



LA MESA CITY COUNCIL AGENDA

A Regular Meeting

Date: Tuesday, October 11, 2022, 6:00 p.m.
Location: City Council Chambers, 8130 Allison Avenue
La Mesa, California

Elected Officials: Mayor Mark Arapostathis
Vice Mayor Colin Parent
Councilmember Bill Baber
Councilmember Laura Lothian
Councilmember Jack Shu
City Treasurer Eldon Vogt

Staff: City Manager Greg Humora
City Attorney Glenn Sabine
City Clerk Megan Wiegelman

In-Person/Virtual Hybrid City Council Meeting Pursuant to AB 361 (Government Code Section 54953(e)(1)-(2))

The City Council meeting may be viewed in-person or live on Cox Cable Channel 24 (within La Mesa City limits), AT&T U-Verse Channel 99 (in the San Diego Region), the City's website (www.cityoflamesa.us), Facebook Live (www.facebook.com/lamesaca) or using the following Zoom Webinar options:

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<https://us06web.zoom.us/j/84472650722>

Telephone (Audio only)

(669) 900-6833 or (253) 215-8782 Webinar ID: 844 7265 0722

Copy and paste the webinar link into your internet browser if the webinar link does not work directly from the agenda.

PUBLIC COMMENTS

- **In-Person comments during the meeting:** Join us for the City Council meeting at the time and location specified on this agenda to make your comments. Please complete a “Request to Speak” card and submit it to the Council Hostess. When the Mayor calls your name, step to the podium and state your name for the record. Comments will be limited to three (3) minutes.
- **Zoom Audio Comments:** To provide oral public comments during the meeting, join the Zoom meeting by computer, mobile phone, or dial in number. On Zoom video conference by computer or mobile phone, use the “Raise Hand” feature. This will notify the moderator that you wish to speak during a specific item on the agenda or during non-agenda Public Comment. Members of the public will not be shown on video but will be able to speak when called upon. If joining the meeting using the Zoom dial-in number, you may raise your hand by pressing *9. Comments will be limited to three (3) minutes. No further comments will be entertained after the Mayor closes public comment.
- **How to submit eComments:** eComments are available once an agenda is published. Locate the meeting in "upcoming meetings" and click the comment bubble icon. Click on the item you wish to comment on. eComments can be submitted when the agenda is published and until **24 hours prior** to the meeting. eComments are limited to 500 words. eComments may be viewed by the City Council and members of the public following the close of the eComment submission period (24 hours prior to the meeting). Email your comment to comments@cityoflamesa.us if you have difficulty submitting an eComment. eComments will not be read aloud as a regular meeting item; however any member of the Council or member of the public may do so during their respective comment time.

Citizens who wish to make an audio/visual presentation pertaining to an item on the agenda, or during Public Comments, should contact the City Clerk’s office at 619.667.1120, no later than 5:00 p.m., the Thursday prior to the meeting day. Advance notification will ensure compatibility with City equipment and allow Council meeting presentations to progress smoothly and in a consistent and equitable manner. Please note that all presentations/digital materials are considered part of the maximum time limit provided to speakers.

Agenda reports for items on this agenda are available for public review at the City Clerk's Office, 8130 Allison Avenue, during normal business hours.

Materials related to an item on this agenda submitted to the Council after distribution of the agenda packet are available for public inspection in the City Clerk’s Office, 8130 Allison Avenue, during normal business hours.

ACCESSIBILITY: The City of La Mesa encourages the participation of disabled individuals in the

services, activities and programs provided by the City. Individuals with disabilities, who require reasonable accommodation in order to participate in the City Council meetings, should contact the City's Americans with Disabilities Act (ADA) Coordinator, Rida Freeman, Director of Administrative Services, 48 hours prior to the meeting at 619.667.1175, fax 619.667.1163, or rfreeman@cityoflamesa.us.

Hearing assisted devices are available for the hearing impaired. A City staff member is available to provide these devices upon entry to City Council meetings, commission meetings or public hearings held in the City Council Chambers. A photo i.d. or signature will be required to secure a device for the meeting.

