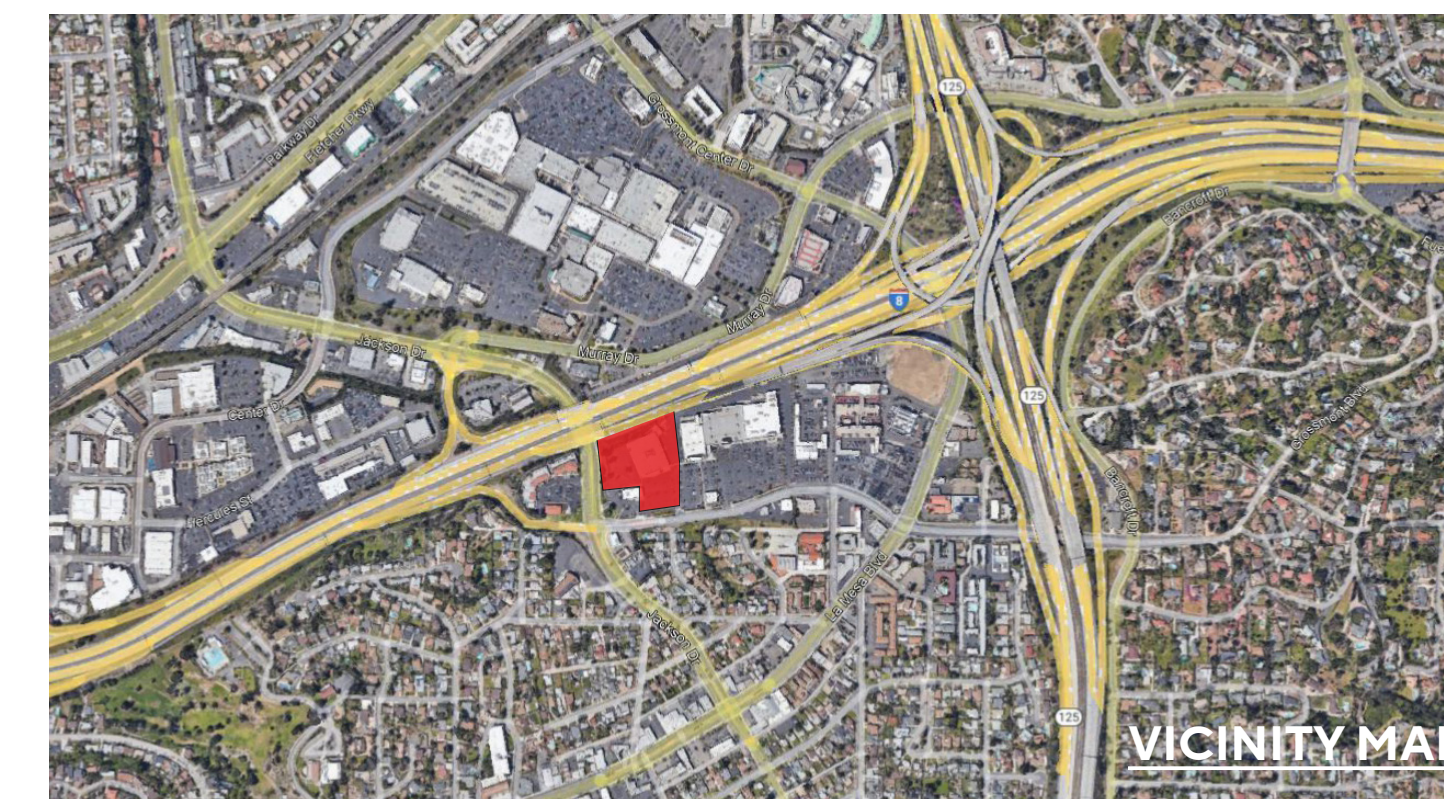


GROSSMONT RETAIL CENTER

NEW SHELL BUILDINGS-PLANNING SUBMITTAL



PROJECT DESCRIPTION

THE EXISTING 37,992 SF TOYS "R" US BUILDING WILL BE DEMOLISHED AND REPLACED WITH A NEW TWO TENANT 33,000 SF RETAIL BUILDING. A NEW 2,880 SF RETAIL BUILDING WILL ALSO BE CONSTRUCTED ADJACENT TO THE EXISTING ROSS BUILDING.

THE BUILDING DESIGN WILL REFLECT THE SAME COLOR/MATERIAL PALETTE AND ARCHITECTURAL DETAILING AS THE MOST RECENTLY CONSTRUCTED RETAIL BUILDING WITHIN THE CENTER LOCATED ALONG GROSSMONT BLVD. (NFCU).

SITE ADDRESS

8790 GROSSMONT BLVD, LA MESA, CA 91942

ASSESSOR'S PARCEL NUMBER (APN)

490-660-53

EXISTING AND PROPOSED LAND USE

COMMERCIAL

OCCUPANCY

M

GENERAL PLAN LAND USE DESIGNATION

REGIONAL SERVING COMMERCIAL

ZONING

C-D GENERAL COMMERCIAL/ URBAN DESIGN OVERLAY

LOT COVERAGE (OVERALL) 26.4%

CONSTRUCTION TYPE

V-B, FULLY SPRINKLERED

BUILDING AREA

EXISTING BUILDINGS

| | | |
|------------------|--------|----|
| WALMART | 39,194 | SF |
| HOBBY LOBBY | 43,234 | SF |
| RETAIL F | 1,404 | SF |
| ROSS | 25,022 | SF |
| RETAIL H | 3,753 | SF |
| SHERWIN WILLIAMS | 5,800 | SF |
| TOYS 'R' US | 37,992 | SF |

PROPOSED BUILDINGS

| | | |
|----------|--------|----|
| TJ MAXX | 22,550 | SF |
| ULTA | 10,000 | SF |
| RETAIL G | 2,880 | SF |

| | | | | | |
|-------|---------|----|-------|--------|----|
| TOTAL | 156,399 | SF | TOTAL | 35,430 | SF |
|-------|---------|----|-------|--------|----|

NEW TOTAL OVERALL SQUARE FOOTAGE **153,837 SF**

EXISTING BUILDINGS TO BE REMOVED

| | | |
|-------------|--------|----|
| TOYS 'R' US | 37,992 | SF |
|-------------|--------|----|

PROPERTY OWNER

SUNBELT INVESTMENT HOLDING INC

ARCHITECT/LANDSCAPE ARCHITECT

AO

CIVIL ENGINEER

KIMLEY-HORN

| | | |
|---|--|---|
| 8095 OTHELLO AVENUE SAN DIEGO, CA 92111 PHONE: 858.495.4905 CONTACT: DENNIS O'NEIL | 144 NORTH ORANGE STREET ORANGE, CA 92866 PHONE: 714.639.9860 CONTACT: RYAN LABRUM | 401 B STREET, SUITE 600 SAN DIEGO, CA 92101 PHONE: 619.744.0156 CONTACT: TOM EAGLING, P.E. |
|---|--|---|

SHEET INDEX

| | |
|-------------------------------------|-----|
| COVER SHEET | 1 |
| PRELIMINARY GRADING PLAN | 2-3 |
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| ROOF PLAN | 9 |
| TJ MAXX EXTERIOR ELEVATIONS | 10 |
| RETAIL BUILDING EXTERIOR ELEVATIONS | 11 |
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LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF LA MESA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF BLOCKS 14, 16, 18, 24, 25 AND LOT "A" OF NORTH LA MESA, ACCORDING TO MAP THEREOF NO. 1513, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 27, 1912, TOGETHER WITH ALL THOSE PORTIONS OF MADISON AVENUE, LAFAYETTE STREET AND JEFFERSON AVENUE, AS SHOWN ON SAID MAP NO. 1513, AS VACATED AND CLOSED TO PUBLIC USE BY A RESOLUTION OF THE BOARD OF SUPERVISORS OF SAN DIEGO COUNTY, RECORDED NOVEMBER 22, 1960 AS FILE NO. 229313 OF OFFICIAL RECORDS, AND BY RESOLUTION NO. 8370 OF THE CITY COUNCIL OF THE CITY OF LA MESA, RECORDED MAY 9, 1961 AS FILE NO. 79944 OF OFFICIAL RECORDS, BEING IN THE CITY OF LA MESA, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, BOUNDED AND DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHERLY LINE OF BLOCK 14, BEING THE NORTH LINE OF FILLMORE AVENUE OF SAID NORTH LA MESA, DISTANT THEREON NORTH 89° 31' 00" EAST, 57.40 FEET FROM THE SOUTHWEST CORNER OF SAID BLOCK, SAID POINT OF BEING IN THE ARC OF A 540.00 FOOT RADIUS CURVE, CONCAVE EASTERLY, A RADIAL LINE OF SAID CURVE BEARS SOUTH 77° 41' 00" WEST TO SAID POINT, SAID POINT BEING ALSO IN THE EASTERLY LINE OF JACKSON DRIVE AS DESCRIBED IN DEED TO THE COUNTY OF SAN DIEGO,

RECORDED SEPTEMBER 24, 1956 IN BOOK 6270, PAGE 516 OF OFFICIAL RECORDS; THENCE NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 4° 22' 55" A DISTANCE OF 41.30 FEET TO THE INTERSECTION WITH THE ARC OF A 29.50 FOOT RADIUS CURVE THE CENTER OF WHICH BEARS NORTH 15° 25' 07" EAST FROM SAID POINT AND THE TRUE POINT OF BEGINNING; THENCE EASTERLY ALONG THE ARC OF SAID 29.50 FOOT RADIUS CURVE THROUGH A CENTRAL ANGLE OF 15° 54' 07" A DISTANCE OF 8.19 FEET; THENCE AT A TANGENT NORTH 89° 31' EAST, 77.71 FEET; THENCE EASTERLY ALONG A TANGENT 567.50 FOOT RADIUS CURVE, CONCAVE NORTHERLY THROUGH A CENTRAL ANGLE OF 8° 31' 00" A DISTANCE OF 84.36 FEET; THENCE AT A TANGENT NORTH 81° 00' 00" EAST 510.56 FEET; THENCE EASTERLY ALONG A TANGENT 567.50 FOOT RADIUS CURVE, CONCAVE NORTHERLY THROUGH A CENTRAL ANGLE OF 14° 00' 00" A DISTANCE OF 138.67 FEET; THENCE AT A TANGENT NORTH 67° 00' 00" EAST, 120.87 FEET; THENCE EASTERLY ALONG A TANGENT 632.50 FOOT RADIUS CURVE, CONCAVE SOUTHERLY THROUGH A CENTRAL ANGLE OF 13° 02' 11" A DISTANCE OF 143.91 FEET TO THE NORTHERLY PROLONGATION OF THE WESTERLY LINE OF LOT 1 IN BLOCK 16 OF SAID NORTH LA MESA; THENCE ALONG SAID NORTHERLY PROLONGATION NORTH 0° 29' 00" WEST, 651.92 FEET TO THE SOUTHERLY LINE OF LAND DESCRIBED IN DEED TO THE STATE OF CALIFORNIA, RECORDED NOVEMBER 23, 1956 AS FILE NO. 165951 IN BOOK 6353, PAGE 210 OF OFFICIAL RECORDS; THENCE ALONG SAID SOUTHERLY LINE SOUTH 71° 26' 15" WEST - RECORD SOUTH 71° 26' 48" WEST - 88.87 FEET TO THE EASTERLY CORNER OF THE LAND DESCRIBED IN DEED TO THE STATE OF CALIFORNIA

RECORDED JUNE 28, 1960 AS FILE NO. 131003 OF OFFICIAL RECORDS; THENCE ALONG THE SOUTHERLY LINE OF SAID LAND AS DESCRIBED IN SAID DEED, SOUTH 68° 21' 42" WEST - RECORD SOUTH 68° 46' 31" WEST - 400.14 FEET; THENCE SOUTH 77° 38' 16" WEST - RECORD SOUTH 78° 02' 20" WEST - 58.79 FEET; THENCE NORTH 23° 08' 45" WEST - RECORD NORTH 22° 44' 41" WEST - 10 FEET; THENCE SOUTH 66° 51' 15" WEST - RECORD SOUTH 67° 15' 19" WEST - 210 FEET; THENCE SOUTH 45° 03' 10" WEST 215.15 FEET - RECORD SOUTH 45° 27' 14" WEST - 215.41 FEET; THENCE SOUTH 66° 51' 15" WEST - RECORD SOUTH 67° 15' 19" WEST - 224.85 FEET TO A POINT IN THE ARC OF A 664 FOOT RADIUS CURVE, CONCAVE WESTERLY IN THE EASTERLY LINE OF JACKSON DRIVE ABOVE MENTIONED; THENCE ALONG SAID EASTERLY LINE SOUTHERLY ALONG SAID CURVE 88.38 FEET; THENCE TANGENT TO SAID CURVE SOUTH 1° 34' 45" EAST 215.30 FEET - RECORD SOUTH 1° 37' 45" EAST 215.38 FEET - TO A TANGENT 540 FOOT RADIUS CURVE, CONCAVE EASTERLY; THENCE SOUTHERLY ALONG SAID CURVE 59.37 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA IN DEED RECORDED AUGUST 25, 1986 AS FILE NO. 86-365732 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED TO THE CITY OF LA MESA, A MUNICIPAL CORPORATION IN DEED RECORDED MARCH 19, 1997 AS FILE NO. 1997-0122676 OF OFFICIAL RECORDS.

GRADING INFORMATION:

TOTAL SITE AREA: ~3.00 ACRES
 GRADED AREA: ~2.24 ACRES
 CUT QUANTITIES: ~2467 CY
 FILL QUANTITIES: ~2516 CY
 IMPORT: ~49 CY

MAX. CUT DEPTH: ~6 FT
 MAX CUT SLOPE RATIO: 2:1 MAX
 MAX. FILL DEPTH: ~5 FT
 MAX FILL SLOPE RATIO: 2:1 MAX

NOTE: GRADING QUANTITIES ARE ESTIMATED FOR DESIGN AND PERMIT PURPOSES ONLY AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR PRIOR TO BIDDING. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE LOSSES, CLEARING OPERATIONS, COMPACTION, SETTLEMENT, ETC. CONTRACTOR TO NOTIFY THE ENGINEER OF WORK OF ANY DISCREPANCIES PRIOR TO GRADING OPERATIONS. QUANTITIES DO NOT INCLUDE EXCAVATIONS SPOILS FROM UTILITY TRENCHES, STRUCTURAL FOOTINGS, EXISTING IMPROVEMENT DEMOLITION, OVEREXCAVATION AND REMEDIAL GRADING, OR SLOPE CUTBACKS.

THIS PROJECT PROPOSES TO IMPORT 49 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.

SOURCE OF TOPOGRAPHY

ONSITE FIELD SURVEY METHODS BY KIMLEY HORN ON 08/17/22.
 DATUM: NGVD 29

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION, REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES AND STRUCTURES TO ENGINEER OF RECORD PRIOR TO INSTALLATION OF ANY UNDERGROUND PIPING.

PRIOR TO PRECONSTRUCTION MEETING

NOTICE: IN THE EVENT THAT ANY ACTIVITY, INCLUDING EARTHMOVING OR CONSTRUCTION, DISCOVERS THE PRESENCE OF UNDERGROUND STORAGE TANKS, SEPTIC TANKS, WELLS, SITE DEBRIS, AND/OR CONTAMINATED SOILS ON-SITE, THE CONTRACTOR AND/OR PROPERTY OWNER SHALL NOTIFY THE COUNTY OF SAN DIEGO PLANNING & DEVELOPMENT SERVICES DEPARTMENT AND THE DEPARTMENT OF ENVIRONMENTAL HEALTH. THE PRESENCE OF CONTAMINATED SOILS WILL REQUIRE SOIL TESTING AND REMEDIATION IN ACCORDANCE WITH STANDARD COUNTY PROCEDURES. THIS PROCESS WILL BE DETERMINED ONCE THE COUNTY IS NOTIFIED OF THE PRESENCE OF CONTAMINATED SOILS.

LEGEND

- (584.50 TC)
(584.00 FS) EXISTING SPOT ELEVATION
- 584.50 TC
584.00 FS PROPOSED SPOT ELEVATION
- 1.0%
(1.0%) PROPOSED FLOW (SLOPE AND DIRECTION).
- EXISTING FLOW (SLOPE AND DIRECTION).
- PROPERTY LINE/ RIGHT OF WAY
- 88 PROPOSED CONTOUR
- 89 EXISTING CONTOUR
- SD PROPOSED STORM DRAIN
- LIMITS OF WORK

CONSTRUCTION NOTES

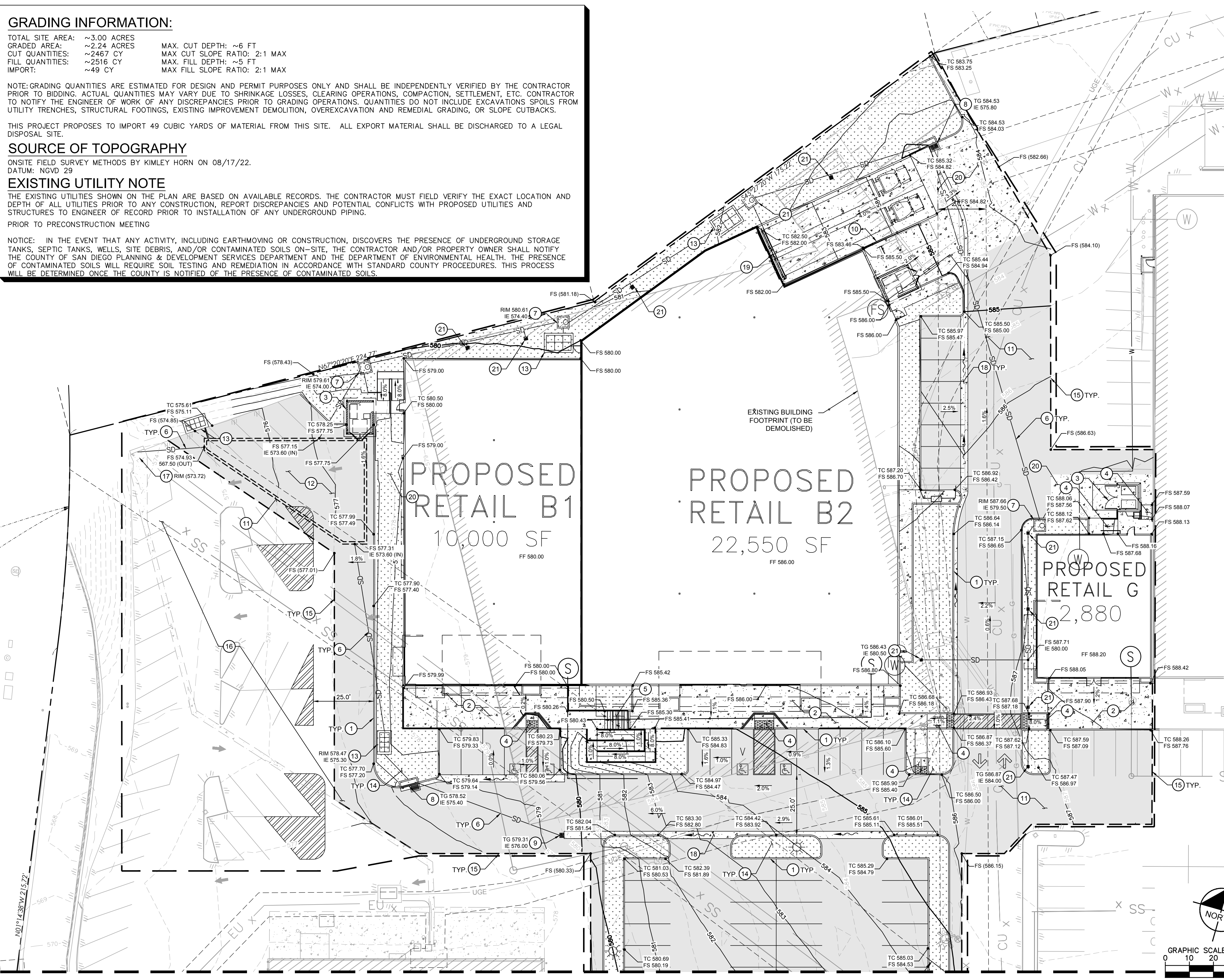
- 1 PROPOSED CONCRETE CURB/ CURB AND GUTTER.
- 2 PROPOSED SIDEWALK.
- 3 PROPOSED TRASH ENCLOSURE.
- 4 PROPOSED RAMP.
- 5 PROPOSED STAIRS PER ARCHITECTURAL PLANS.
- 6 PROPOSED STORM DRAIN LINE.
- 7 PROPOSED STORM DRAIN MANHOLE.
- 8 PROPOSED STORM DRAIN CURB INLET.
- 9 PROPOSED STORM DRAIN CATCH BASIN.
- 10 PROPOSED RETAINING WALL PER ARCHITECTURAL PLANS.
- 11 PROPOSED VEHICULAR ASPHALT PAVEMENT.
- 12 PROPOSED LOW IMPACT DEVELOPMENT (LID) FACILITY. UNDERGROUND INFILTRATION SYSTEM IF TECHNICALLY FEASIBLE. DETENTION SYSTEM IF NOT TECHNICALLY FEASIBLE.
- 13 PROPOSED MODULAR WETLAND TREATMENT UNIT (OR EQUAL)
- 14 PROPOSED LANDSCAPING.
- 15 SAW CUT LINE.
- 16 ASPHALT MILL AND OVERLAY/ MATCH EXISTING GRADES.
- 17 EXISTING DROP INLET TO REMAIN.
- 18 PROPOSED 3' WIDE RIBBON GUTTER.
- 19 INSTALL TRENCH DRAIN.
- 20 INSTALL VEHICULAR CONCRETE PAVEMENT.
- 21 INSTALL AREA DRAIN.
- 22 INSTALL STORM DRAIN CLEANOUT.

