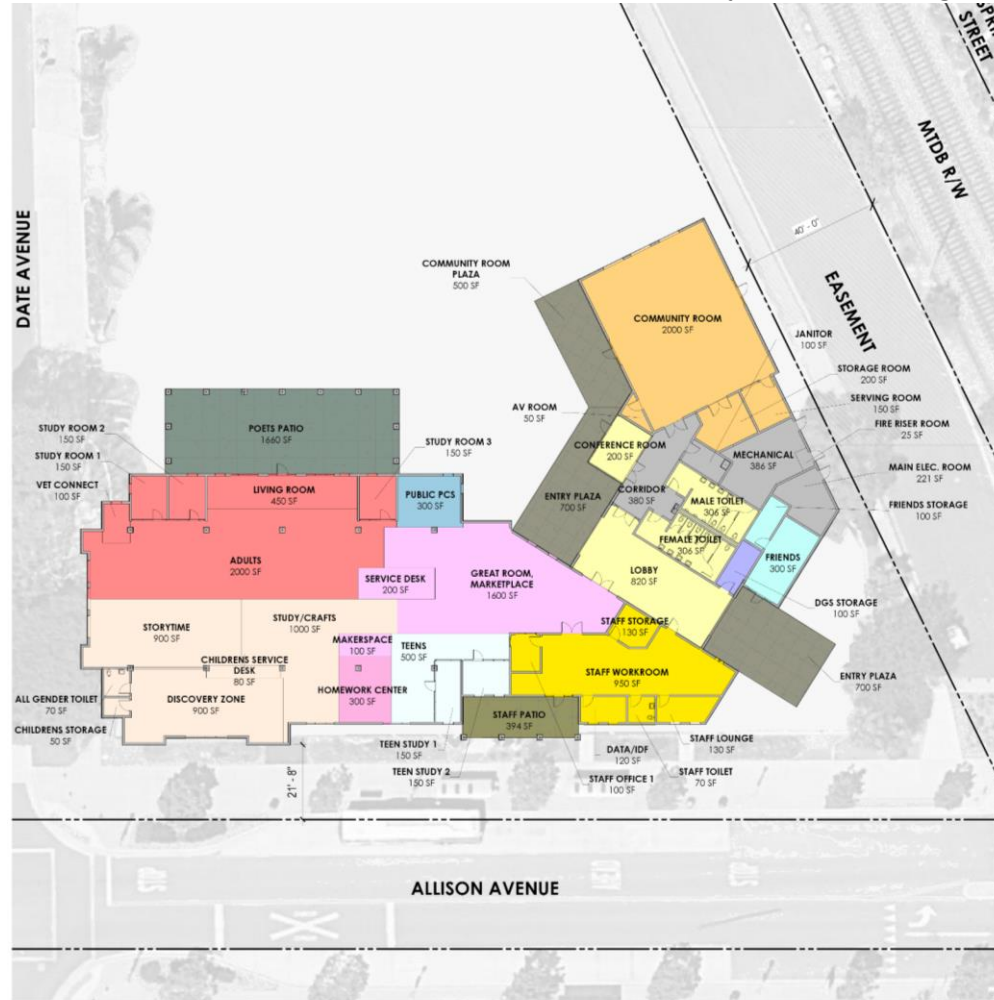
Option 3 - New Facility

This option builds a new library facility in the adjacent parking lot.

Schematic Plans and Cost Estimate

Option 3 - New Facility

This option builds a new library facility in the adjacent parking lot.