Pages

- 1. **CALL TO ORDER**
 - 1.1. **INVOCATION - VICE MAYOR PARENT**
 - 1.2. **PLEDGE OF ALLEGIANCE**
- 2. **CITY MANAGER COMMENTS**
- 3. **COMMUNITY BULLETIN REPORTS**
- 4. **ADDITIONS AND/OR DELETIONS TO THE AGENDA**
- 5. **PUBLIC COMMENTS – (TOTAL TIME – 15 MINUTES)**

NOTE: In accordance with state law, an item not scheduled on the agenda may be brought forward by the general public for comment; however, the City Council will not be able to discuss or take any action on the item at this meeting. If appropriate, the item will be referred to Staff or placed on a future agenda.

- 6. **CONFLICT DISCLOSURES**
- 7. **BOARD AND COMMISSION APPOINTMENTS**

- 7.1. **RESOLUTION APPOINTING MEMBERS TO THE YOUTH ADVISORY COMMISSION**

1

Staff Reference: Ms. Wiegelman

Recommended Motion:

The Mayor to make the appointments, with the approval of the Council, and adopt Resolution confirming the appointments.

- 8. **BOARD AND COMMISSION INTERVIEWS**

- 8.1. **INTERVIEW OF APPLICANT FOR AN UNSCHEDULED VACANCY ON THE HISTORIC PRESERVATION COMMISSION**

6

Staff Reference: Ms. Wiegelman

9. CONSENT CALENDAR

(Items 9.1 through 9.10)

The Consent Calendar includes items considered to be routine. Unless discussion is requested by members of the Council or audience, all Consent Calendar items may be approved by one motion.

Recommended Motion:

Approve Consent Calendar Items 9.1 through 9.10.

9.1. APPROVAL OF MOTION TO WAIVE THE READING OF THE TEXT OF ALL ORDINANCES AND RESOLUTIONS AT THIS MEETING

Recommended Motion:

Approve.

9.2. APPROVAL OF THE MINUTES FOR THE CITY COUNCIL SPECIAL MEETING HELD TUESDAY, SEPTEMBER 27, 2022 9

Recommended Motion:

Approve.

9.3. APPROVAL OF THE MINUTES FOR THE CITY COUNCIL REGULAR MEETING HELD TUESDAY, SEPTEMBER 27, 2022 11

Recommended Motion:

Approve.

9.4. RESOLUTION APPOINTING THE SAN DIEGO COMMUNITY POWER PRIMARY AND ALTERNATE REPRESENTATIVES TO THE ENVIRONMENTAL SUSTAINABILITY COMMISSION 18

Staff Reference: Ms. Wiegelman

Recommended Motion:

Adopt Resolution.

9.5. RESOLUTION TO APPROVE ASSIGNMENT AGREEMENTS WITH BAKER TILLY US, LLP FOR PERMITTING PROCESS CONSULTING SERVICES AND DEVELOPMENT OF A FIVE-YEAR STRATEGIC PLAN 21

Staff Reference: Mr. Dedmon

Recommended Motion:

Adopt Resolution.

9.6. RESOLUTIONS FOR CONSULTANT SERVICES FOR BUILDING SERVICES 30

Staff Reference: Mr. Kusiak

Recommended Motion:

Adopt Resolutions.

- a. **RESOLUTION AWARDDING RFP 23-03 FOR CONSULTANT SERVICES FOR BUILDING SERVICES TO SUPPORT THE BUILDING DIVISION TO INTERWEST CONSULTING GROUP**

Recommended Motion:

Adopt Resolution.

- b. **RESOLUTION TO INCREASE THE BUDGET FOR BUILDING DIVISION PROFESSIONAL AND SPECIALIZED SERVICES ACCOUNT BY \$225,000 FOR FISCAL YEAR 2022-2023**

Recommended Motion:

Adopt Resolution.

- 9.7. **RATIFICATION OF THE DESIGN REVIEW BOARD'S APPROVAL OF PROJECT 2021-43 (CENTER FOR NEUROSCIENCES)** 148

A PROPOSED REMODEL AND 20,182 SQUARE FOOT ADDITION TO THE EXISTING SINGLE-STORY REHABILITATION CENTER TO CREATE A TWO-STORY CENTER FOR NEUROSCIENCES AT THE SHARP GROSSMONT HOSPITAL AT 5555 GROSSMONT CENTER DRIVE, APN 490-340-23-00 IN THE RB-G-D (RESIDENTIAL BUSINESS / GROSSMONT OVERLAY / URBAN DESIGN OVERLAY) ZONE

Staff Reference: Mr. Kusiak

Recommended Motion:

Approve.