GENERAL NOTES

1. NEW PAVEMENT SECTIONS ARE PER GEOTECHNICAL RECOMMENDATIONS.

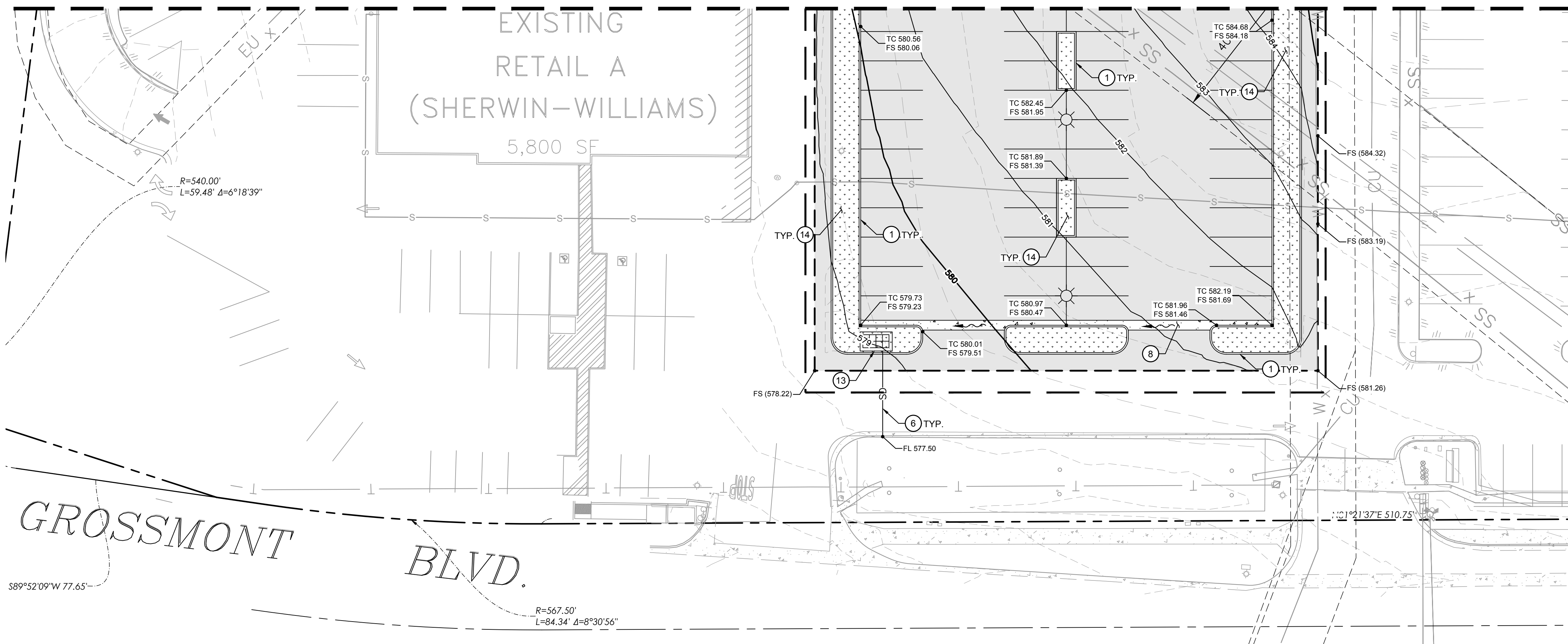
AREAS OF REPLACED PAVEMENT

- 11,700± S.F. CONCRETE REPLACEMENT
- 46,300± S.F. FULL DEPTH ASPHALT REPLACEMENT
- 15,100± S.F. ASPHALT MILL AND OVERLAY (SURFACE ONLY - NO BASE DISTURBANCE)
- 12,400± S.F. LANDSCAPE REPLACEMENT



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MATCH LINE – SEE SHEET 1



LEGEND

- (584.50 TC)
(584.00 FS)
- 584.50 TC
584.00 FS
- 1.0%
- (1.0%)
- PROPERTY LINE/ RIGHT OF WAY
- 88
- 89
- 90
- PROPOSED STORM DRAIN
- LIMITS OF WORK

CONSTRUCTION NOTES

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AREAS OF REPLACED PAVEMENT

| | |
|--------------|---|
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| 12,400± S.F. | LANDSCAPE REPLACEMENT |

GRADING INFORMATION:

| | |
|------------------------------|-------------------------------|
| TOTAL SITE AREA: ~3.00 ACRES | MAX. CUT DEPTH: ~6 FT |
| GRADED AREA: ~2.24 ACRES | MAX CUT SLOPE RATIO: 2:1 MAX |
| CUT QUANTITIES: ~2467 CY | MAX FILL DEPTH: ~5 FT |
| FILL QUANTITIES: ~2516 CY | MAX FILL SLOPE RATIO: 2:1 MAX |
| IMPORT: ~49 CY | |

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SOURCE OF TOPOGRAPHY

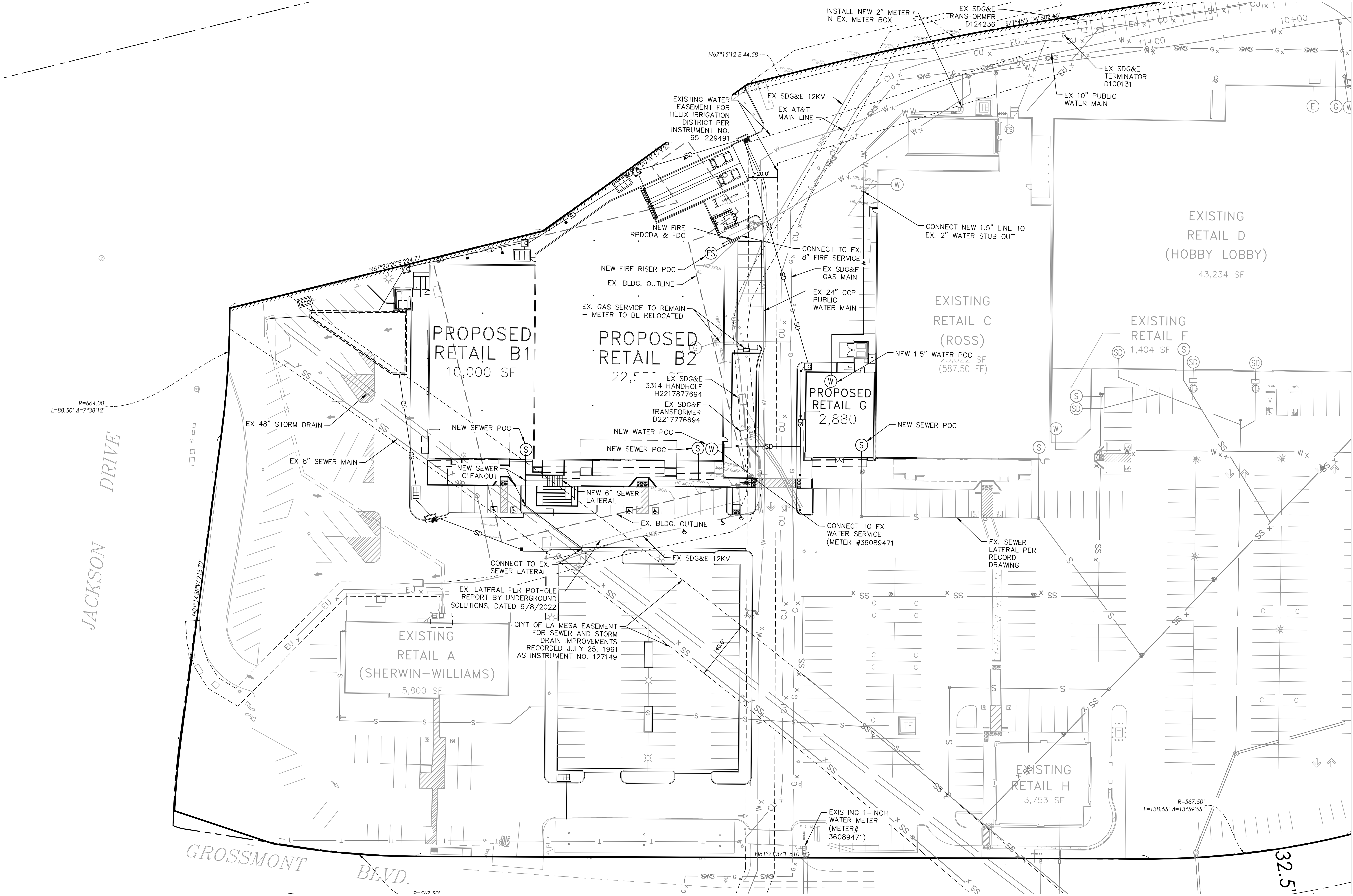
ONSITE FIELD SURVEY METHODS BY KIMLEY HORN ON 08/17/22.
DATUM: NGVD 29

EXISTING UTILITY NOTE

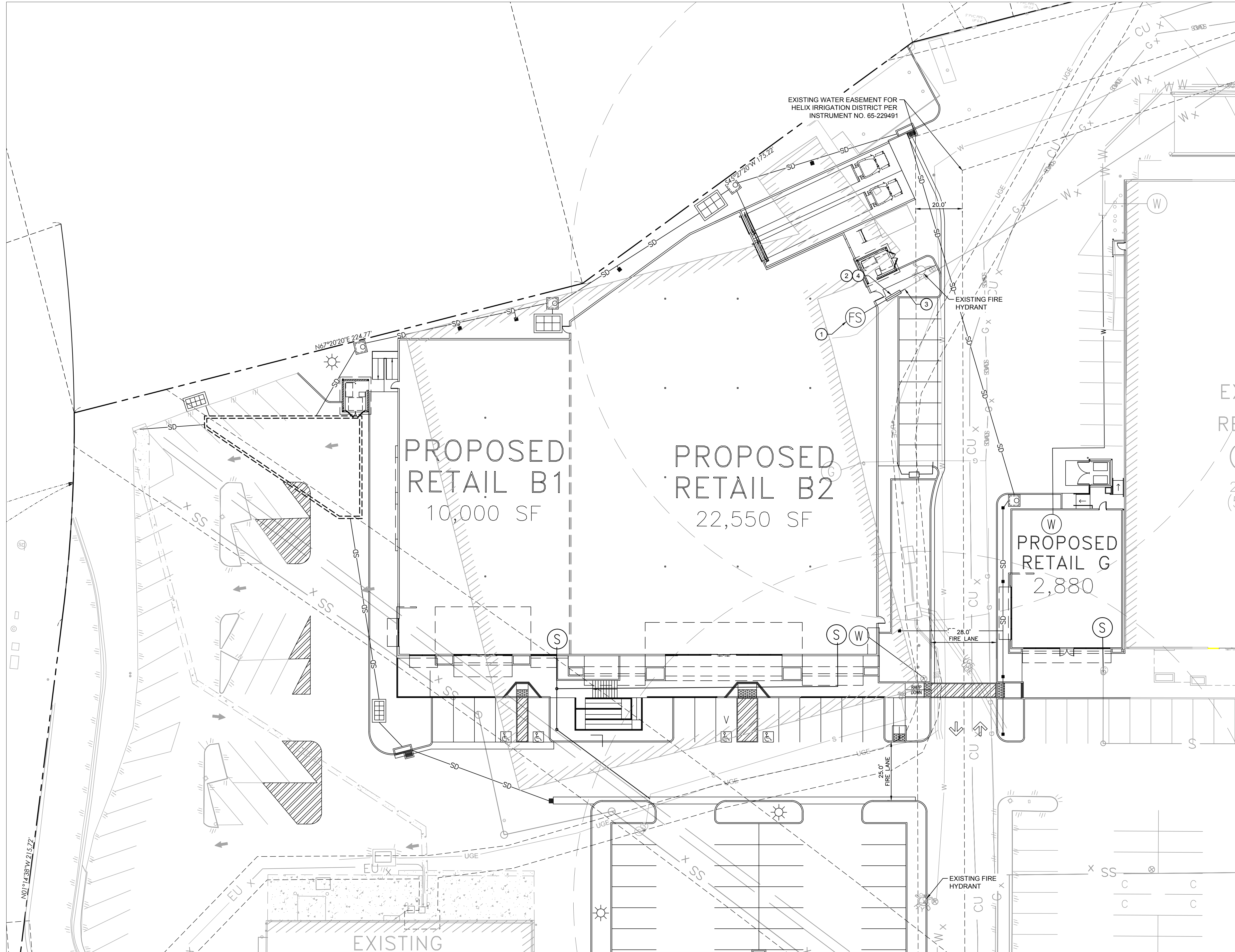
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Set/She: Layout/PPP - August 23, 2023, 02:13:11pm K:\SND_LDEV\195377030_TLX\LA MESA\CAD\Enhancements\Retail Fire Plan.dwg
 If design presented herein is an instrument of service, it is intended only for the specific purpose and client for which it was prepared. Please do not reuse or disseminate this design or any portion thereof without the written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

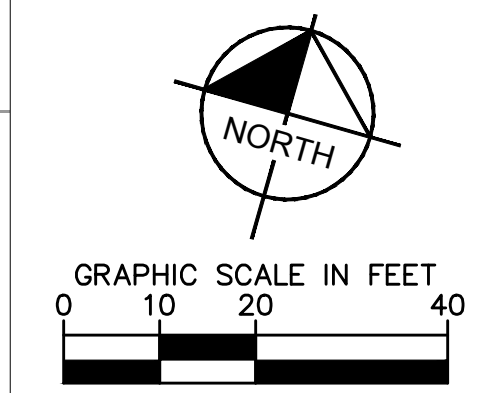


LEGEND

- PROPERTY LINE/ RIGHT OF WAY
- 300' HOSE SPACING

FIRE WATER NOTES

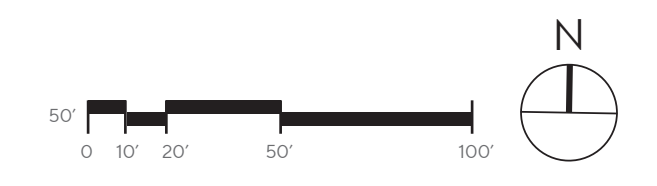
- ① BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE). REFER TO PLUMBING PLANS FOR CONTINUATION.
- ② INSTALL FIRE DEPARTMENT CONNECTION PER SEPARATE PLANS.
- ③ CONNECT PROPOSED 6" FIRE SERVICE INTO EXISTING 8" FIRE SERVICE.
- ④ FURNISH AND INSTALL 6" BACKFLOW PREVENTER PER WATER AGENCY'S STANDARD DRAWING WR-02.