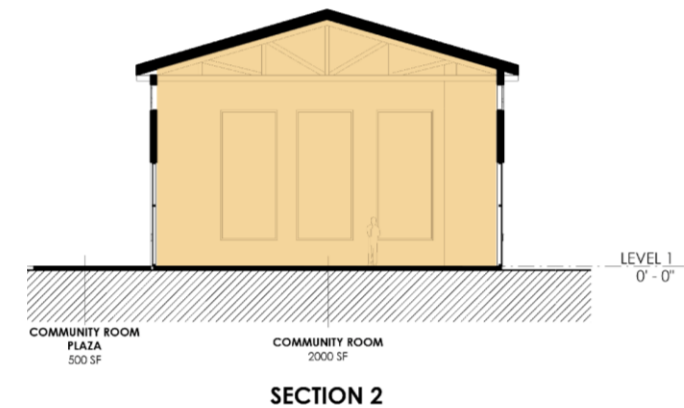
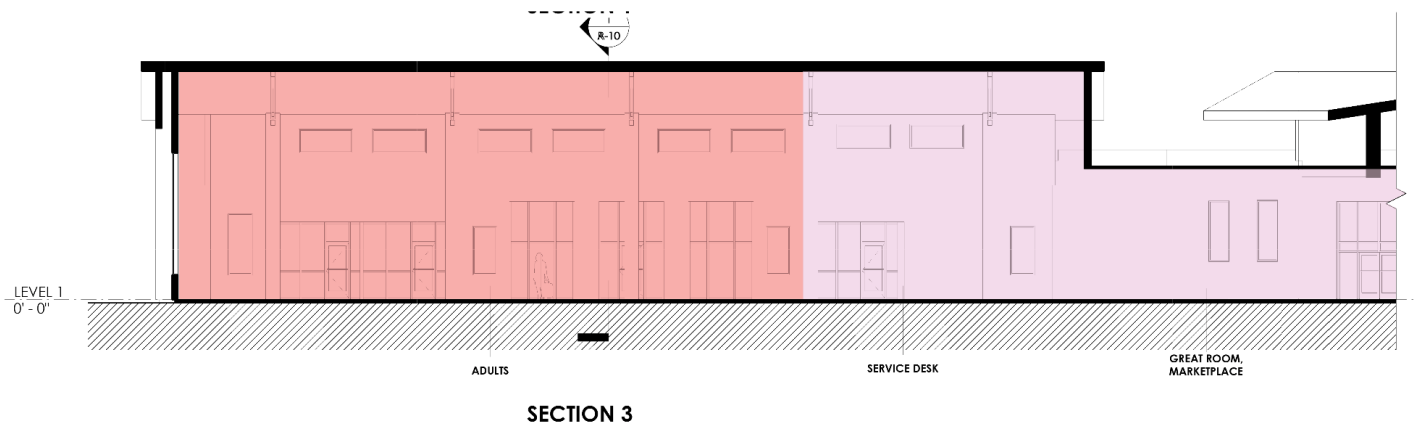
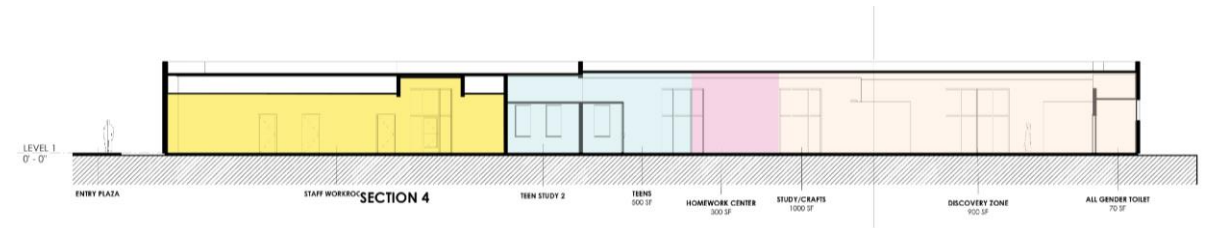
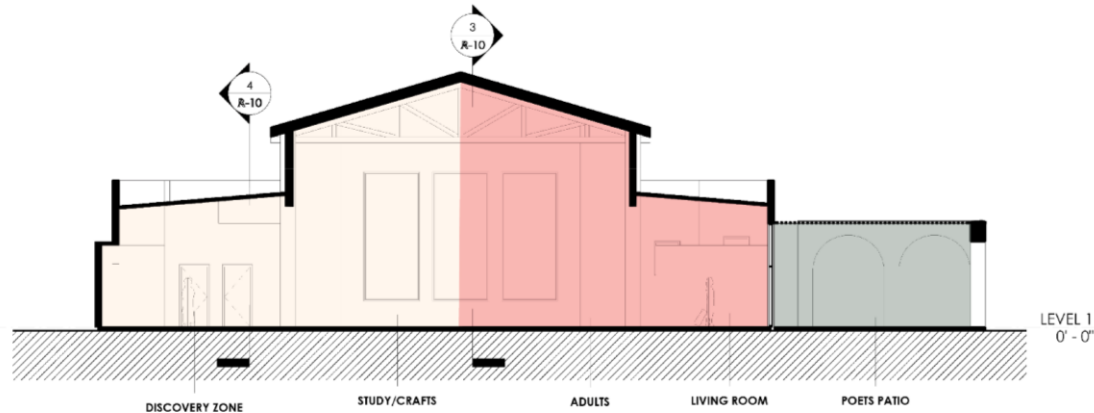