- 9.8. **RATIFICATION OF THE DESIGN REVIEW BOARD'S APPROVAL OF PROJECT 2021-40 (PALM STREET VENTURES LLC)** 192

A PROPOSED MIXED-USE DEVELOPMENT AT 4757 PALM AVENUE, APN 494-410-24-00 IN THE CD-D (DOWNTOWN COMMERCIAL / URBAN DESIGN OVERLAY) ZONE

Staff Reference: Mr. Kusiak

Recommended Motion:

Approve.

- 9.9. **RESOLUTION AUTHORIZING CONTRACT CHANGE ORDER NO. 1 FOR THE CITYWIDE PEDESTRIAN SIGNAL UPGRADES PROJECT, BID NO. 22-08, TO YUNEX, LLC** 258

Staff Reference: Mr. Throne

Recommended Motion:

Adopt Resolution.

- 9.10. **RESOLUTION AWARDDING RFP 23-08 AND AUTHORIZING EXECUTION OF A PROFESSIONAL SERVICES AGREEMENT WITH KTUA TO PREPARE THE CITYWIDE RECREATION AND PARKS MASTER PLAN AND TO APPROPRIATE FUNDING FOR THE PROJECT**

263

Staff Reference: Ms. Richardson

Recommended Motion:

Adopt Resolution.

10. **ORDINANCE: FIRST READING**

- 10.1. **2022 EDITION OF THE CALIFORNIA BUILDING STANDARDS CODE**

288

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LA MESA ADOPTING BY REFERENCE THE 2022 EDITION OF THE CALIFORNIA BUILDING STANDARDS CODE, TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS, INCORPORATING THE 2021 INTERNATIONAL BUILDING CODE, THE 2021 INTERNATIONAL RESIDENTIAL CODE, THE 2021 UNIFORM PLUMBING CODE, THE 2021 UNIFORM MECHANICAL CODE, AND THE 2020 NATIONAL ELECTRICAL CODE, AND AMENDING TITLE 14 OF THE LA MESA MUNICIPAL CODE AND ALL OTHER ORDINANCES IN CONFLICT THEREWITH

Staff Reference: Mr. Kusiak

Recommended Motion:

Approve the introduction and first reading of the Ordinance and schedule the second reading of the Ordinance and the required public hearing for Tuesday, November 22, 2022.

11. **HEARING**

- 11.1. **CONSIDERATION OF PROJECT 2022-0770 (BINOTTI)**

301

A REQUEST TO DESIGNATE THE PROPERTY LOCATED AT 9190 BRIER ROAD, APN 490-402-72-00 IN THE R1S-BT (SUBURBAN RESIDENTIAL / BRIER TRACT OVERLAY) ZONE AS A HISTORIC LANDMARK AND TO ESTABLISH A PROPERTY PRESERVATION (MILLS ACT) AGREEMENT FOR THE SITE

Staff Reference: Mr. Kusiak

Recommended Motion:

Adopt Resolutions.

- a. RESOLUTION DESIGNATING THE STANLEY AND VIRGINIA SCOTT HOUSE LOCATED AT 9190 BRIER ROAD, APN 490-402-72-00 AS A HISTORIC LANDMARK

Recommended Motion:

Adopt Resolution.

- b. RESOLUTION AUTHORIZING EXECUTION OF A HISTORIC LANDMARK PROPERTY PRESERVATION AGREEMENT WITH THE OWNERS OF THE HISTORIC LANDMARK KNOWN AS THE STANLEY AND VIRGINIA SCOTT HOUSE LOCATED AT 9190 BRIER ROAD, APN 490-402-72-00

Recommended Motion:

Adopt Resolution.

12. COUNCIL COMMITTEE REPORTS (3 MINUTE LIMIT)
13. AB 1234 REPORTS (GC 53232.3 (d))
14. CITY ATTORNEY REMARKS
15. ADJOURNMENT



CITY OF
LA MESA

JEWEL of the HILLS

INTEROFFICE MEMO

DATE: October 11, 2022

TO: Mayor and Members of the City Council

FROM: Megan Wiegelman, CMC, City Clerk *MW*

VIA: Greg Humora, City Manager *GH*

SUBJECT: RESOLUTION APPOINTING AND/OR REAPPOINTING MEMBERS TO THE
CITY'S YOUTH ADVISORY COMMISSION

On September 27th, the City Council interviewed applicants who were interested in being appointed to fill vacancies on the City's Youth Advisory Commission. At the Council meeting on October 11th, the Mayor will make the appointments with the approval of the City Council.