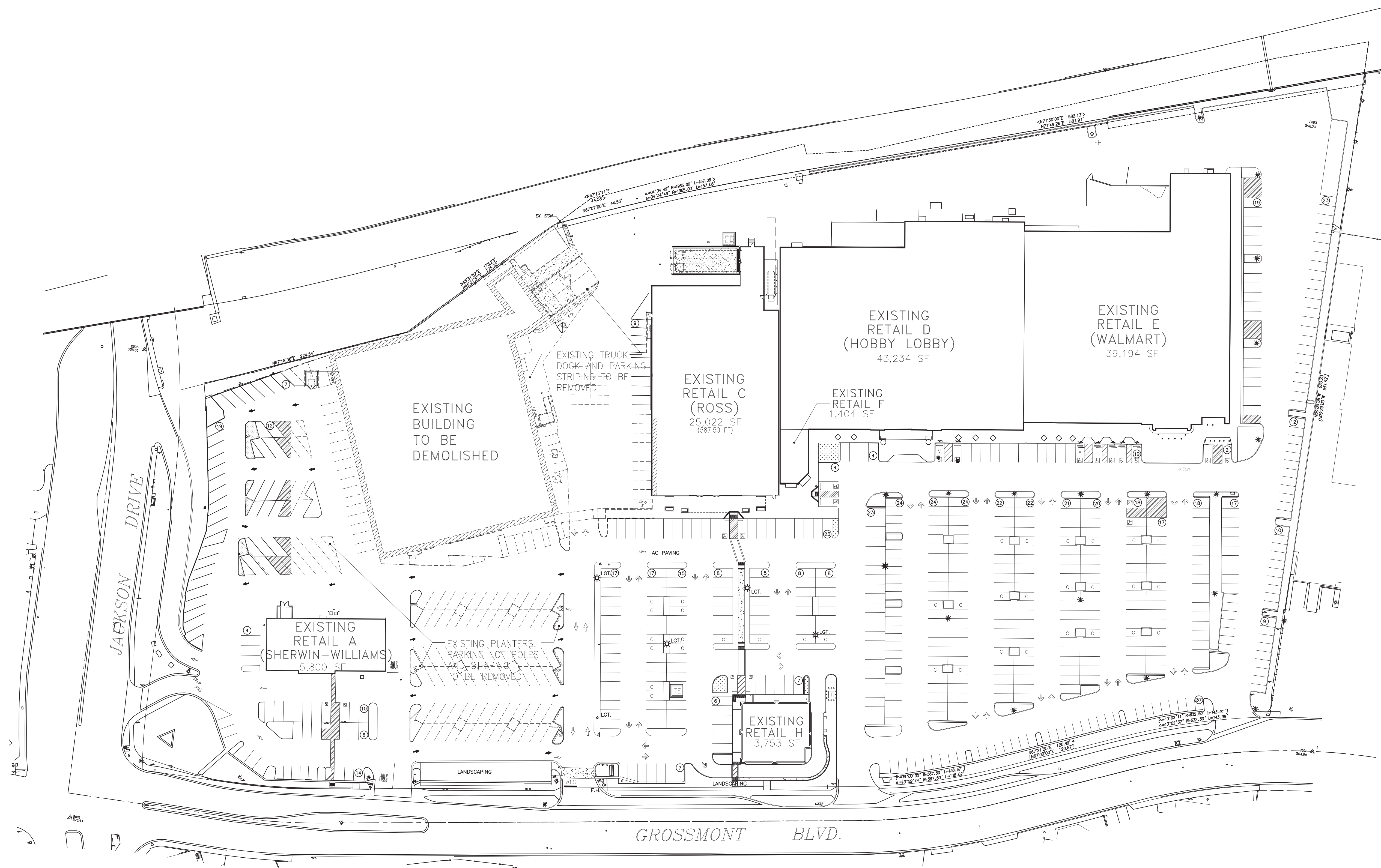


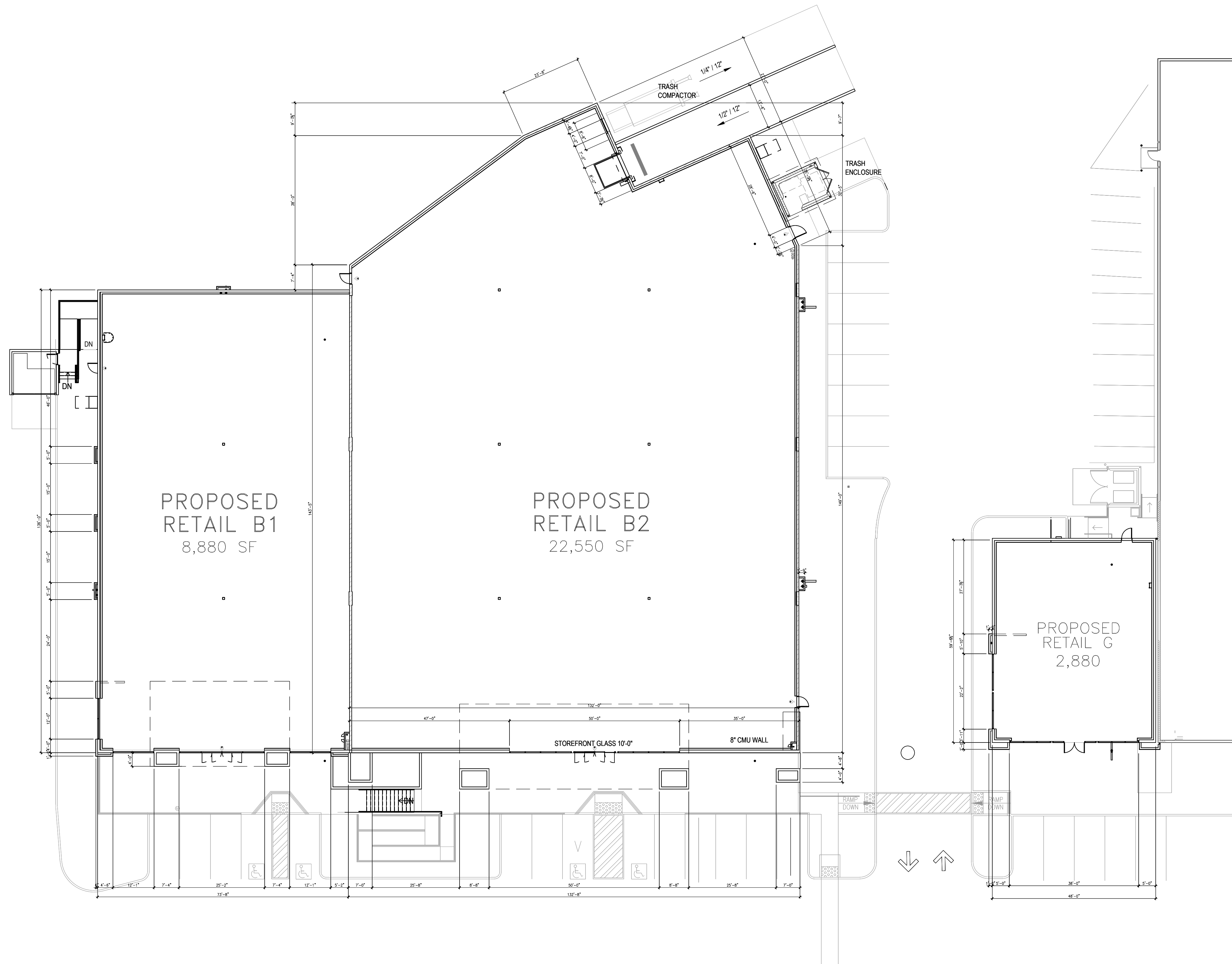
| | |
|------------------------------------|------------|
| SITE AREA: | 13.4 ACRES |
| BUILDING AREA: | |
| TOTAL EXISTING | 156,399 SF |
| EXISTING BUILDING SF TO BE REMOVED | 37,992 SF |
| TOTAL PROPOSED BUILDING SF | 35,430 SF |
| TOTAL OVERALL PROPOSED BUILDING SF | 153,837 SF |

| | |
|---|------------|
| OVERALL PARKING TABULATIONS: | |
| PARKING STALL REQUIRED (1/250 SF) | 615 STALLS |
| PARKING STALL PROVIDED | 681 STALLS |
| PARKING REQUIRED FOR NEW CONSTRUCTION: | 142 STALLS |
| NUMBER OF EV CAPABLE STALLS REQUIRED: | 25 STALLS |
| NUMBER OF EV CAPABLE STALLS PROVIDED: | 25 STALLS |
| NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED W/EVSE) STALLS REQUIRED: | 6 STALLS |
| NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED W/EVSE) PROVIDED: | 6 STALLS |
| BICYCLE PARKING REQUIRED: | 7 |
| BICYCLE PARKING PROVIDED: | 7 |

* KNOX BOXES WILL BE LOCATED AT REAR OF NEW BUILDINGS FOR FIRE ACCESS



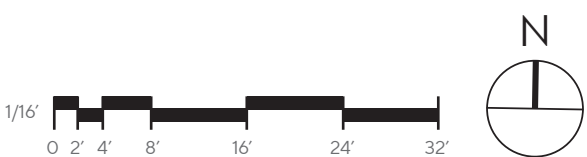




GROSSMONT RETAIL CENTER

LA MESA, CA

FLOOR PLANS



SIHI

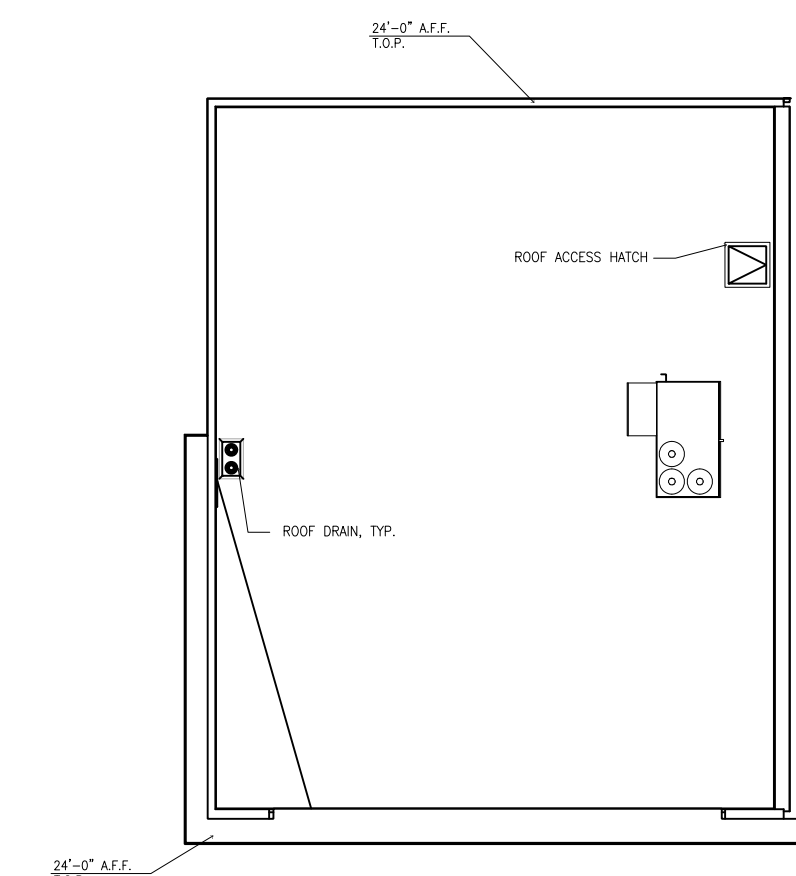
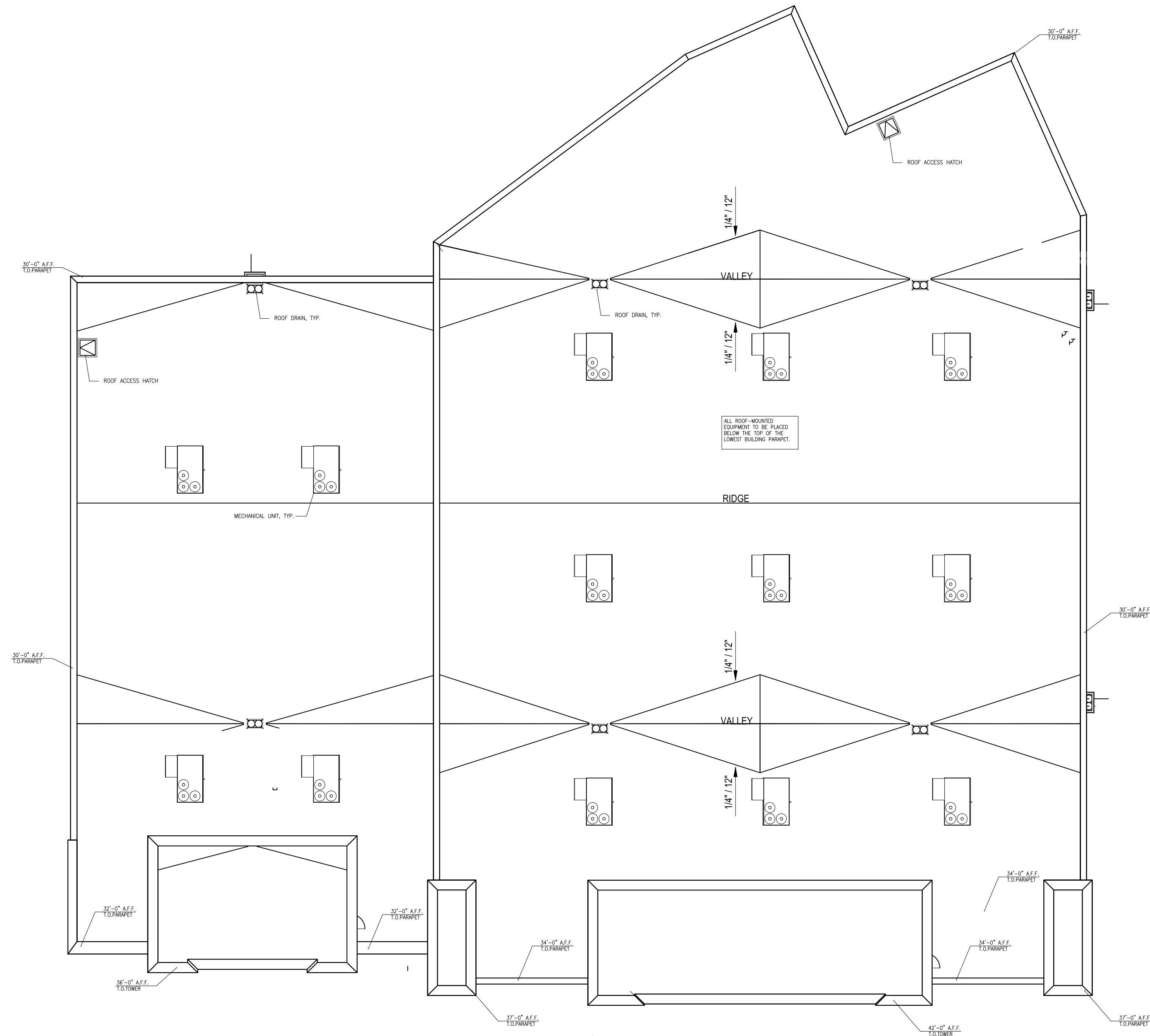
8095 Othello Avenue
San Diego, CA 92111
858.495.4909

Kimley»Horn

AO Architecture.
Design.
Relationships.

08

Scale 1/16"=1'-0"
Job No. 2021-744
Date 2024-01-30

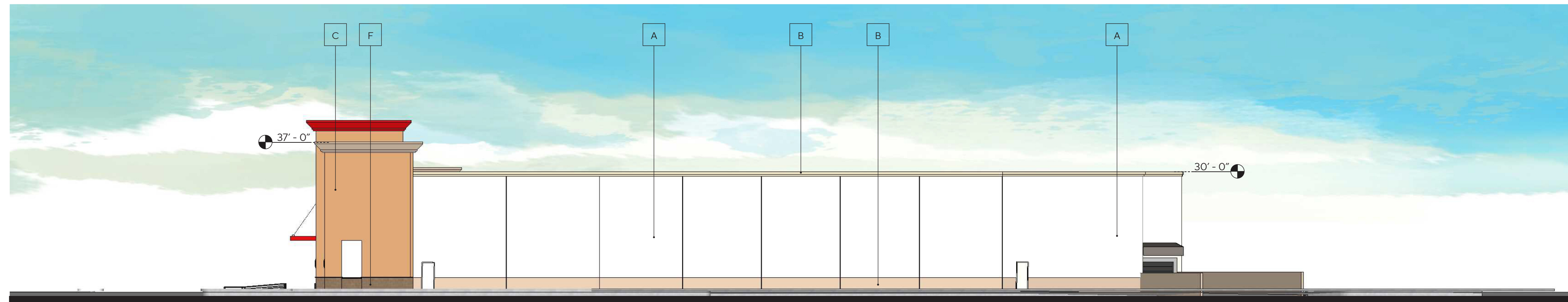


MATERIALS

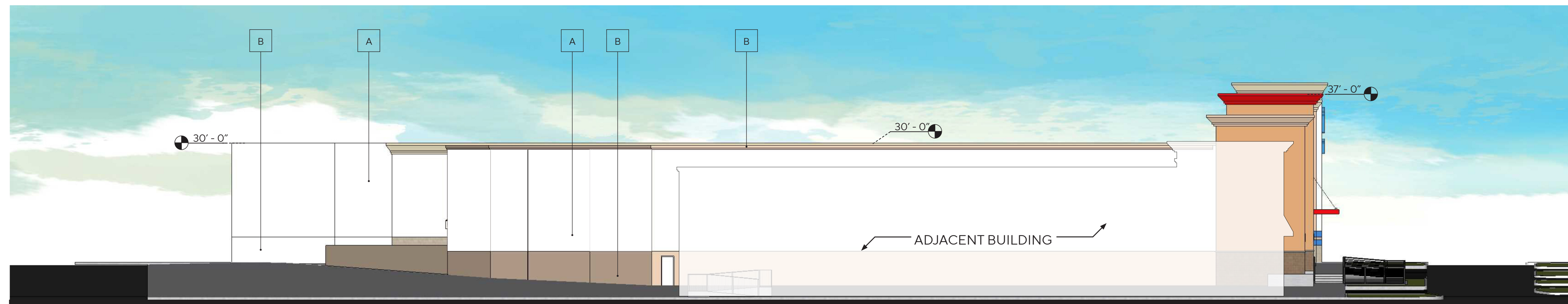
- A** EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
DRYVIT #310 "CHINA WHITE"
- B** EXTERIOR PLASTER FINISH SEMI SMOOTH BY OMEGA
COLOR TO MATCH SHERWIN WILLIAMS - SW6107 "NOMADIC
DESERT"
- C** EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
DRYVIT #110 "VAN DYKE"
- D** EXTERIOR PLASTER FINISH SEMI SMOOTH BY OMEGA
COLOR TO MATCH BENJAMIN MORE #2087-10 "NEON RED"
- E** EXTERIOR STUCCO FINISH
COLOR TO MATCH DUNN EDWARDS - DE 6367 - COVERED IN
PLATINUM
- F** SPLIT FACED CMU BLOCK
COLOR TO MATCH RCP "PUEBLO"
- G** HANGING METAL CANOPY
COLOR TO MATCH ATAS #17 "BRITRE RED"
- H** PRECAST CONCRETE BULLNOSE TRIM
COLOR TO MATCH RCP "PUEBLO"