| | PROTOTYPE | OPTION 3 | |
|-------------------|------------|-------------------------------|------------|
| | AREA (GSF) | LIBRARY PROGRAM | AREA (GSF) |
| LOBBY | 200 SF | LOBBY | 820 SF |
| | 200 SF | CONFERENCE ROOM | 200 SF |
| | 300 SF | MALE TOILET | 306 SF |
| | 300 SF | FEMALE TOILET | 306 SF |
| | 1,000 SF | | 1,632 SF |
| COMMUNITY | 2,000 SF | COMMUNITY ROOM | 2,000 SF |
| | 150 SF | SERVING ROOM | 150 SF |
| | 200 SF | STORAGE ROOM | 200 SF |
| | 50 SF | IDF / AV CLOSET | 50 SF |
| | 2,400 SF | | 2,400 SF |
| FRIENDS | 300 SF | PUBLIC SPACE | 300 SF |
| | 100 SF | STORAGE / PROCESSING | 100 SF |
| | 400 SF | | 400 SF |
| GREAT ROOM | 1,600 SF | GREAT ROOM / MARKETPLACE | 1,600 SF |
| | 200 SF | SERVICE DESK (REFERENCE DESK) | 200 SF |
| | 100 SF | MAKERSPACE | 100 SF |
| | 300 SF | HOMEWORK CENTER | 300 SF |
| | 300 SF | PUBLIC PCS | 300 SF |
| ADULTS | 2,500 SF | | 2,500 SF |
| | 2,000 SF | ADULT SPACE | 2,000 SF |
| | 450 SF | LIVING ROOM | 450 SF |
| | 150 SF | STUDY ROOM 1 | 150 SF |
| | 150 SF | STUDY ROOM 2 | 150 SF |
| CHILDRENS | 3,000 SF | | 3,000 SF |
| | 80 SF | SERVICE DESK (REFERENCE DESK) | 80 SF |
| | 900 SF | STORYTIME AREA | 900 SF |
| | 900 SF | DISCOVERY ZONE | 900 SF |
| | 1,000 SF | STUDY / CRAFTS AREA | 1,000 SF |
| TEENS | 3,000 SF | | 3,000 SF |
| | 500 SF | TEEN AREA | 500 SF |
| | 150 SF | TEEN STUDY ROOM 1 | 150 SF |
| | 150 SF | TEEN STUDY ROOM 2 | 150 SF |
| | 800 SF | | 800 SF |
| STAFF | 950 SF | STAFF WORKROOM | 950 SF |
| | 100 SF | MANAGER'S OFFICE | 100 SF |
| | 130 SF | STAFF STORAGE | 130 SF |
| | 120 SF | DATA / IDF | 120 SF |
| | 130 SF | STAFF BREAKROOM | 130 SF |
| DGS | 1,500 SF | | 1,500 SF |
| | 100 SF | DGS STORAGE | 100 SF |
| | 100 SF | | 100 SF |
| | 15,300 SF | TOTAL GROSS AREA: | 15,332 SF |
| SERVICE | - | JANITORIAL | 100 SF |
| | - | ELECTRICAL / MECHANICAL | 632 SF |
| | - | CORRIDOR | 380 SF |
| TOTAL GROSS AREA: | | | 16,444 SF |