Attached is a brief description of the requirements, the number of openings, and the names of each applicant seeking to be appointed.

Staff recommends the City Council appoint members to fill the vacancies and adopt the attached resolution confirming the appointments.

Attachments

Youth Advisory Commission: 8 positions – two-year terms

Members must be between the ages of 13 and 20 years and reside within the City of La Mesa or attend school in the City of La Mesa.
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	First Appointed	Number of Terms
Fahim Chakibou		
Mustafa Dost	04/26/2022	partial
Camille Forga		
Samantha Luevano		
Anthony Martinez		
Grace Reagan		
Elyse Wainscott		

APPLICATIONS ARE AVAILABLE FOR REVIEW IN THE CITY CLERK'S OFFICE

RESOLUTION NO. 2022-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LA MESA APPOINTING
MEMBERS TO THE YOUTH ADVISORY COMMISSION

WHEREAS, terms on the City of La Mesa Youth Advisory Commission have expired; and

WHEREAS, the list of persons below have been recommended to the City Council for appointment to said City of La Mesa Commission.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED by the City Council of the City of La Mesa, California, that the following are hereby appointed and/or reappointed as members of the City of La Mesa Youth Advisory Commission, with their terms to commence after the oath or affirmation of allegiance for public officers or employees is executed as required by Article XX, Section 3 of the Constitution of the State of California, and to expire on the dates stated below, or until their successors are appointed and qualified:

Youth Advisory Commission: 7 appointments

Mustafa Dost is reappointed for term ending September 30, 2024

Elyse Wainscott is appointed for term ending September 30, 2024

Grace Reagan is appointed for term ending September 30, 2024

Fahim Chakibou is appointed as an Alternate Member for term ending September 30, 2024

Anthony Martinez is appointed as an Alternate Member for term ending September 30, 2024

Camille Forga is appointed as an Alternate Member for term ending September 30, 2023

Samantha Luevano is appointed as an Alternate Member for term ending September 30, 2023

PASSED AND ADOPTED at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be a true and exact copy of Resolution No. 2022-__, duly passed and adopted by the City Council of said City on the date and by the vote therein recited.

MEGAN WIEGELMAN, CMC, City Clerk

(SEAL OF CITY)



DATE: October 11, 2022

TO: Mayor and Members of the City Council

FROM: Megan Wiegelman, CMC, City Clerk *MW*

VIA: Greg Humora, City Manager *GH*

SUBJECT: INTERVIEW OF APPLICANT FOR AN UNSCHEDULED VACANCY ON
THE HISTORIC PRESERVATION COMMISSION

Attached is an application from a citizen who wishes to be considered for appointment to fill the unscheduled vacancy on the Historic Preservation Commission. The applicant has been invited to attend the meeting and make a brief three-minute presentation describing their qualifications and interest in serving on the Commission.

The applicant will be called forward for their interview by the City Clerk. After the presentation you may ask questions of the applicant, if you wish.

The appointment will be made at the City Council meeting on October 25th.

Attachments

Historic Preservation Commission: 1 position – four-year term

One appointee will fill the position vacated by Tyler Rogers whose term expires June 30, 2023.

Members shall be residents of the City of La Mesa		
	First Appointed	Number of Terms

Lori Wilcox

APPLICATION IS AVAILABLE FOR REVIEW IN THE CITY CLERK'S OFFICE



La Mesa City Council

Minutes of a Special Meeting

Date: September 27, 2022, 5:00 p.m.
Location: Council Chambers and City Manager's Conference Room
City Hall, 8130 Allison Avenue
La Mesa, California

Present: Mayor Arapostathis
Vice Mayor Parent
Councilmember Lothian
Councilmember Shu

Absent: Councilmember Baber

Staff: City Manager Humora
City Attorney Sabine
City Clerk Wiegelman

This meeting was conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as amended by Assembly Bill 361, in relation to the COVID-19 State of Emergency and recommended social distancing measures.