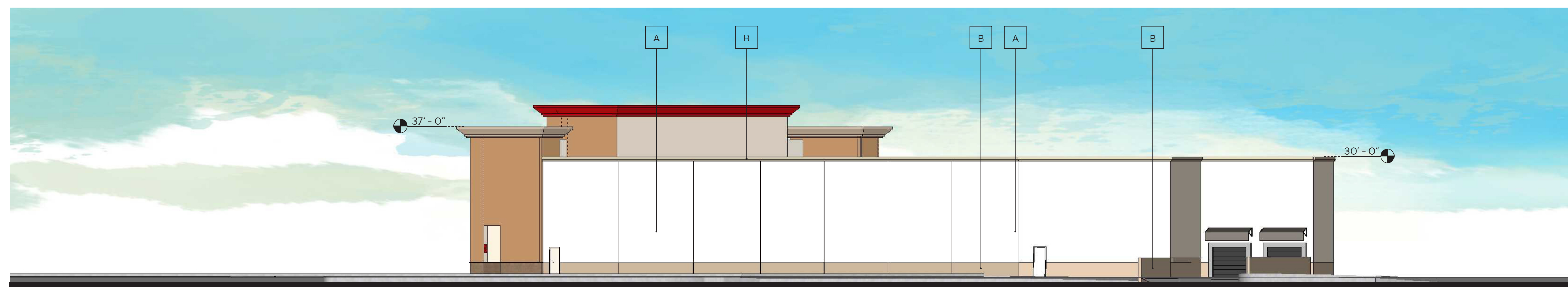
1. SOUTH ELEVATION



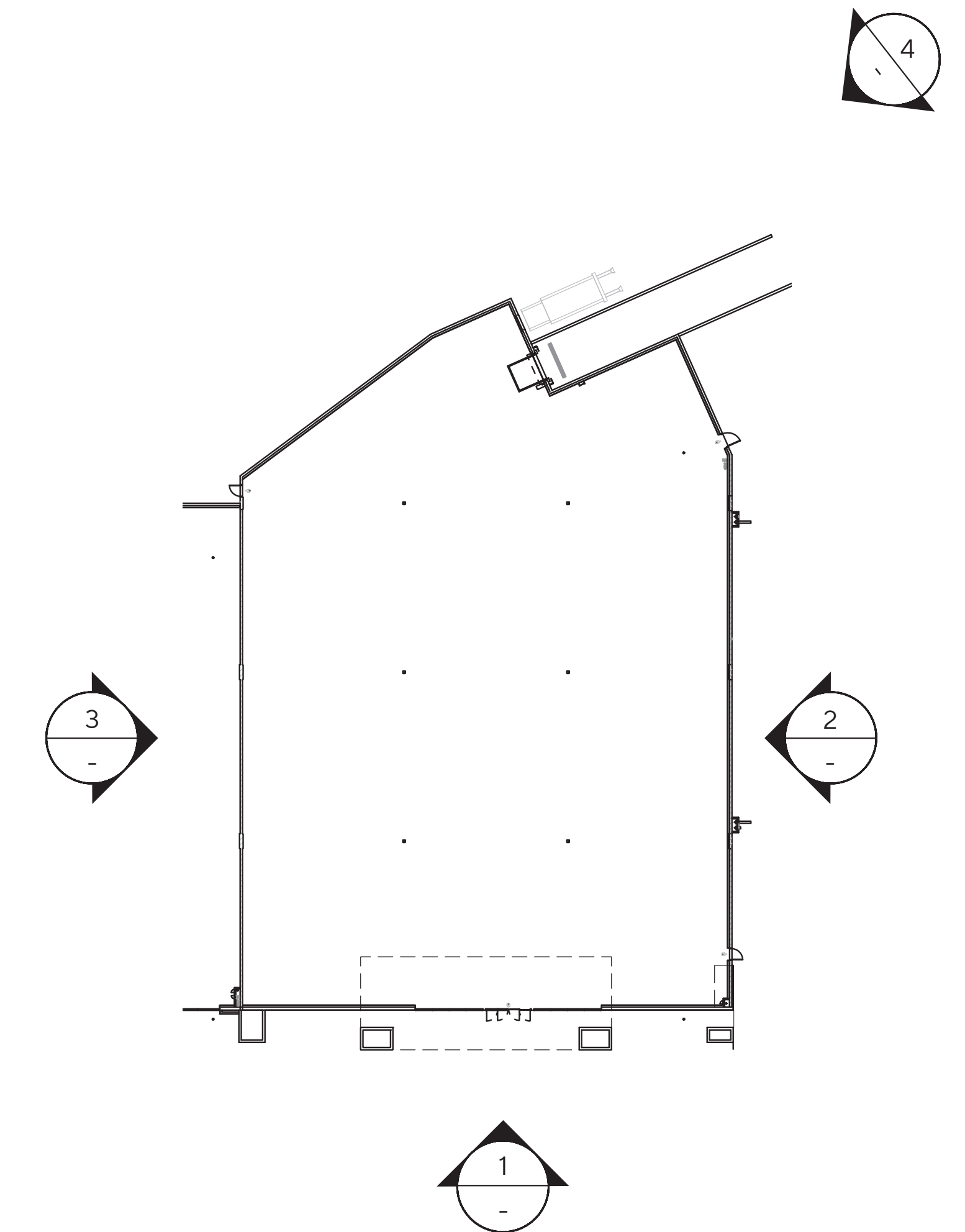
2. EAST ELEVATION



3. WEST ELEVATION

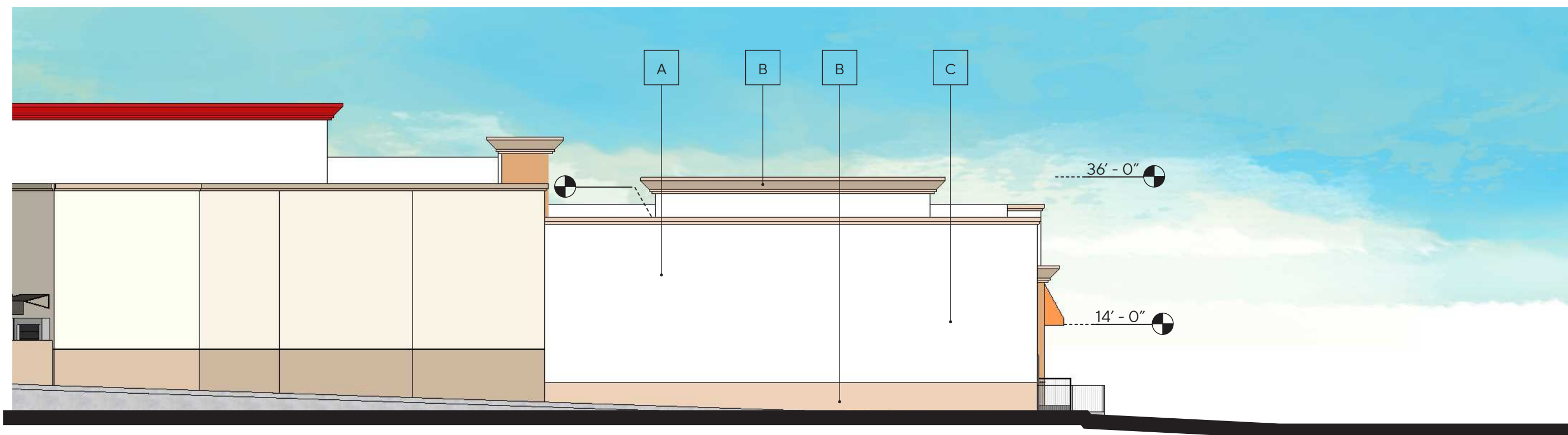


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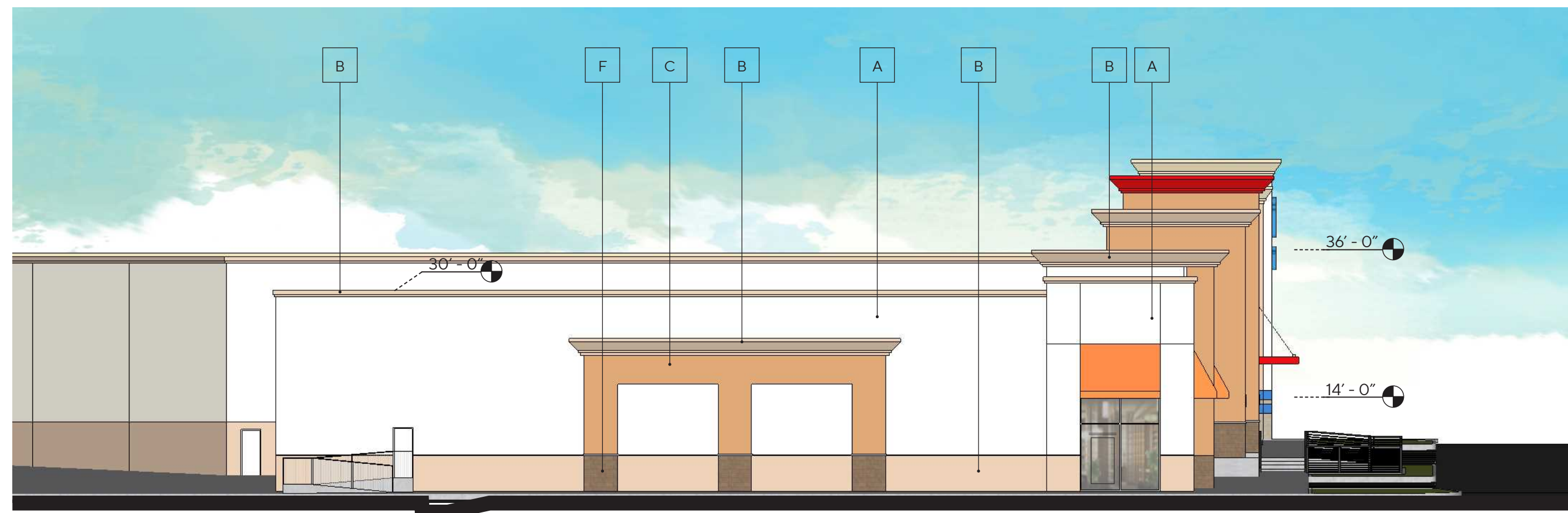




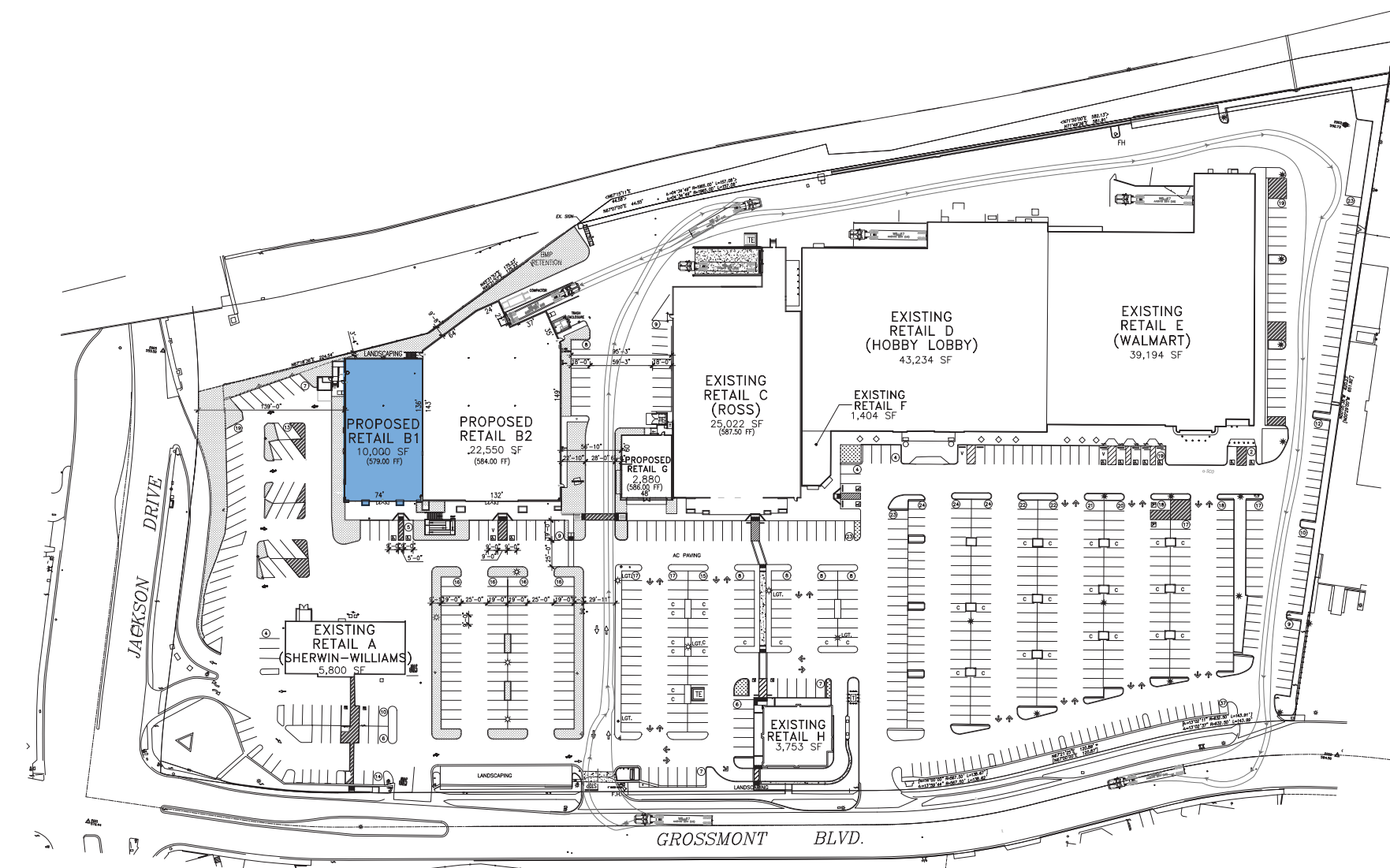
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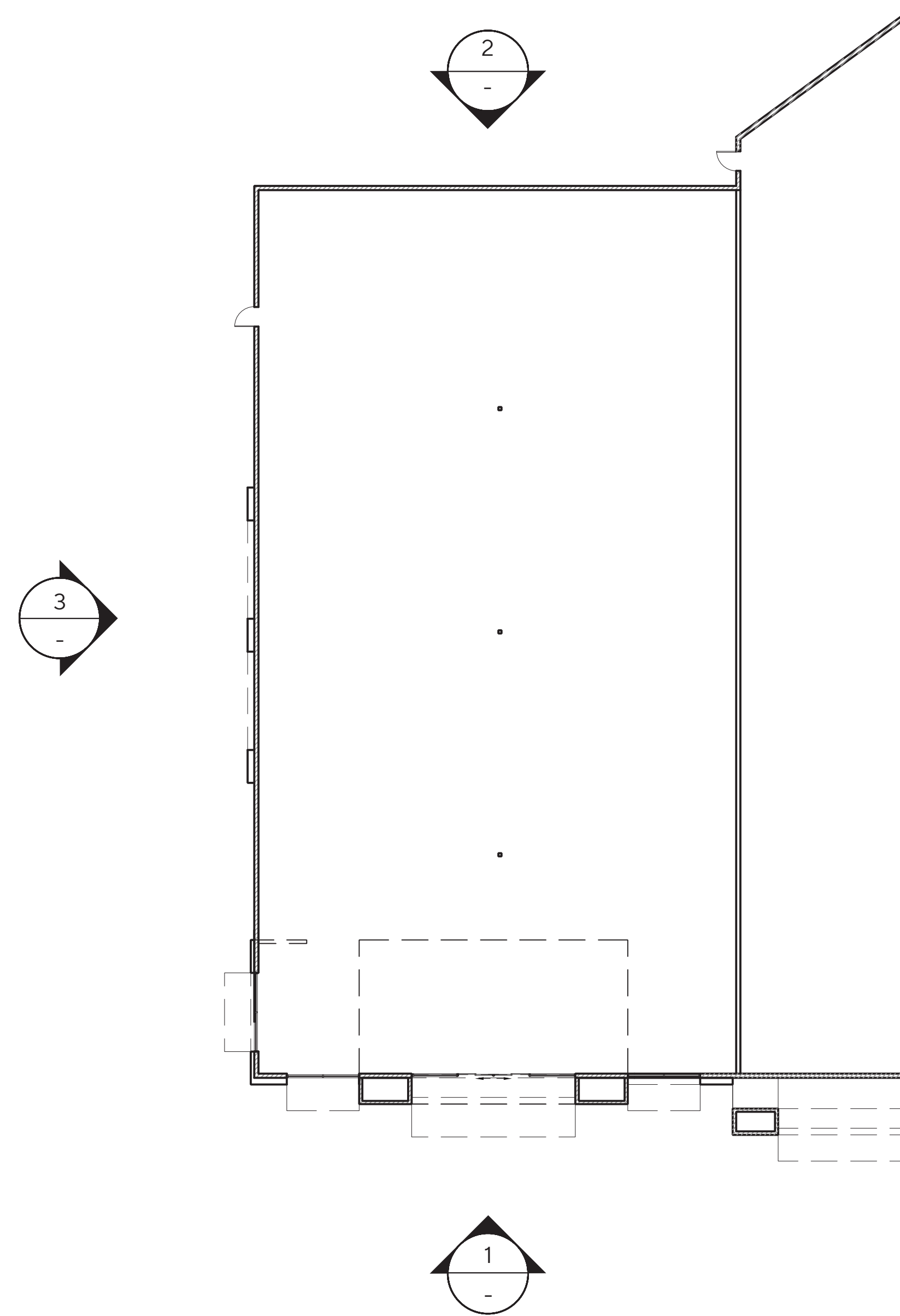
2. NORTH ELEVATION



3. WEST ELEVATION



KEY PLAN
N.T.S.

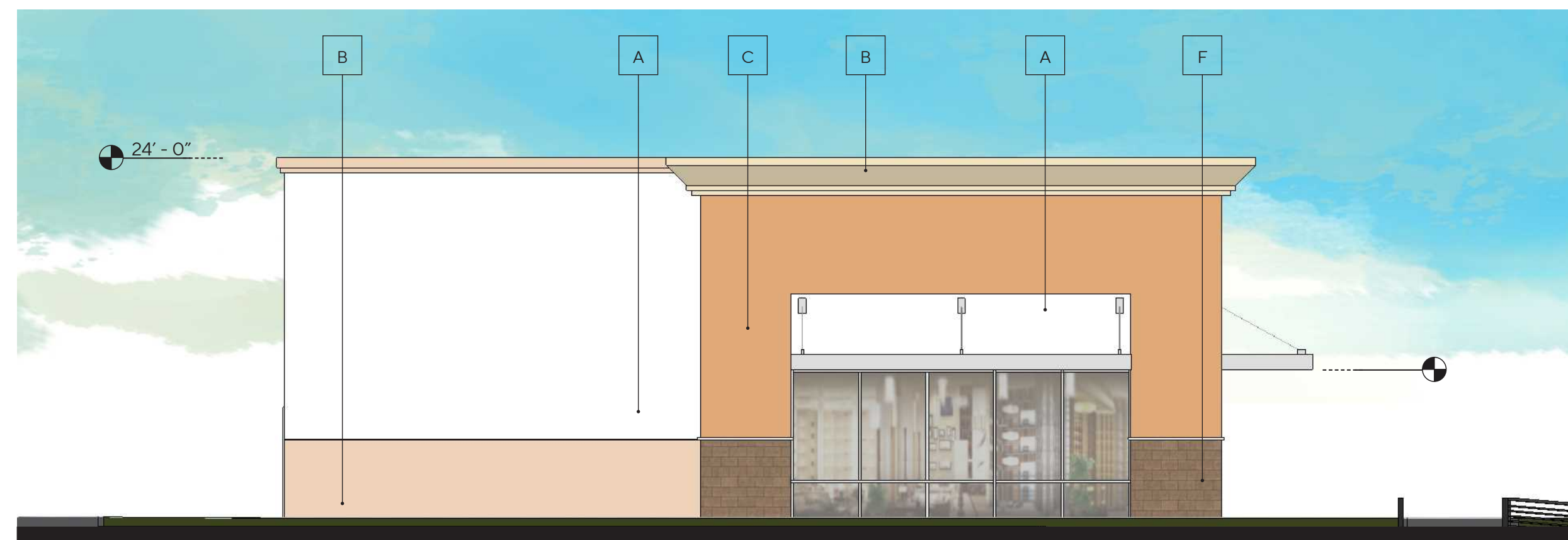


MATERIALS

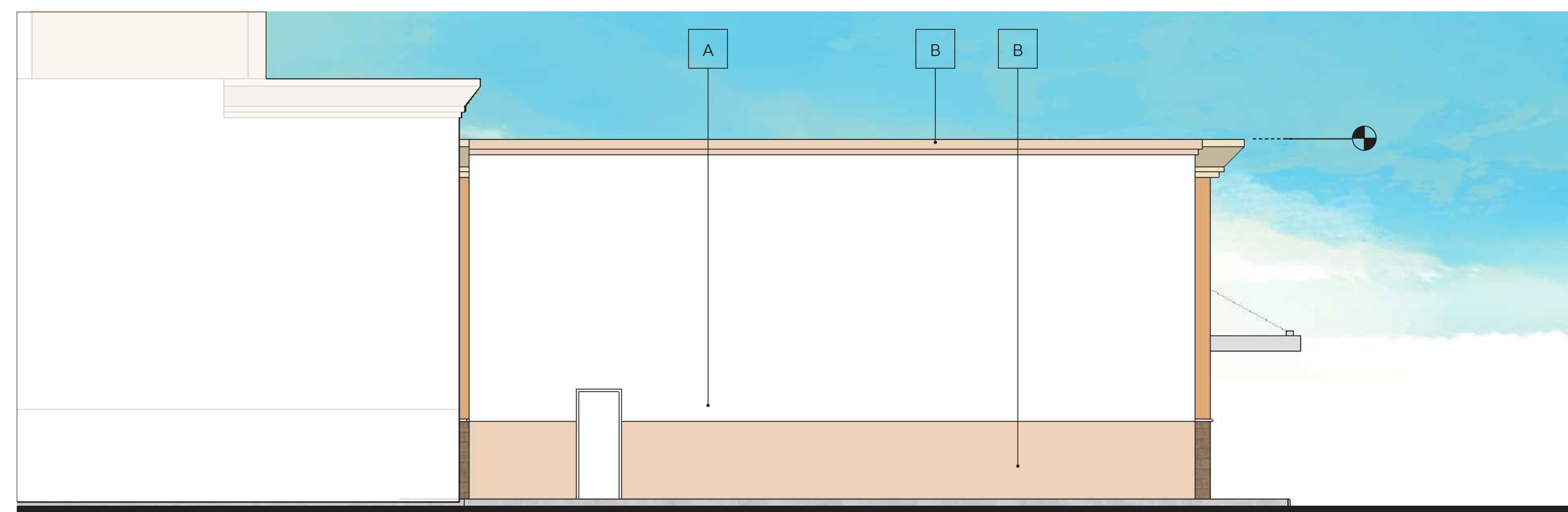
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DRYVIT #310 "CHINA WHITE"
- B EXTERIOR PLASTER FINISH SEMI SMOOTH BY OMEGA
COLOR TO MATCH SHERWIN WILLIAMS - SW6107 "NOMADIC
DESERT"
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COLOR TO MATCH BENJAMIN MORE #2087-10 "NEON RED"
- E EXTERIOR STUCCO FINISH
COLOR TO MATCH DUNN EDWARDS - DE 6367 - COVERED IN
PLATINUM
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COLOR TO MATCH RCP "PUEBLO"
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COLOR TO MATCH ATAS #17 "BRITE RED"
- H PRECAST CONCRETE BULLNOSE TRIM
COLOR TO MATCH RCP "PUEBLO"