Schematic Plans and Cost Estimate

Option 3 - New Facility

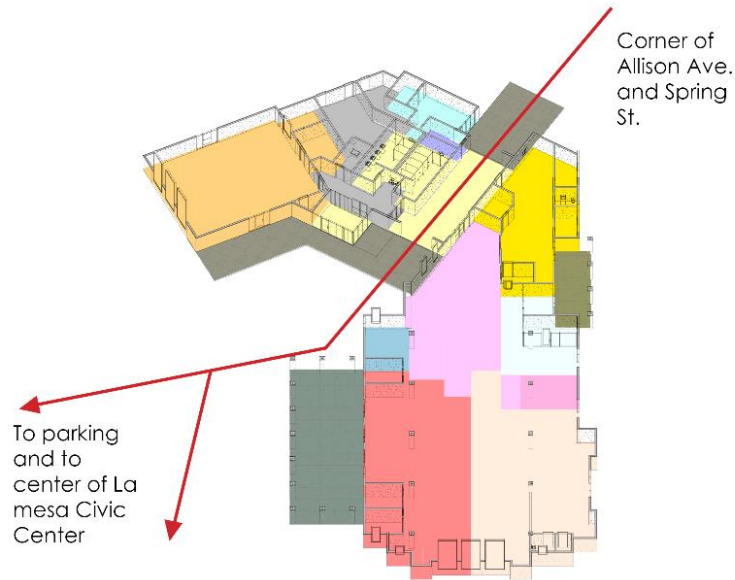
This option builds a new library facility in the adjacent parking lot.



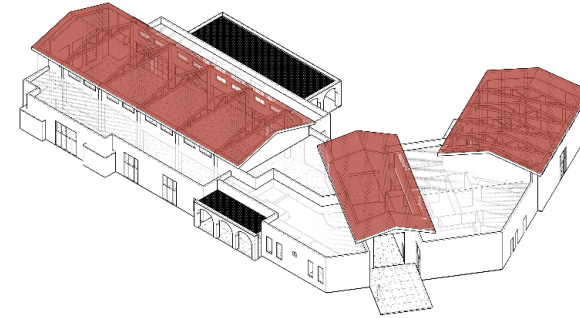
Schematic Plans and Cost Estimate

Option 3 - New Facility

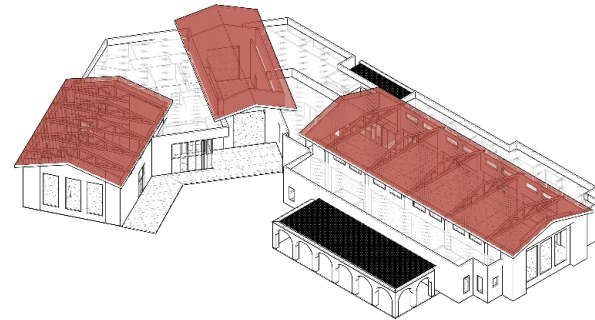
This option builds a new library facility in the adjacent parking lot.



An open, pedestrian path connects the transit station and Spring St. (Prime Arterial road) to the heart of the civic center via an inner-facing courtyard and provides open and green spaces for pedestrians.