1. **CALL TO ORDER**

Mayor Arapostathis called the meeting to order at 5:00 p.m.

2. **PUBLIC COMMENTS**

There were no public comments.

Mayor Arapostathis adjourned the meeting to Closed Session at 5:01 p.m.

3. **CLOSED SESSION**

3.1 **PUBLIC EMPLOYEE PERFORMANCE EVALUATION PURSUANT TO GOVERNMENT CODE SECTION 54957**

Title: City Manager

Vice Mayor Parent arrived to the meeting at 5:11 p.m.

The meeting reconvened at 5:54 p.m. with Mayor Arapostathis, Vice Mayor Parent, Councilmember Lothian, and Councilmember Shu present and Councilmember Baber absent.

4. **REPORT FROM CLOSED SESSION - CITY ATTORNEY**

City Attorney Sabine announced there were no reportable actions.

5. **ADJOURNMENT**

Mayor Arapostathis adjourned the meeting at 5:54 p.m.

City Clerk



La Mesa City Council

Minutes of a Regular Meeting

Date: September 27, 2022, 6:00 pm
Location: City Council Chambers, 8130 Allison Avenue
La Mesa, California

Present: Mayor Arapostathis
Vice Mayor Parent
Councilmember Baber
Councilmember Lothian
Councilmember Shu

Staff: City Manager Humora
Assistant City Manager Tomaino
City Attorney Sabine
City Clerk Wiegelman

This meeting was conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as amended by Assembly Bill 361, in relation to the COVID-19 State of Emergency and recommended social distancing measures.

1. CALL TO ORDER

The City Council minutes are prepared and ordered to correspond to the City Council Agenda. Agenda Items can be taken out of order during the meeting.

The Agenda Items were considered in the order presented.

Mayor Arapostathis called the meeting to order at 6:00 p.m.

1.1 INVOCATION - COUNCILMEMBER BABER

1.2 PLEDGE OF ALLEGIANCE

2. REPORT FROM CLOSED SESSION

City Attorney Sabine announced there were no reportable actions.

3. CITY MANAGER COMMENTS

There were no comments.

4. COMMUNITY BULLETIN REPORTS

The Mayor, Council and staff made announcements and reported on various events taking place in the City. No action was taken.

5. ADDITIONS AND/OR DELETIONS TO THE AGENDA

There were no additions or deletions to the agenda.

6. PRESENTATIONS

6.1 PROCLAIMING THE WEEK OF OCTOBER 9 THROUGH 15, 2022, AS FIRE PREVENTION WEEK

Mayor Arapostathis read the proclamation proclaiming the week of October 9 through 15, 2022, as Fire Prevention Week.

6.2 PRESENTATION OF THE EMPLOYEES OF THE YEAR

Mayor Arapostathis and City Manager Humora presented Fred Juarez, Custodian, and Sheryl Sherman, Management Analyst, with Certificates of Recognition from Senator Brian Jones and the City of La Mesa Employee of the Year plaques.

The Mayor and Council expressed their appreciation for Fred Juarez and Sheryl Sherman.

7. PUBLIC COMMENTS – (TOTAL TIME – 15 MINUTES)

Steve Galbs spoke regarding the action of the San Diego Association of Governments ("SANDAG") Board of Directors to remove the road usage charge from the Regional Transportation Plan.

Wendy Mihalic spoke regarding a Climate Action Plan update process.

Antonia Lopez spoke regarding the power washing schedule for the La Mesa Village Plaza sidewalks.

Mary D. spoke regarding SANDAG's road usage charge and Councilmember Shu's comments at the September 9, 2022, SANDAG Board of Directors meeting.

8. CONFLICT DISCLOSURES

There were no conflict of interest disclosures.

9. BOARD AND COMMISSION APPOINTMENTS

9.1 RESOLUTION APPOINTING A MEMBER TO FILL A VACANCY ON THE LA MESA COMMUNITY PARKING COMMISSION

Mayor Arapostathis nominated Scott Favero for appointment to the La Mesa Community Parking Commission.

Resolution No. 2022-102

Moved By Mayor Arapostathis

Seconded By Vice Mayor Parent

Approve the appointment of Scott Favero to the La Mesa Community Parking Commission and adopt Resolution confirming the appointment.