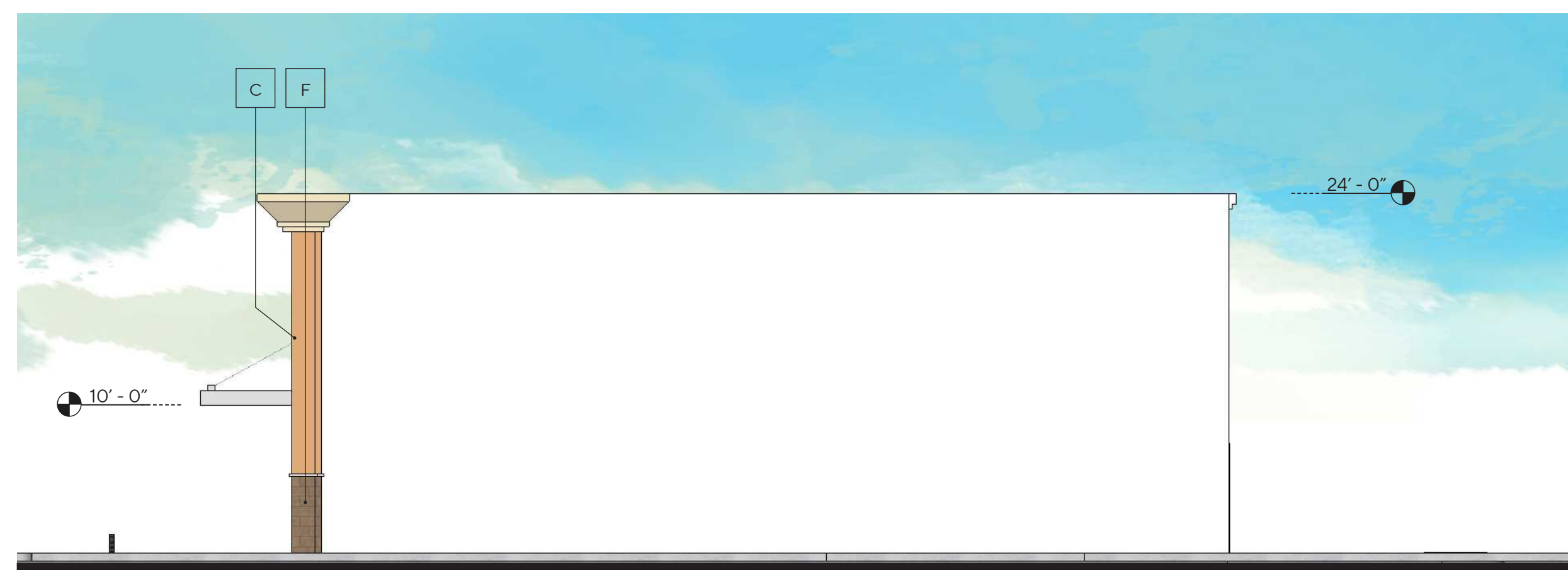
1. SOUTH ELEVATION



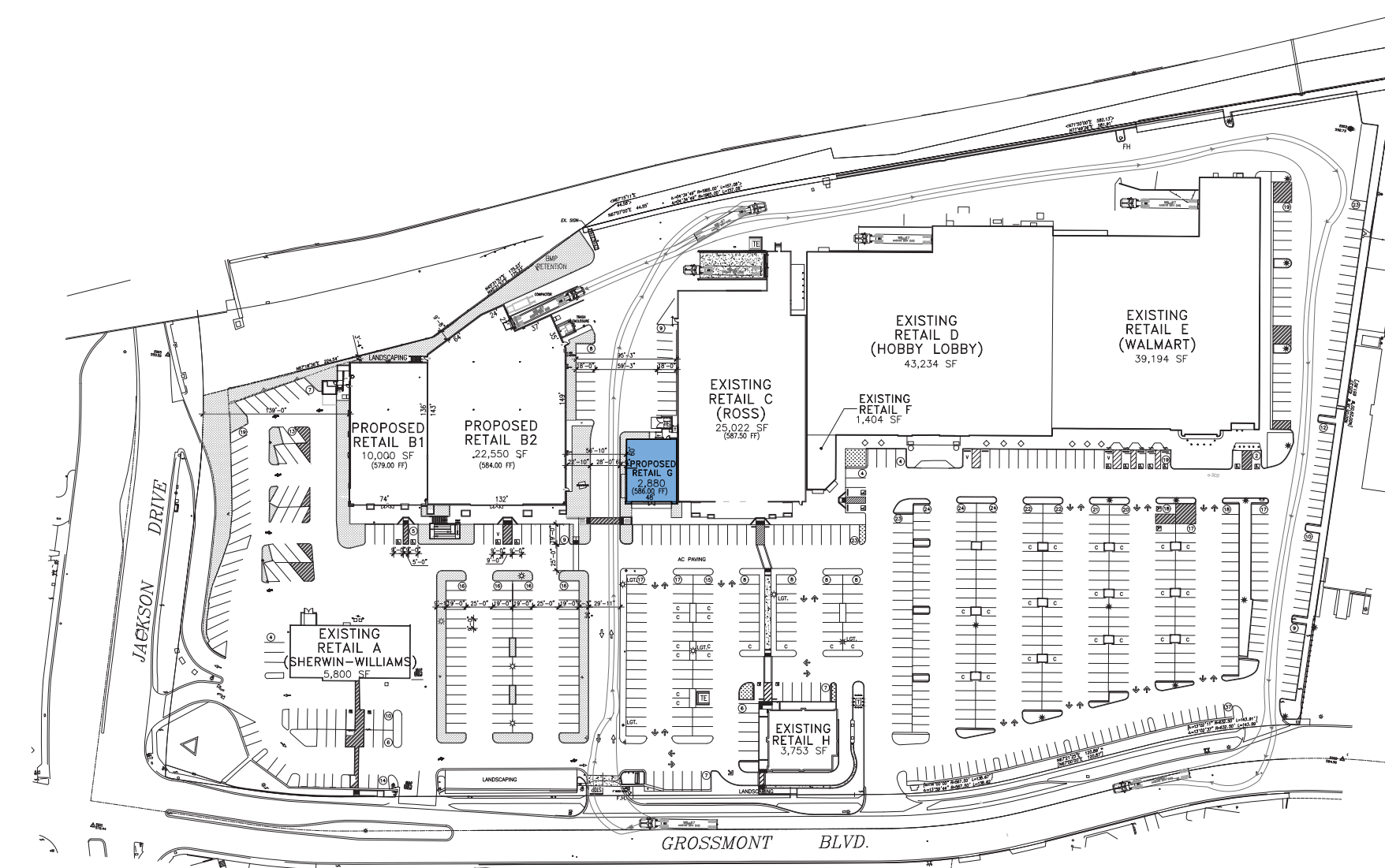
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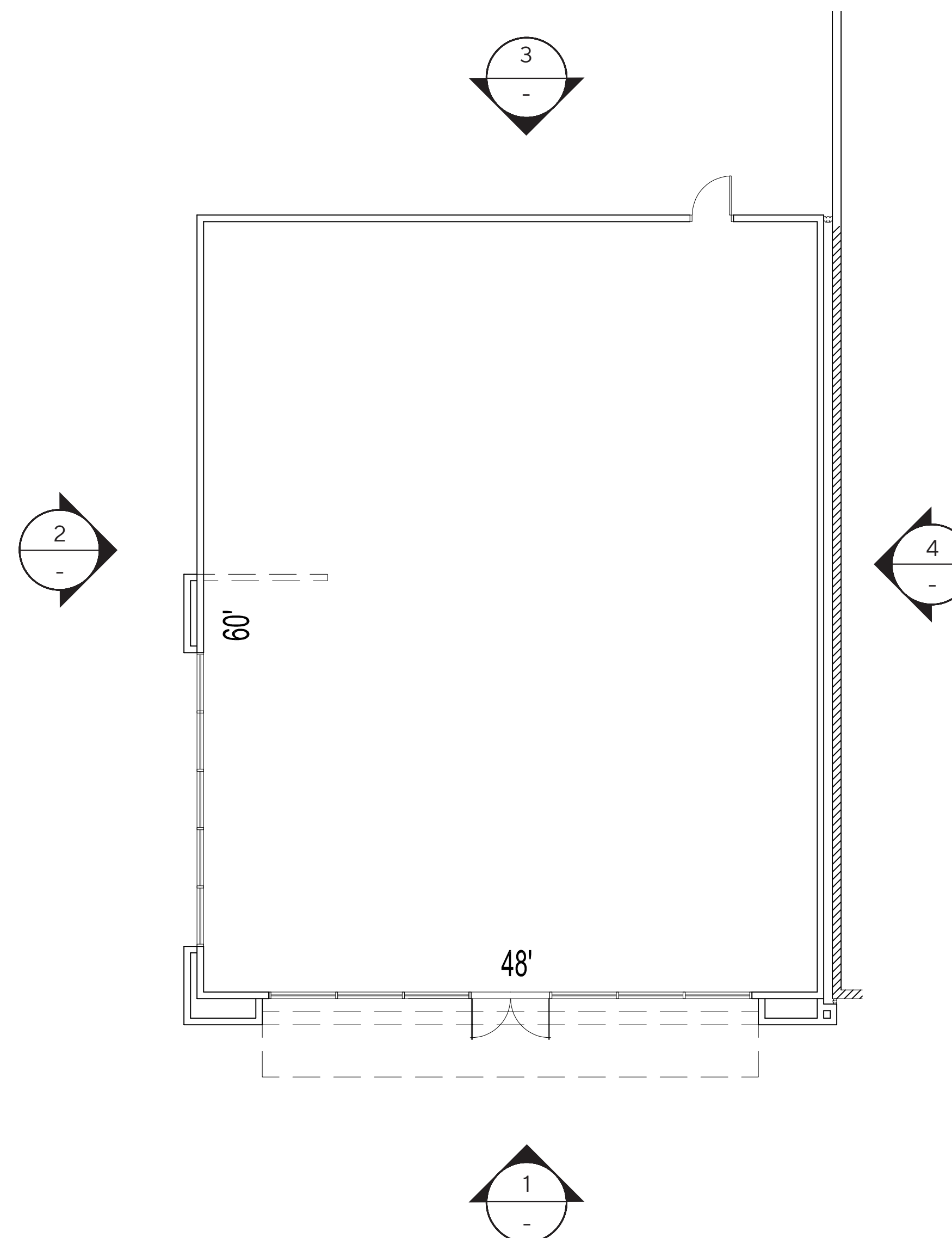
3. NORTH ELEVATION



4. EAST ELEVATION



KEY PLAN
N.T.S.