OPTION 3 - NEW BUILDING
SOUTHEAST AXONOMETRIC



OPTION 3 - NEW BUILDING
NORTHWEST AXONOMETRIC

Schematic Plans and Cost Estimate



Option 3 - New Facility

Cost Estimate and Development Timeline

Cost Estimate is based on interior, air-conditioned spaces. Poet's patio, Staff Patio and other exterior patio spaces are not included in Cost Estimate.

| Cost Estimate Option 3 - New Building in adjacent parking lot | |
|---|---------------------|
| Cost per SF: | \$537.21 |
| Direct cost: | \$8,833,900 |
| Indirect Cost per SF: | \$234.33 |
| Indirect Cost: | \$3,853,404 |
| Escalation Rate: | 9.11% |
| Escalation Cost per SF: | \$70.26 |
| Escalation cost: | \$1,155,341 |
| Total Cost per SF: | \$841.81 |
| Total Cost: | \$13,842,645 |

| A brief development timeline may include: | |
|--|------------|
| 1. Option Choice La Mesa and RNT Architects conclude feasibility study and choose an option out of the three options presented | 3 months* |
| 2. Design and Permitting Construction Documentations and Permits are collected | 6 months* |
| 3. Construction | 12 months* |
| 4. Relocation Permanent relocation of existing Library facility and staff to New Library Building | 3 months* |
| Total | 24 months* |

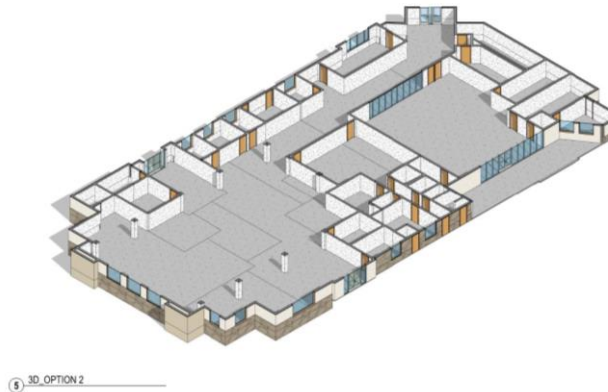
* Approximate

Schematic Plans and Cost Estimate

Option 1 - Vertical Expansion



Option 2 - Horizontal Expansion



Option 3 - New Facility



4. BENEFITS AND DRAWBACKS

Benefits and Drawbacks

| DESIGN OPTION | BENEFITS | DRAWBACKS | TIMELINE | COST |
|--|---|--|-----------|--------------|
| OPTION 1 - Vertical Expansion | <ul style="list-style-type: none"> • Within existing building envelope • Existing United States Postal Service office is to remain • Addition of second level adds much needed community spaces and poet's patio. This also allows expansion of existing adult spaces, children's spaces, and staff areas. • The community room can have controlled access and acoustic separation from the main library for events. | <ul style="list-style-type: none"> • New elevator and 2 egress staircases are required. • Compresses the existing great space (existing is a double story, grand space) into a single story space with the addition of a second level. • Further design for this option would need to consider the structural impacts of a second level on the existing framing and foundation. | 27 months | \$7,285,157 |
| OPTION 2 - Horizontal Expansion | <ul style="list-style-type: none"> • Within existing building envelope • All library functions remain on level 1. This allows library staff to maintain continuous visual oversight into all the functions. • Expansion adds much needed community spaces and poet's patio. This also allows expansion of existing adult spaces, children's spaces, and staff areas. • The community room can have controlled access and acoustic separation from the main library for events. • Least expensive (construction cost of relocating post office unknown) | <ul style="list-style-type: none"> • Lobby and toilets were relocated to support the community room. • Further design for this option would need to consider impacts to the brace frame, particularly at the exterior poet's patio space, and potential structural solutions to removing existing columns throughout the post office to open the floor plan. • USPS will need to be relocated | 24 months | \$5,878,571 |
| OPTION 3 - New Building | <ul style="list-style-type: none"> • Engages the transit hub and connects circulation on the public right of way into the Civic Center. • The community room can have controlled access and acoustic separation from the main library for events. • A number of program spaces could be designed on top of the library, such as offices, housing, or other program related to the Civic Center. • Existing Library building to remain. • Construction above the library has potential to be funding source. | <ul style="list-style-type: none"> • Most expensive option. La Mesa will need to source funding for new construction | 24 months | \$13,842,645 |