For (5): Mayor Arapostathis, Vice Mayor Parent, Councilmember Baber, Councilmember Lothian, and Councilmember Shu

Approved (5 to 0)

10. BOARD AND COMMISSION INTERVIEWS

10.1 ANNUAL INTERVIEW OF APPLICANTS FOR OPENINGS ON THE YOUTH ADVISORY COMMISSION

City Clerk Wiegelman briefly explained the interview process. City Clerk Wiegelman stated that Samantha Luevano had sent their regrets that they would not be able to attend the meeting due to a prior commitment but had expressed their interest in being considered for appointment.

The following applicants spoke regarding their qualifications and interest in being appointed or reappointed to the Youth Advisory Commission:

Fahim Chakibou

Mustafa Dost

Anthony Martinez

Grace Reagan

Elyse Wainscott

City Clerk Wiegelman said the appointments would be made at the October 11th Council meeting.

Following the interviews, no action was taken.

11. CONSENT CALENDAR

(Items 11.1 through 11.10)

Councilmember Baber inquired about Item 11.5 regarding the proposed amendments to the body and appendix of the City's Amended Local Conflict of Interest Code.

City Clerk Wiegelman responded to Councilmember Baber's questions.

Moved By Councilmember Baber

Seconded By Mayor Arapostathis

Approve Consent Calendar Items 11.1 through 11.10.

For (5): Mayor Arapostathis, Vice Mayor Parent, Councilmember Baber, Councilmember Lothian, and Councilmember Shu

Approved (5 to 0)

11.1 APPROVAL OF MOTION TO WAIVE THE READING OF THE TEXT OF ALL ORDINANCES AND RESOLUTIONS AT THIS MEETING

Approve.

11.2 APPROVAL OF THE MINUTES FOR THE CITY COUNCIL SPECIAL MEETING HELD TUESDAY, SEPTEMBER 13, 2022

Approve.

11.3 APPROVAL OF THE MINUTES FOR THE CITY COUNCIL REGULAR MEETING HELD TUESDAY, SEPTEMBER 13, 2022

Approve.

11.4 RESOLUTION MAKING FINDINGS PURSUANT TO GOVERNMENT CODE SECTION 54953, AS AMENDED BY ASSEMBLY BILL 361, AND RE-AUTHORIZING THE CONTINUED USE OF VIRTUAL AND/OR HYBRID MEETINGS OF THE LEGISLATIVE BODIES BEGINNING OCTOBER 1, 2022 THROUGH OCTOBER 31, 2022

Resolution No. 2022-103

Adopt Resolution.

11.5 RESOLUTION APPROVING AND ADOPTING AMENDMENTS TO THE BODY AND APPENDIX OF THE CITY'S AMENDED LOCAL CONFLICT OF INTEREST CODE

Resolution No. 2022-104

Adopt Resolution.

**11.6 PROPOSED LEASE AMENDMENT WITH THE UNITED STATES
POSTAL SERVICE**

**RESOLUTION APPROVING A THIRD AMENDMENT TO THE LEASE
AGREEMENT BETWEEN THE CITY OF LA MESA AND THE UNITED
STATES POSTAL SERVICE FOR THE PROPERTY LOCATED AT 8064
ALLISON AVENUE AND APPROPRIATING GENERAL FUND
RESERVES TO FUND BROKERAGE COMMISSION FEES RELATED
TO THE LEASE AMENDMENT**

Resolution No. 2022-105

Adopt Resolution.

**11.7 RESOLUTION APPROVING THE MEMORANDUM OF
UNDERSTANDING FOR CENTRAL ZONE JOINT EMERGENCY
RESPONSES FOR FIRE AND RESCUE RESOURCES**

Resolution No. 2022-106

Adopt Resolution.

11.8 2022-2023 SELECTIVE TRAFFIC ENFORCEMENT PROGRAM GRANT

**RESOLUTION AUTHORIZING THE ACCEPTANCE AND
APPROPRIATION OF A GRANT FROM THE CALIFORNIA OFFICE OF
TRAFFIC SAFETY TO CONDUCT A LOCAL TRAFFIC SAFETY, DUI
ENFORCEMENT AND AWARENESS PROGRAM BY APPROVING THE
ADDITION OF THE GRANT FUNDS TO THE FISCAL YEAR 2022-2023
BUDGET**

Resolution No. 2022-107

Adopt Resolution.