RETAIL BUILDING EXTERIOR ELEVATIONS

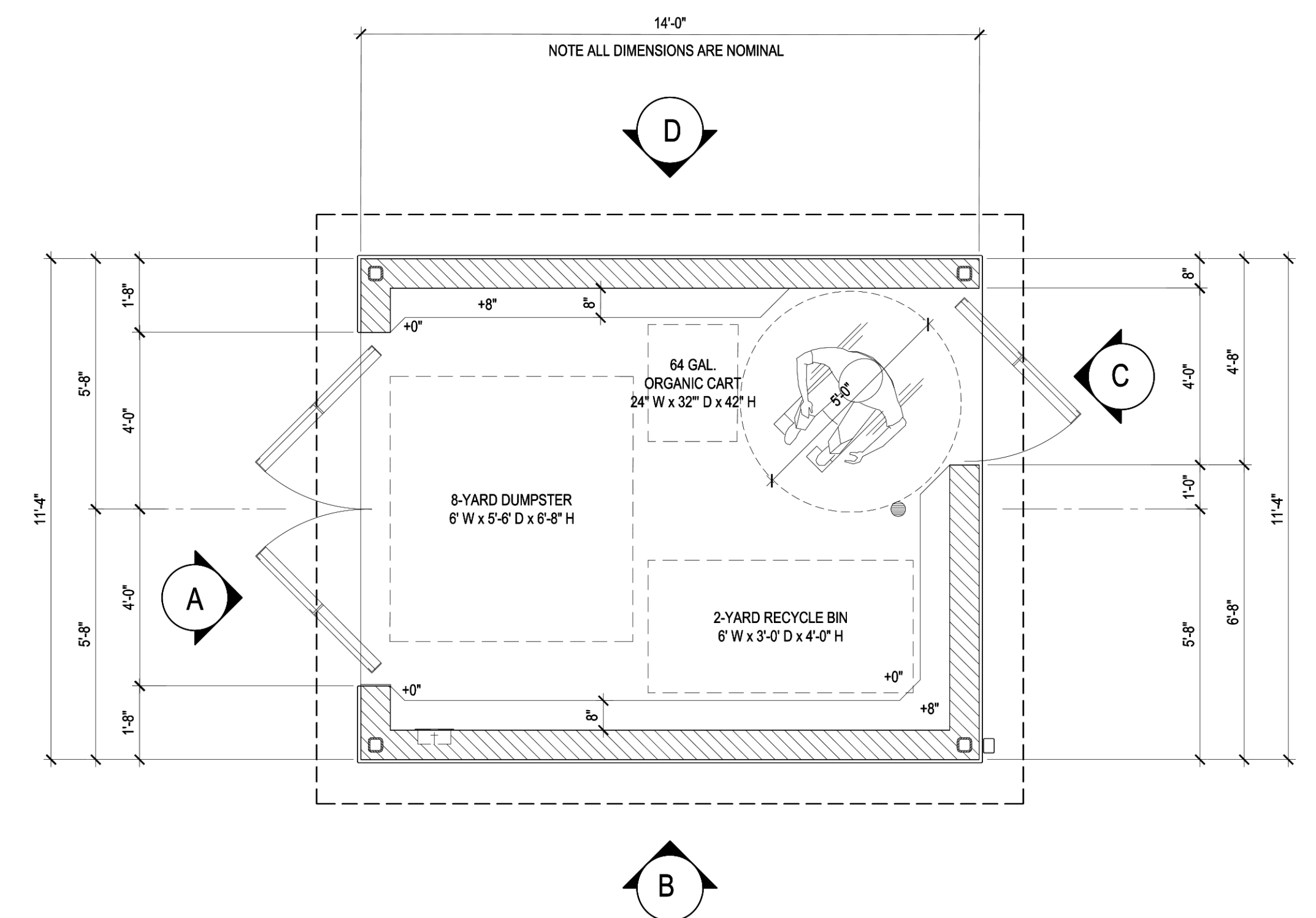
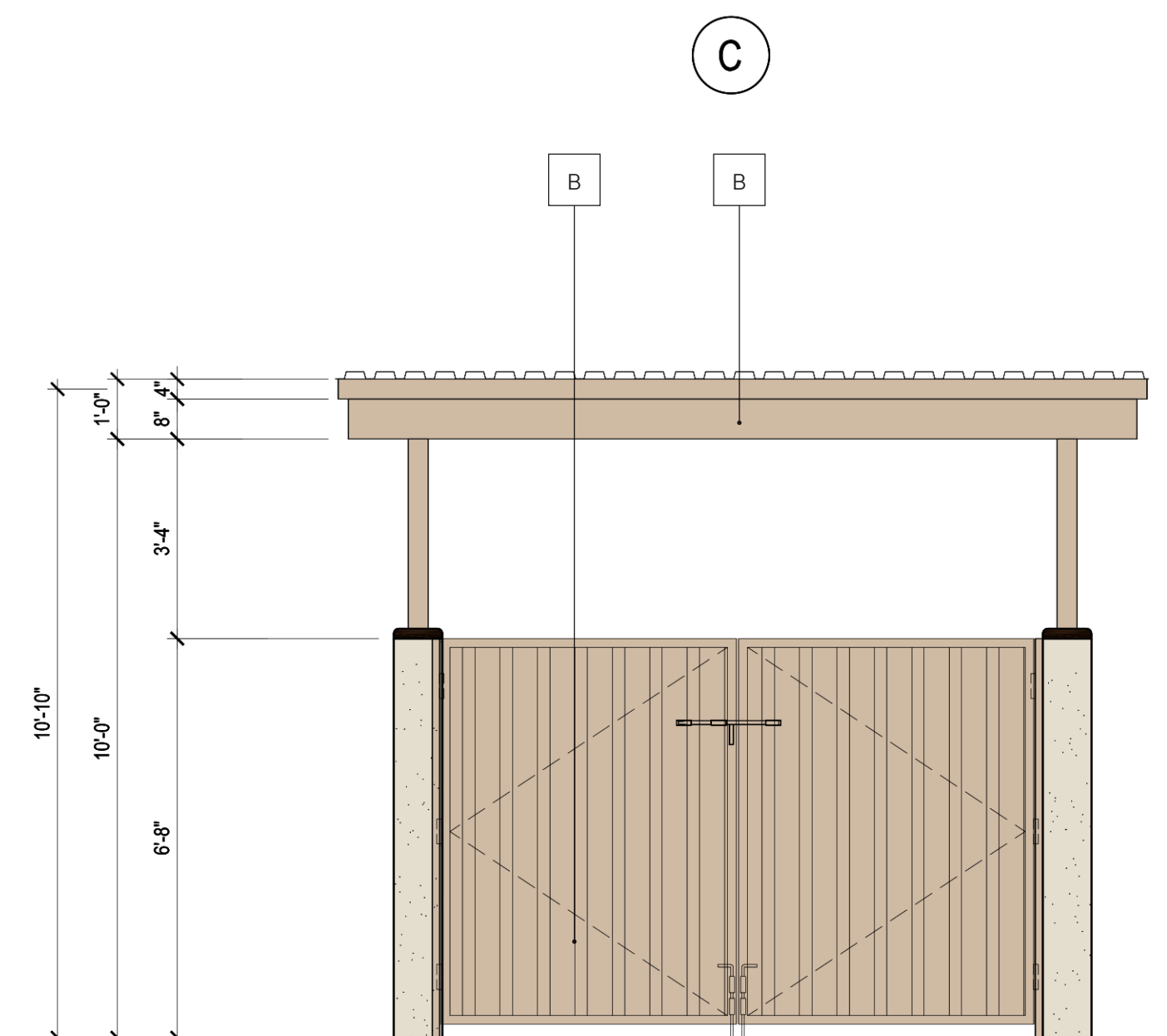
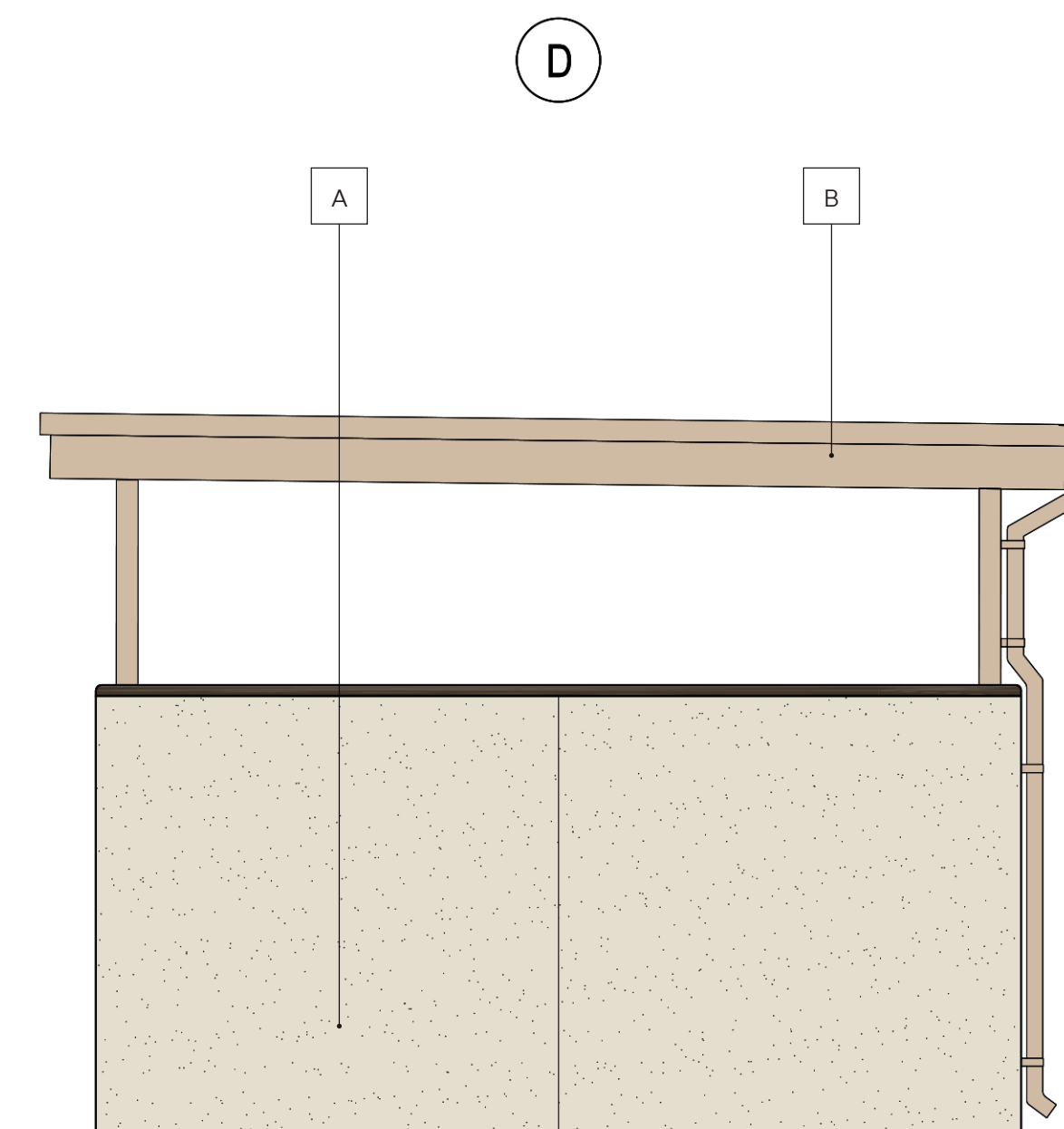
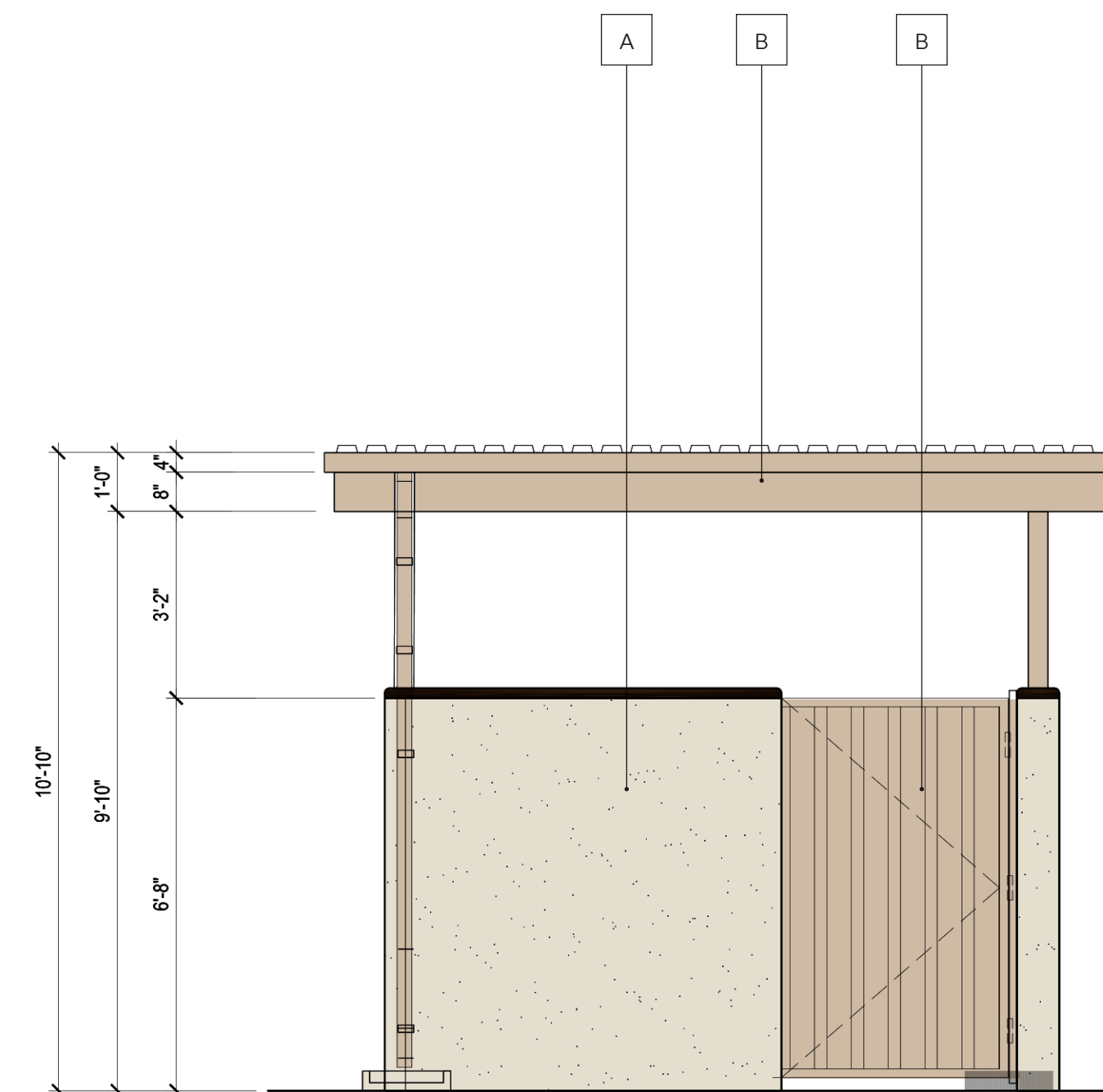
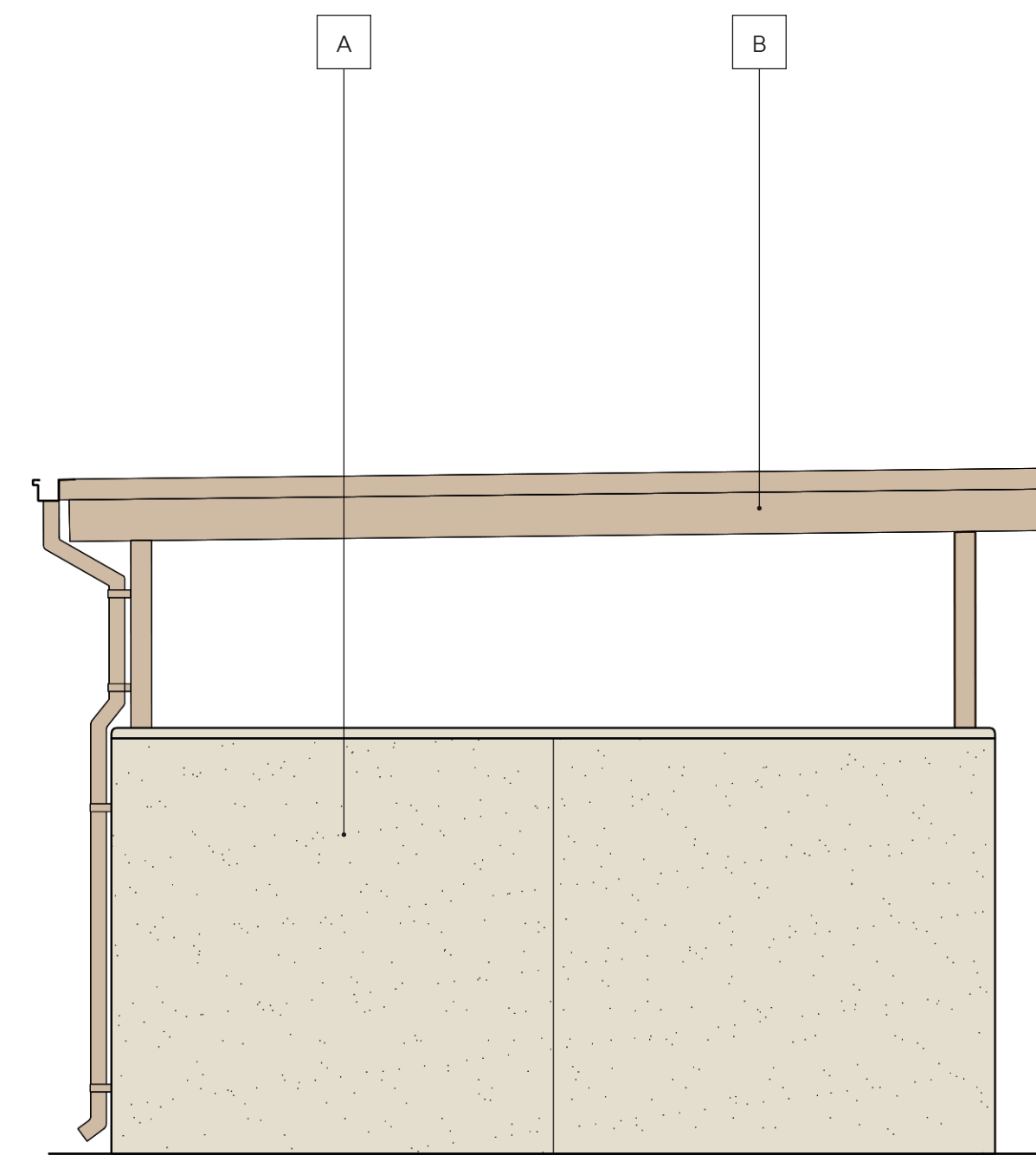
MATERIALS

- A EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
DRYVIT #310 "CHINA WHITE"
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- F SPLIT FACED CMU BLOCK
COLOR TO MATCH RCP "PUEBLO"
- G HANGING METAL CANOPY
COLOR TO MATCH ATAS #17 "BRITE RED"
- H PRECAST CONCRETE BULLNOSE TRIM
COLOR TO MATCH RCP "PUEBLO"



MATERIALS

- A** EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
DRYVIT #310 "CHINA WHITE"
- B** STEEL STRUCTURE, ROOF AND GATES
COLOR TO MATCH SHERWIN WILLIAMS - SW6107 "NOMADIC
DESERT"



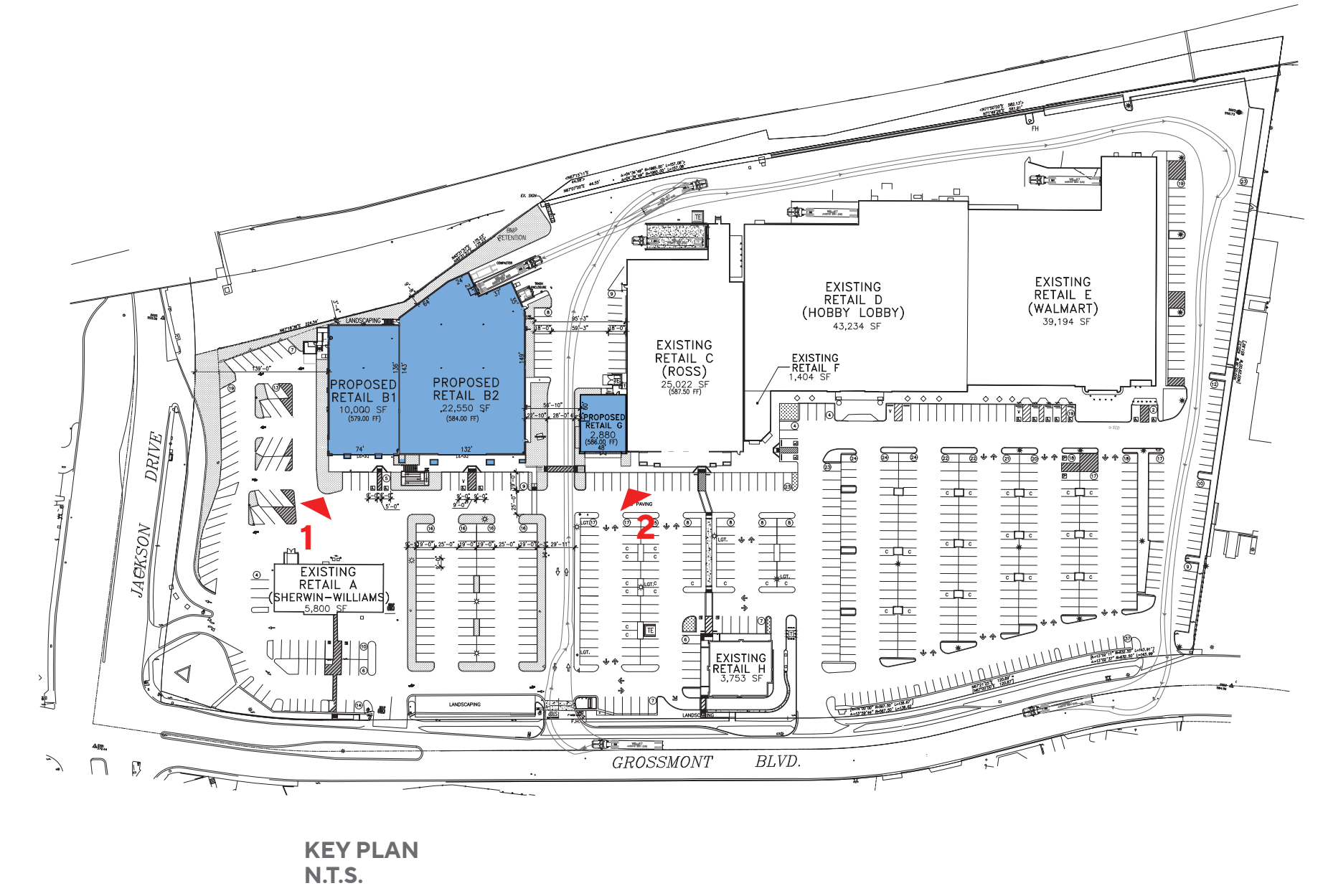
ELEVATIONS

PLAN

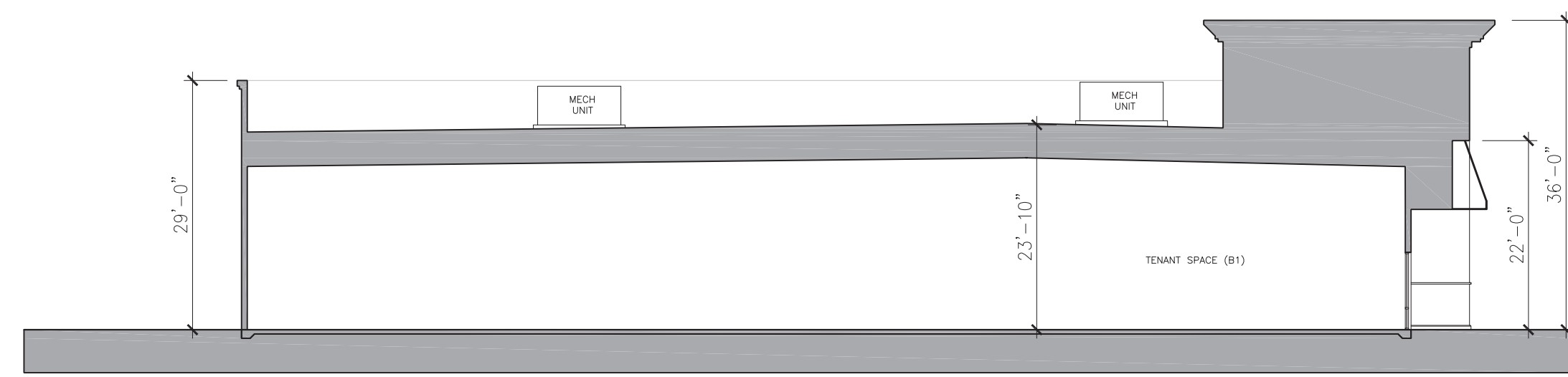
TRASH ENCLOSURE DETAILS



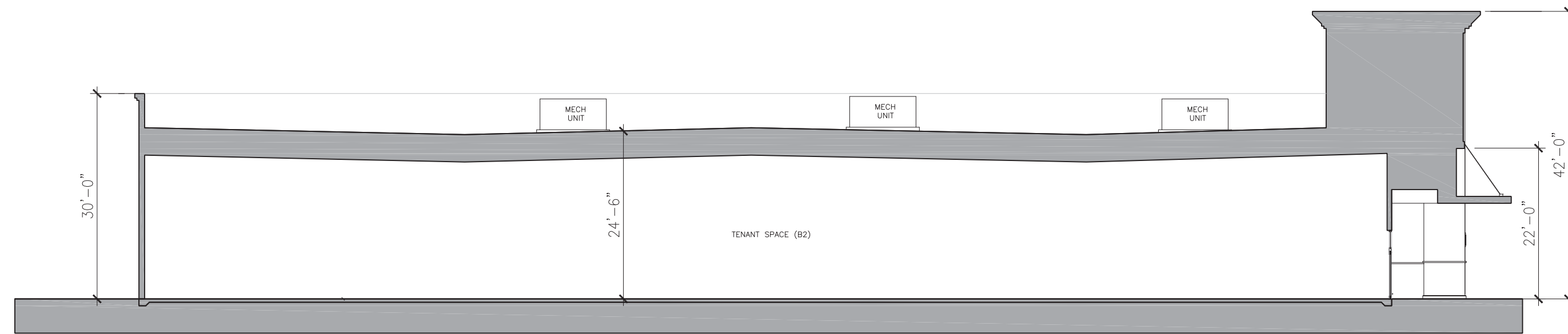
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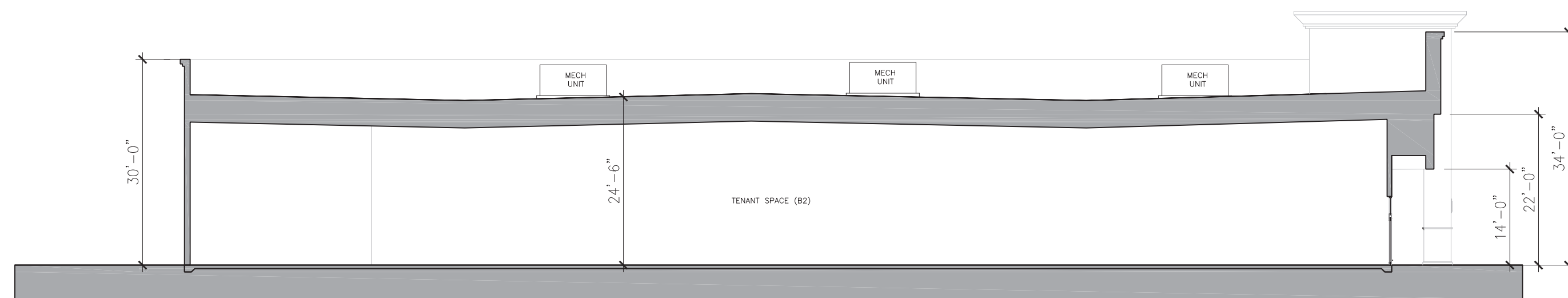
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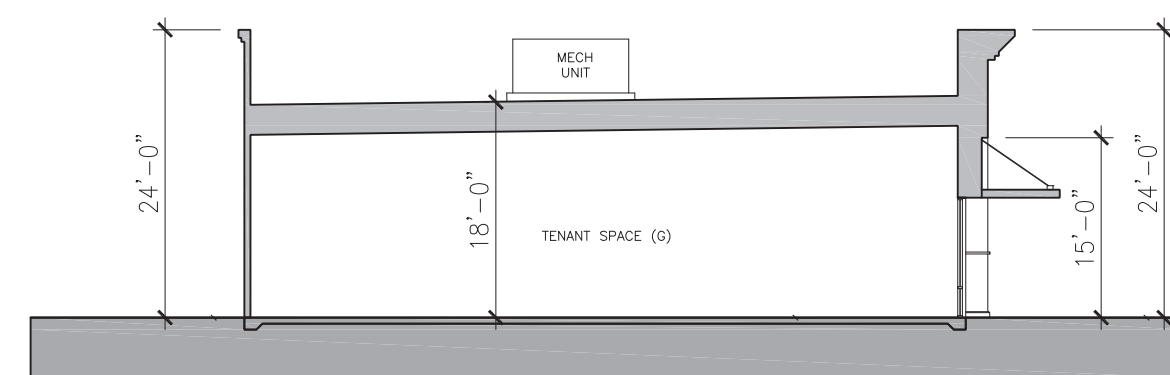
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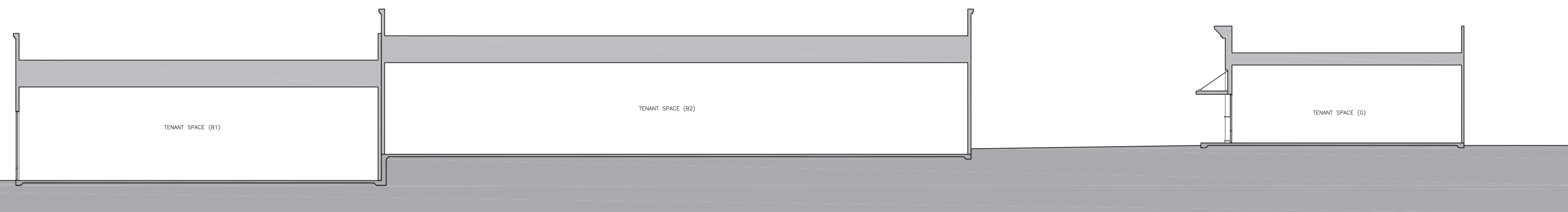
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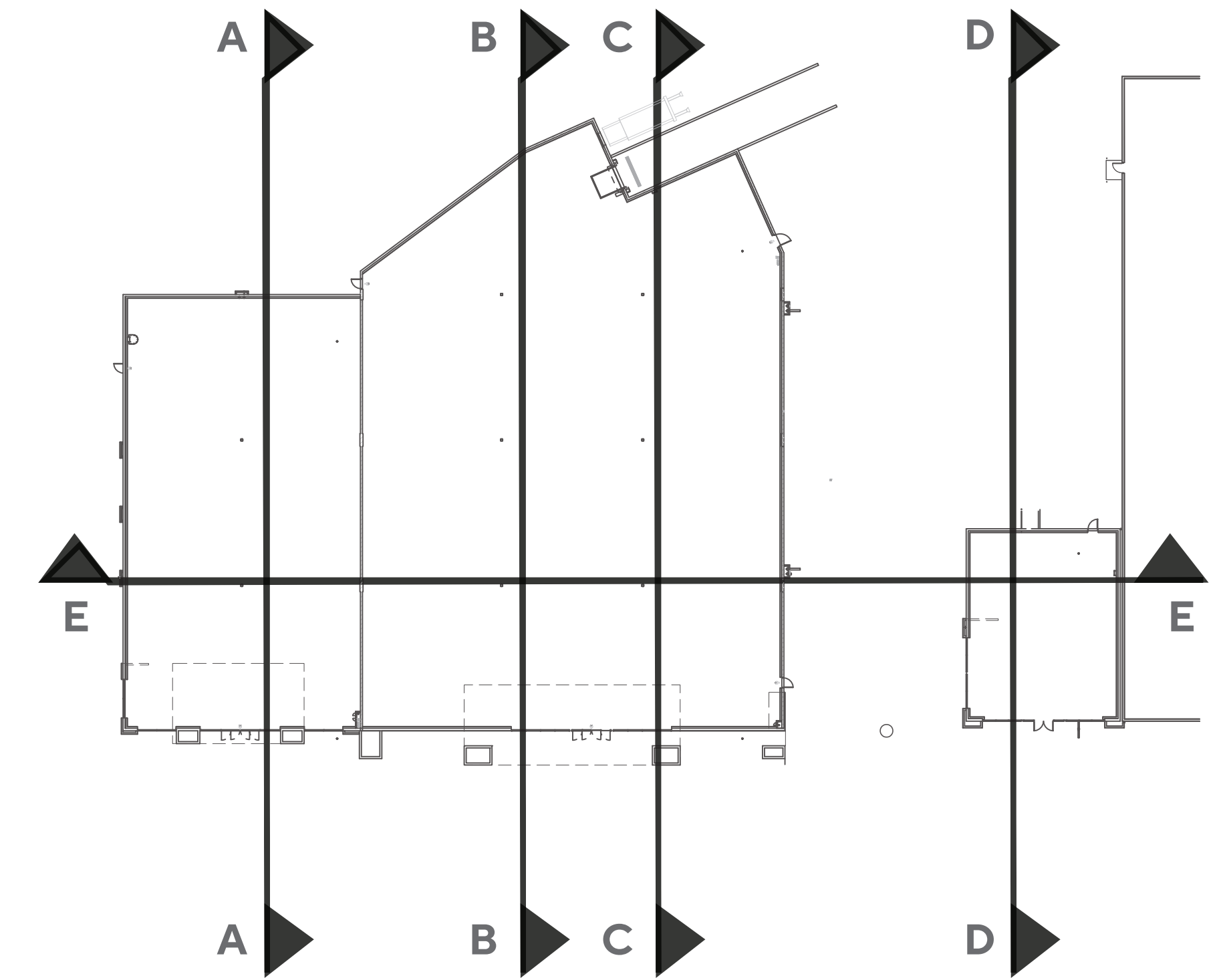
SECTION CC



SECTION DD



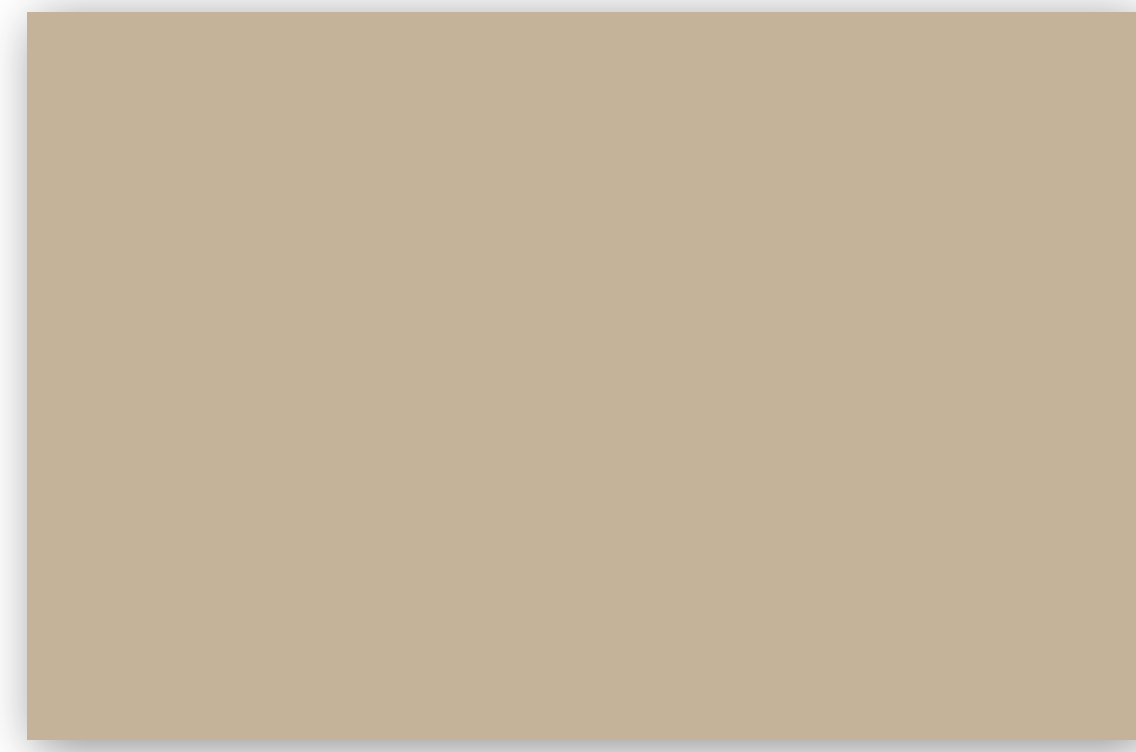
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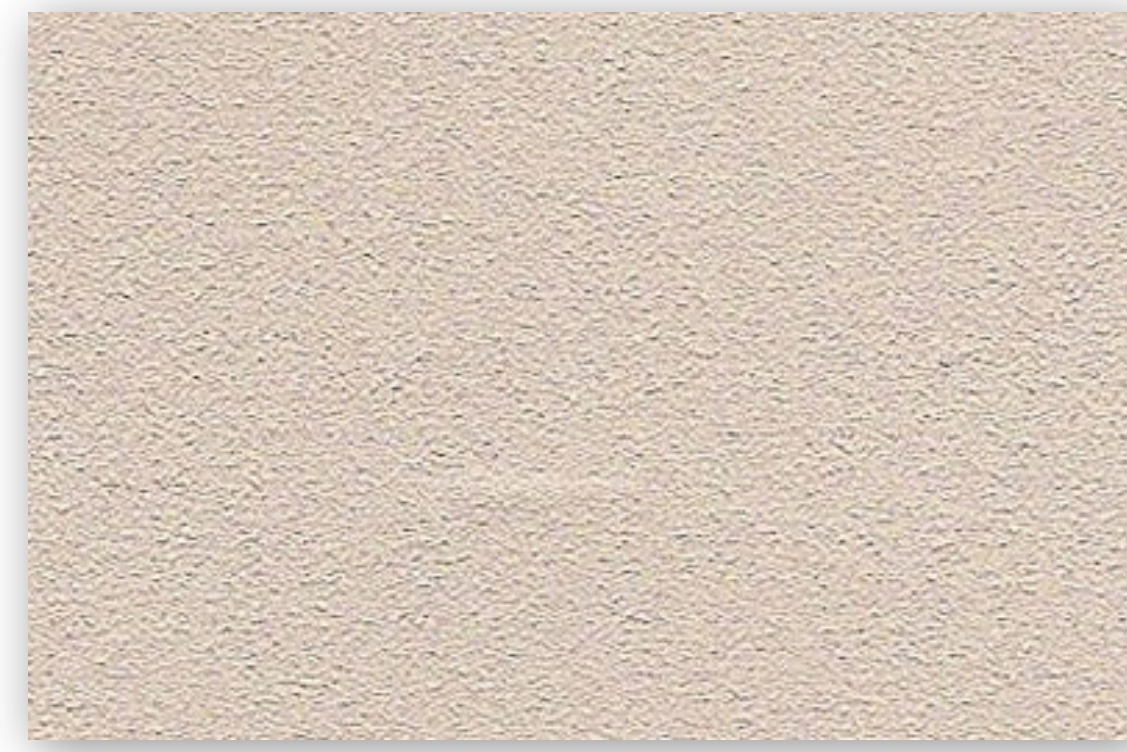
KEYPLAN



A



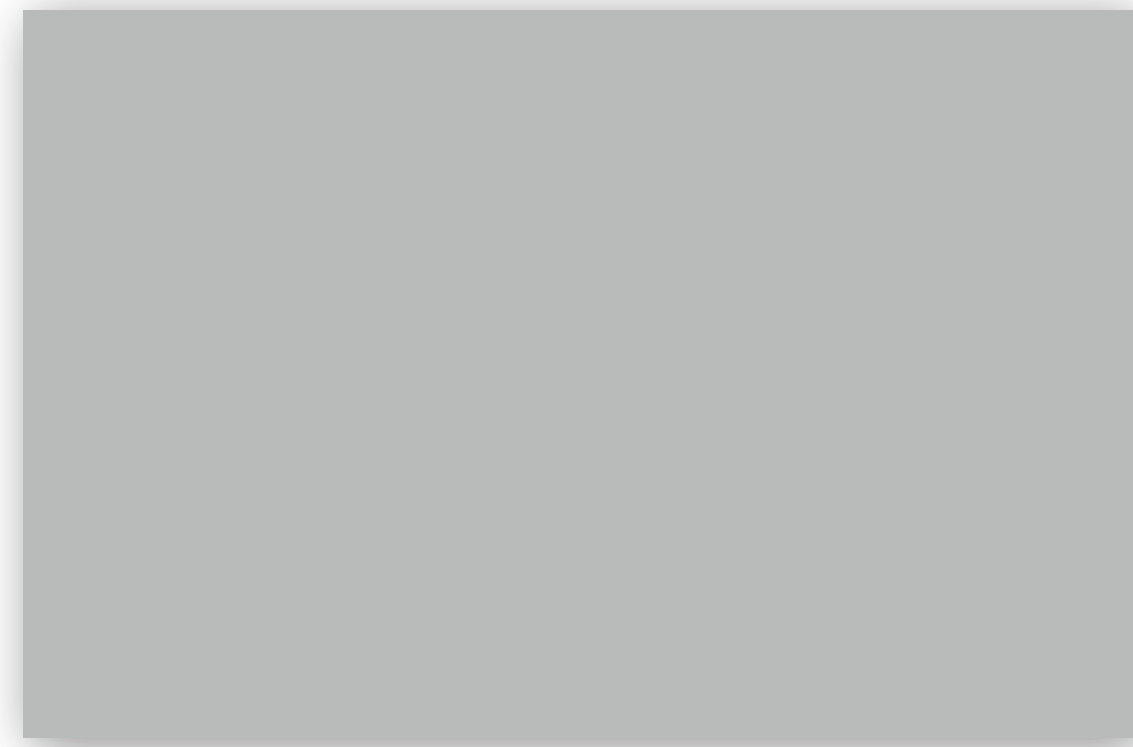
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C



D



E



F



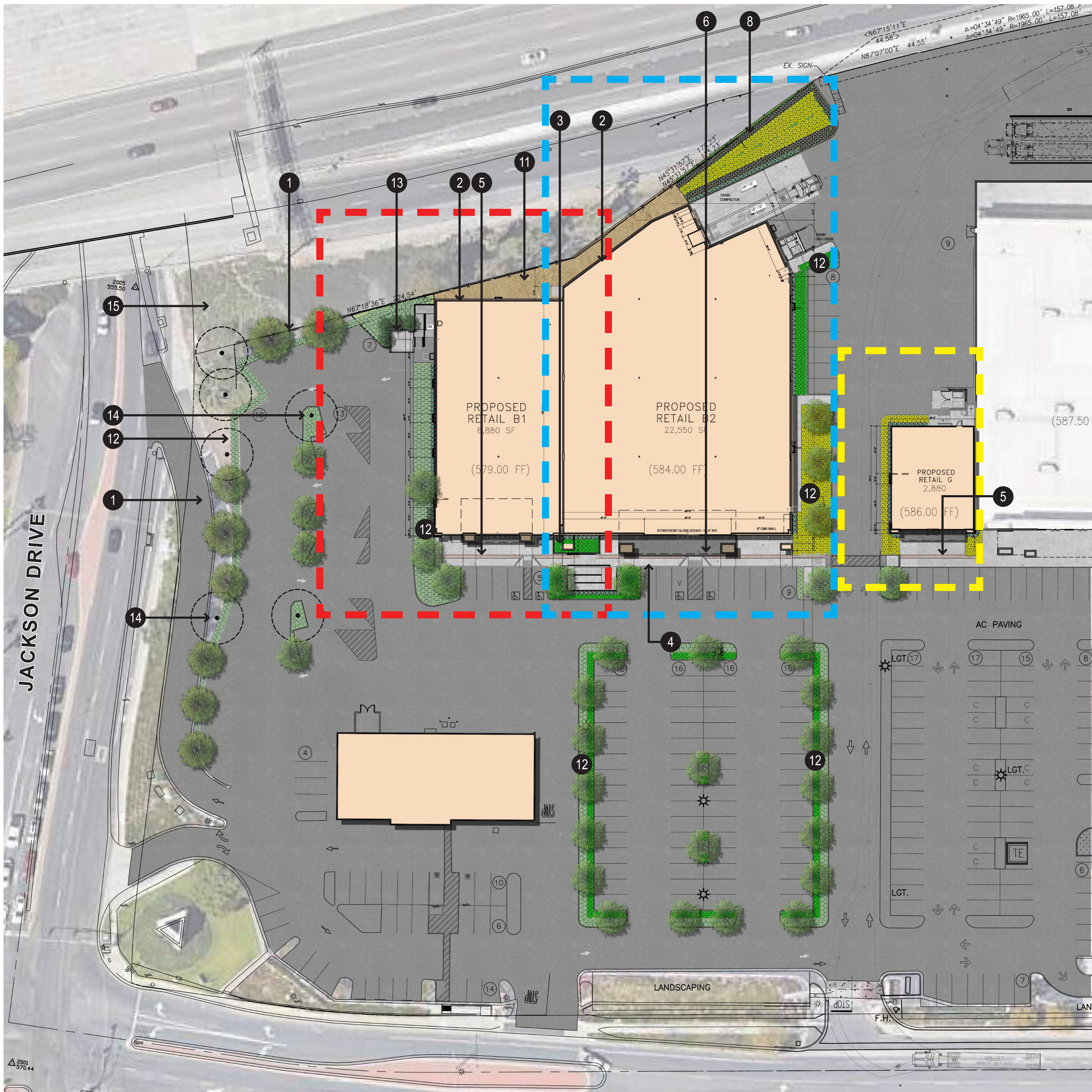
G



H

MATERIALS

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- H PRECAST CONCRETE BULLNOSE TRIM
COLOR TO MATCH RCP "PUEBLO"



| KEYNOTE LEGEND | |
|----------------|--|
| 1 | PROPERTY LINE |
| 2 | PROPOSED BUILDING BY ARCHITECT |
| 3 | ARCHITECTURAL COLUMN |
| 4 | CAST IN PLACE CONCRETE PAVING TO MATCH EXISTING |
| 5 | CAST IN PLACE CONCRETE BANDING TO MATCH EXISTING |
| 6 | OVERHEAD STRUCTURE |
| 7 | TRUCK LOADING AREA |
| 8 | EXISTING BMP RETENTION ZONE (2,441 SF) |
| 9 | EXISTING FENCING |
| 10 | NOT USED |
| 11 | DECOMPOSED GRANITE (1,814 SF.) |
| 12 | PLANTING AREA |
| 13 | TRASH ENCLOSURE |
| 14 | EXISTING TREE TO REMAIN - TYP. |
| 15 | EXISTING SLOPE TO REMAIN |

GENERAL DESIGN NOTES

- FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
- LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF VISTA REQUIREMENTS.
- ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT-OF-WAY) SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF VISTA REQUIREMENTS.
- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS.

IRRIGATION DESIGN NOTES

THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATIC UNDERGROUND SYSTEM. BACKFLOW PREVENTION DEVICES WILL BE INSTALLED TO MEET APPLICABLE CODES. THE IRRIGATION SYSTEM WILL BE DESIGNED AND CONSTRUCTED TO BE AS EFFICIENT IN TERMS OF WATER USAGE AS POSSIBLE. WATER CONSERVATION PRODUCTS (HIGH EFFICIENCY / LOW PRECIPITATION) AND AN EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROL SYSTEM WILL BE INCORPORATED INTO THE SYSTEM DESIGN.

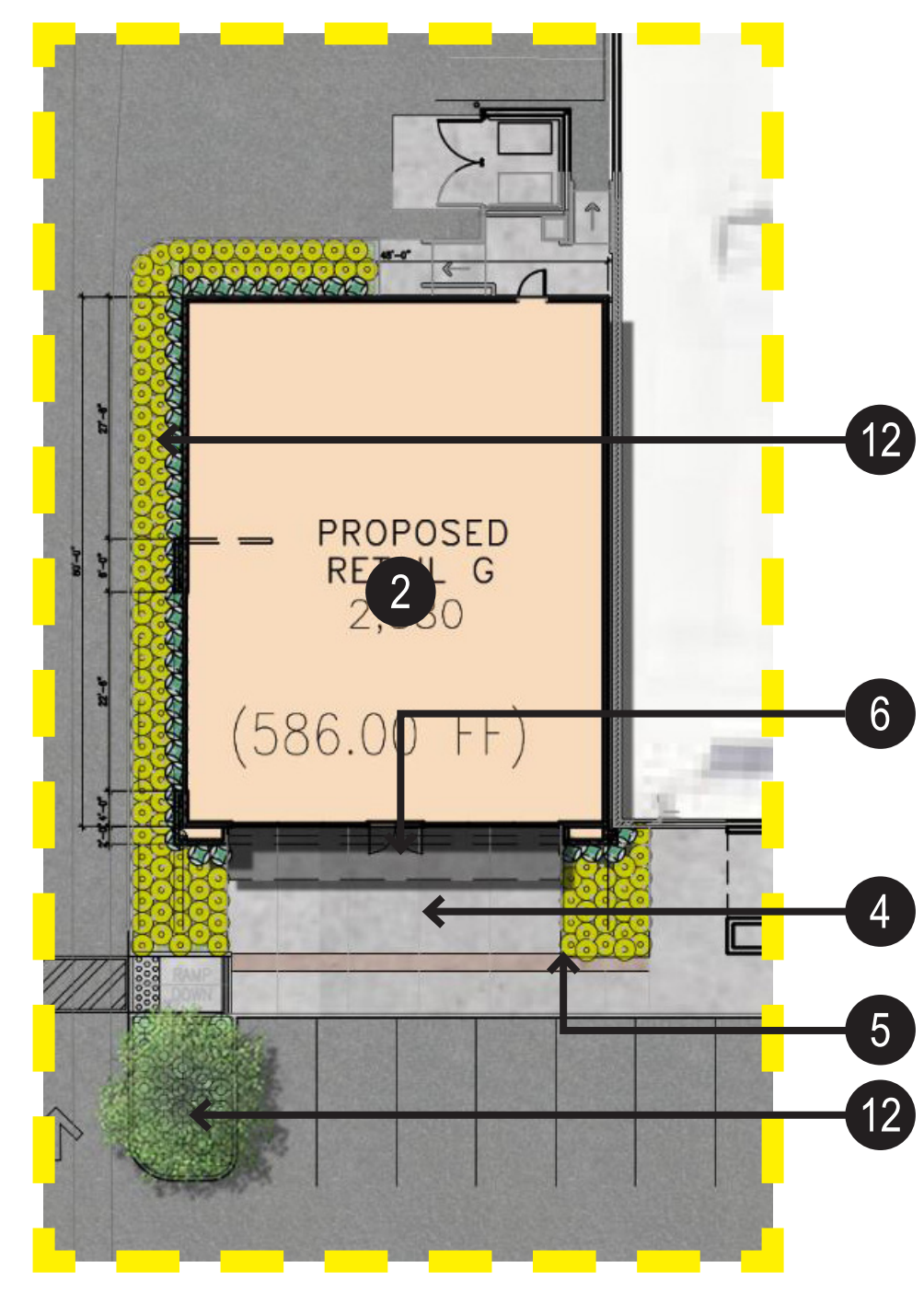
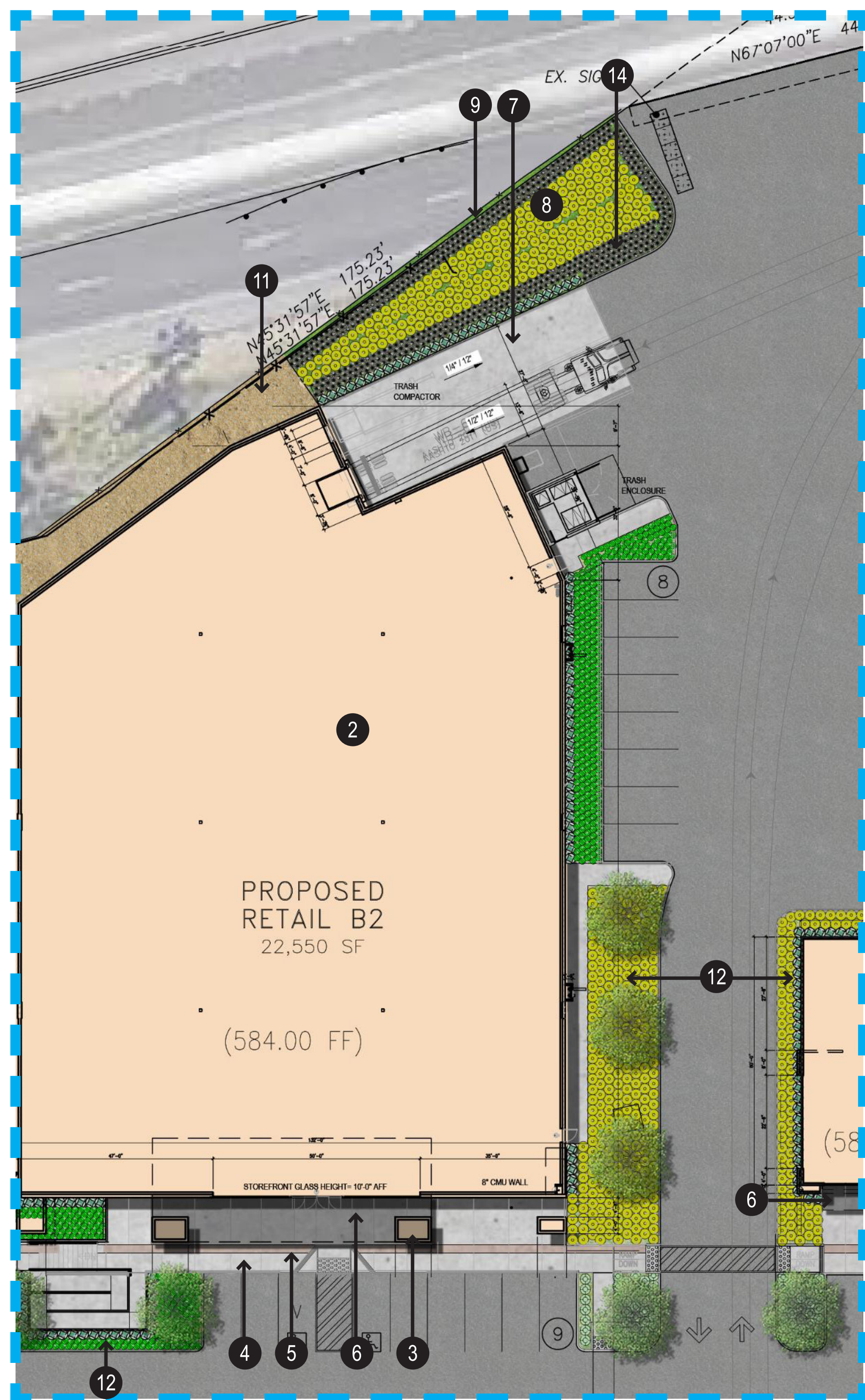
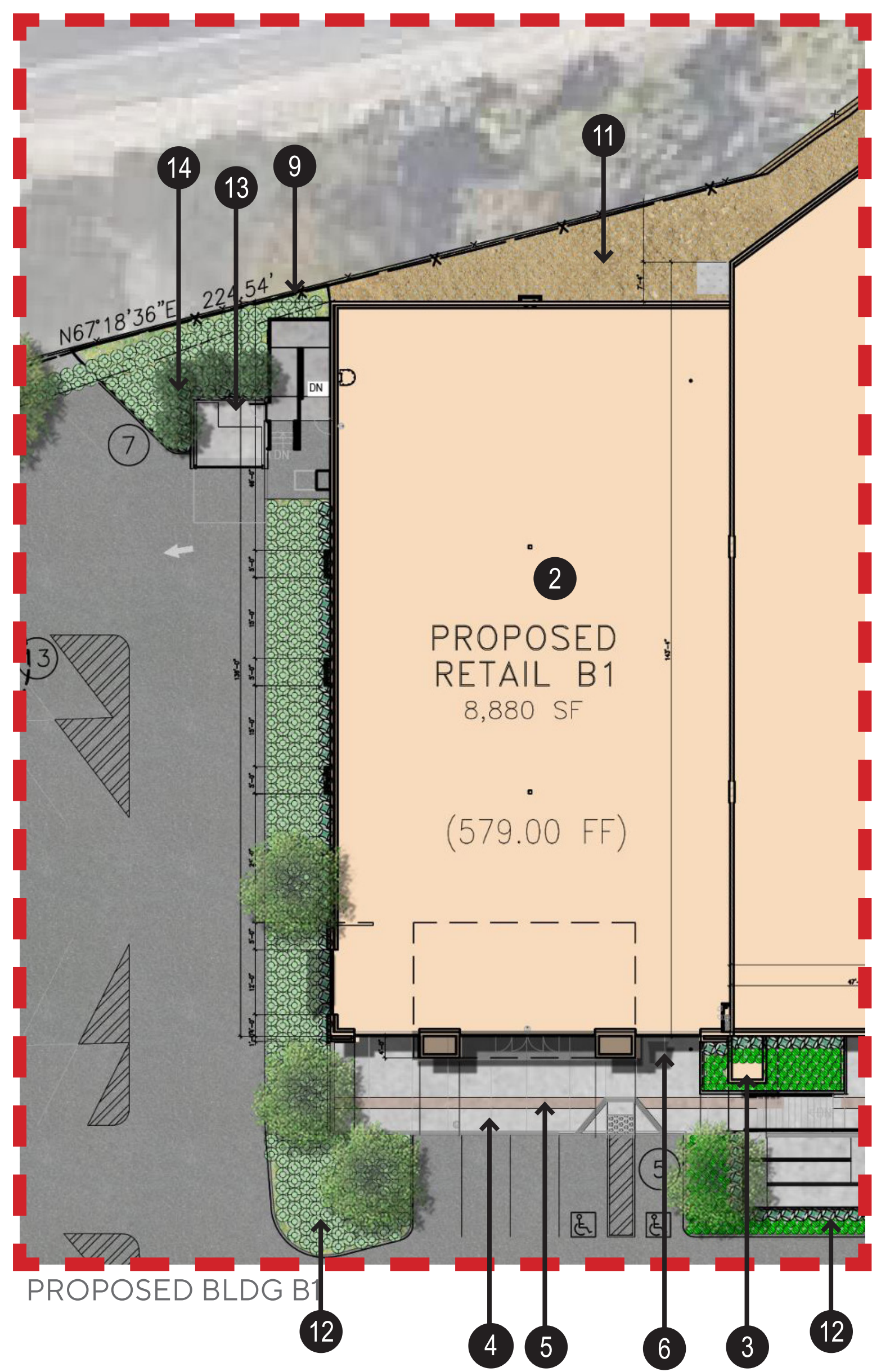
PLANTING DESIGN NOTES

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS SHALL BE PROVIDED FROM LINERS OR FLATS AT 12" O.C. 1 GALLON SHRUBS WILL BE PROVIDED FOR EACH 100 SF OF SLOPE AND FIVE GALLON SHRUB FOR EVERY 500 SF OF SLOPE. PROVIDE TREES ON ALL SLOPES AT A RATE OF 15 GALLON TREE PER 500 SF OF SLOPE ON ALL SLOPES 5' OR GREATER VERTICAL HEIGHT. ON ALL SLOPES 8' OR GREATER VERTICAL HEIGHT, PROVIDE ONE 15 GALLON TREE PER 500 SF OF SLOPE PLUS ONE 5 GALLON TREE PER EACH 1,000 SF OF SLOPE. BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF LA MESA GUIDELINES.

PROJECT SUMMARY

| | |
|-----------------------------|-------------|
| OVERALL SITE AREA | ~131,000 SF |
| OVERALL LANDSCAPE AREA | 16,308 SF |
| LANDSCAPE COVERAGE | 8% |
| EXISTING OVERALL SITE AREA | ~131,000 SF |
| EXISTING LANDSCAPE AREA | 8,257 SF |
| EXISTING LANDSCAPE COVERAGE | 6.3% |

SCALE: 1" = 20'



| KEYNOTE LEGEND | |
|----------------|--|
| 1 | PROPERTY LINE |
| 2 | PROPOSED BUILDING BY ARCHITECT |
| 3 | ARCHITECTURAL COLUMN |
| 4 | CAST IN PLACE CONCRETE PAVING TO MATCH EXISTING |
| 5 | CAST IN PLACE CONCRETE BANDING TO MATCH EXISTING |
| 6 | OVERHEAD STRUCTURE |
| 7 | TRUCK LOADING AREA |
| 8 | EXISTING BMP RETENTION ZONE |
| 9 | EXISTING FENCING |
| 10 | NOT USED |
| 11 | DECOMPOSED GRANITE (1,814 SF.) |
| 12 | PLANTING AREA |
| 13 | TRASH ENCLOSURE |
| 14 | SCREENING TREES |

PROPOSED BLDG G
EXISTING CONDITIONS





| TREE LEGEND | | | | | | |
|-------------|--------------------------|-------------------|---------|------|--------|----------------------|
| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | QTY. | WUCOLS | DESCRIPTION |
| | CUPANIOPSIS ANACARDIODES | CARROTWOOD | 36" BOX | 33 | M | PARKING LOT TREE |
| | PINUS ELДАРICA | ELДАРICA PINE | 36" BOX | 8 | VL | PERIMETER TREES |
| | PODOCARPUS GRACILIOR | AFRICAN FERN PINE | 36" BOX | 4 | L | SCREENING TREE/HEDGE |

| SHRUB LEGEND | | | | |
|--------------|--|------|--------|---------|
| SYMBOL | BOTANICAL NAME COMMON NAME | QTY. | WUCOLS | SIZE |
| | CARISSA GRANDIFLORA 'GREEN CARPET' NATAL PLUM | 1572 | L | 1 GAL. |
| | RHAPHIOLEPIS INDICA 'BALLERINA' INDIAN HAWTHORN 'BALLERINA' | 1264 | L | 5 GAL. |
| | LIGUSTRUM JAPONICUM 'TEXANUM' TEXAS PRIVET | 187 | M | 15 GAL. |
| | MUHLENBERGIA RIGENS DEER GRASS | 636 | L | 5 GAL. |
| | CHONDROPETALUM TECTORUM CAPE RUSH | 463 | L | 5 GAL. |

STREET AND PARKING TREE



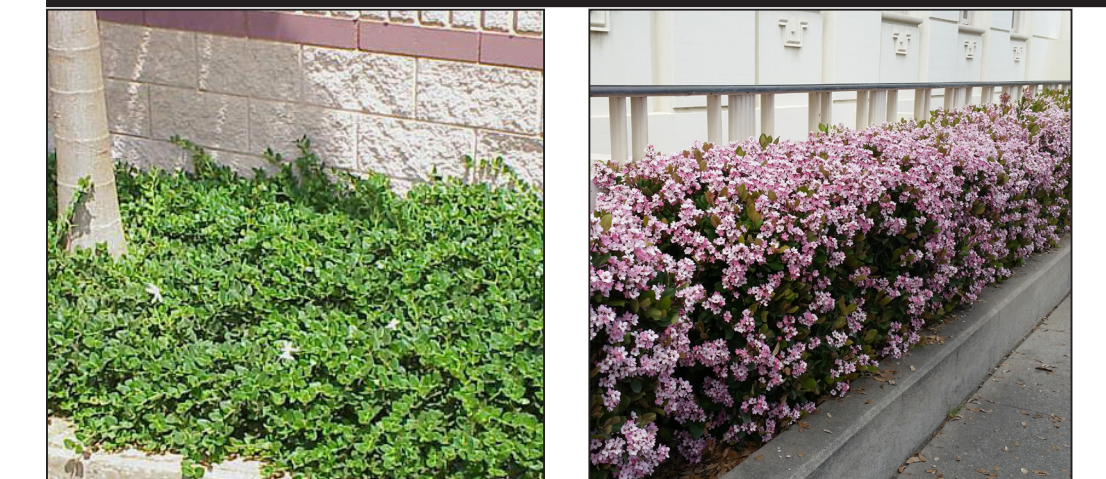
CUPANIOPSIS ANACARDIODES CARROTWOOD
PINUS ELДАРICA ELDARICA PINE

SCREENING TREE



PODOCARPUS GRACILIOR AFRICAN FERN PINE

PARKING LOT SHRUB



CARISSA MACROCARPA 'GREEN CARPET' NATAL PLUM GREEN CARPET (10,907 SQFT)
RHAPHIOLEPIS INDICA 'BALLERINA' INDIAN HAWTHORN (7,732 SQFT)

BIOSWALE PLANTS



MUHLENBERGIA RIGENS DEER GRASS
CHONDROPETALUM TECTORUM CAPE RUSH

SCALE: 1" = 30'



REFERENCE EVAPOTRANSPIRATION (Eto) 55.1

| Hydrozone # / Planting Description ^(a) | Plant Factor (PF) ^(b) | Irrigation Method ^(b) | Irrigation Efficiency (IE) ^(c) | ETAF (PF/IE) | Landscape Area In Square Feet | ETAF x Area | Estimated Total Water Use (ETWU) ^(d) | |
|---|----------------------------------|----------------------------------|---|--------------|-------------------------------|-------------|---|---------|
| Regular Landscape Areas | | | | | | | | |
| # 1 - GREEN | 0.3 | DRIP | 0.9 | .33 | 2,511 | 829 | 28,320 | |
| # 2 - RED | 0.3 | DRIP | 0.9 | .33 | 4,880 | 1,610 | 55,001 | |
| # 3 - BLUE | 0.3 | DRIP | 0.9 | .33 | 2,025 | 668 | 22,820 | |
| # 4 - ORANGE | 0.3 | DRIP | 0.9 | .33 | 5,967 | 1,969 | 67,265 | |
| # 5 - TREES | 0.43 | BUBBLERS | 0.85 | .51 | 925 | 472 | 16,124 | |
| # | | | | | | | | |
| # | | | | | | | | |
| # | | | | | | | | |
| # | | | | | | | | |
| # | | | | | | | | |
| # | | | | | | | | |
| # | | | | | | | | |
| | | | | | Totals (A) | 16,308 (B) | 5,548 | 189,530 |
| Special Landscape Areas | | | | | | | | |
| # | | | | 1.0 | | | | |
| # | | | | 1.0 | | | | |
| # | | | | 1.0 | | | | |
| # | | | | 1.0 | | | | |
| | | | | | Totals (C) | (D) | | |
| | | | | | | | Estimated Total Water Use (ETWU) Total | 191,546 |
| | | | | | | | Maximum Water Allowance (MAWA) ^(e) | 250,701 |
| | | | | | | | Irrigation Efficiency (IE) Average** | |

**Average Irrigation Efficiency for overall irrigation system shall meet or exceed 0.75 (total of all efficiency ratings divided by number of hydrozones).

ETAF CALCULATIONS

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas and 0.45 or below for non-residential areas. *Provide Totals based on information calculated in Worksheet above.*

| Regular Landscape Areas | Totals | All Landscape Areas | Totals |
|--------------------------|--------|--------------------------------|--------|
| Total ETAF x Area (B) = | 5,548 | Total ETAF x Area (B+D) = | |
| Total Area (A) = | 16,308 | Total Area (A+C) = | |
| Average ETAF (B) ÷ (A) = | 0.34 | Site wide ETAF (B+D) ÷ (A+C) = | |

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Use the information and formulas below to fill out the worksheet and calculations on page 2.

| Hydrozone Category ^(a) | PF- Plant Factor | Irrigation Method ^(b) | IE- Irrigation Efficiency ^(c) |
|-----------------------------------|------------------|----------------------------------|--|
| Very Low Water Use | 0.0 - 0.1 | Filler Pipe for Pools/Spas | 1.00 |
| Low Water Use* | 0.2 - 0.3 | Drip/Subsurface | 0.90 |
| Moderate Water Use | 0.4 - 0.6 | Bubblers | 0.85 |
| High Water Use | 0.7 - 1.0 | Rotors | 0.75 |
| | | Rotators | 0.70 |
| | | Overhead Spray | 0.60 |

*Artificial turf and temporarily irrigated areas are considered Low Water Use.

ETWU^(d) (Annual Gallons Required) = $Eto \times 0.62 \times ETAF \times Area$

MAWA^(e) (Annual Gallons Allowed) = $(Eto) / (0.62) [(ETAF \times LA) + ((1 - ETAF) \times SLA)]$

Eto - see Appendix A in Water Efficient Landscape Design Manual.
 0.62 is the conversion factor to gallons per sq. ft.
 ETAF is Plant Factor/Irrigation Efficiency.
 Area is the Landscaped Area for each hydrozone.

LA is the total landscape of all hydrozone areas in sq. ft.
 SLA is the total special landscape area in square feet.
 ETAF is 0.55 for residential areas
 ETAF is 0.45 for non-residential areas.

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