**11.9 RESOLUTION AMENDING SECTION 12.44.130 OF THE LA MESA
MUNICIPAL CODE INSTALLING A DISABLED PERSONS PARKING
SPACE AT 4817 71ST STREET**

Resolution No. 2022-108

Adopt Resolution.

11.10 RESOLUTION AMENDING SECTION 12.52.050 OF THE LA MESA MUNICIPAL CODE LIMITING THE GROSS VEHICLE WEIGHT OF A PORTION OF SENECA PLACE BETWEEN JESSIE AVENUE AND POMONA AVENUE TO THREE TONS

Resolution No. 2022-109

Adopt Resolution.

12. STAFF REPORT

12.1 CONSIDERATION OF RESOLUTION APPROVING PHASE 3 EXPENDITURE RECOMMENDATIONS FROM THE CITY COUNCIL AMERICAN RESCUE PLAN ACT AD-HOC SUBCOMMITTEE

Assistant City Manager Tomaino provided a PowerPoint presentation on the proposed Phase 3 allocations for the American Rescue Plan Act ("ARPA") funds, highlighting the allocation dates and amounts, the eligibility categories, and the Ad Hoc Subcommittee's priority categories. Assistant City Manager Tomaino summarized the Phase 1 and Phase 2 expenditures and reviewed the proposed ARPA Phase 3 expenditures and programs which included a Litter Removal Program, Façade and Property Improvement Grant, municipal recovery, and Boulevard Drive and 69th Street Capital Improvement Project.

Council questions and comments ensued.

Craig Maxwell spoke in support of the proposed Façade and Property Improvement Grant Program.

Ned Swanson spoke regarding the guidelines of the proposed Façade and Property Improvement Grant Program.

Resolution No. 2022-110

Moved By Councilmember Shu

Seconded By Councilmember Lothian

(1) Adopt Resolution approving Phase 3 expenditure recommendations from the City Council American Rescue Plan Act Ad Hoc Subcommittee. The Phase 3 expenditure recommendations were as follows: (a) \$100,000 for a Citywide Litter Removal Program; (b) \$500,000 for a Commercial Façade and Property Improvement Grant Program; (c) \$2,900,000 for recovery of City revenue losses; and (d) \$2,000,000 for the Boulevard Drive and 69th Street Storm Drain Infrastructure Capital Improvement

Project; (2) Approve the proposed Commercial Façade and Property Improvement Program Guidelines substantially in the form included in the staff report as Attachment B; and (3) Authorize staff to issue a Request for Proposals for a Citywide Litter Removal Program.

For (5): Mayor Arapostathis, Vice Mayor Parent, Councilmember Baber, Councilmember Lothian, and Councilmember Shu

Approved (5 to 0)

13. COUNCIL COMMITTEE REPORTS (3 MINUTE LIMIT)

The Mayor and Council reported on various outside boards, commissions and committee meetings they attended. No action was taken.

14. AB 1234 REPORTS (GC 53232.3 (d))

There were no reports.

15. CITY ATTORNEY REMARKS

There were no remarks.

16. ADJOURNMENT

Mayor Arapostathis adjourned the meeting at 7:04 p.m.

City Clerk



DATE: October 11, 2022

TO: Mayor and Members of the City Council

FROM: Megan Wiegelman, CMC, City Clerk *MW*

VIA: Greg Humora, City Manager *GH*

SUBJECT: RESOLUTION APPOINTING THE SAN DIEGO COMMUNITY POWER
REPRESENTATIVE TO THE ENVIRONMENTAL SUSTAINABILITY
COMMISSION

The City was notified by San Diego Community Power ("SDCP") that Jen Lebron, Director of Public Affairs, and Victoria Abrenica, Public Outreach Associate, have been selected to replace Sebastian Sarria, Policy Manager, and Nelson Lomeli, Program Manager, as the SDCP primary and alternate representatives on the Environmental Sustainability Commission. This change only requires ratification from the Council.

Staff recommends the City Council approve the appointments and adopt the attached Resolution.

Attachment: A. Resolution
B. SDCP Nomination Letter

RESOLUTION NO. 2022-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LA MESA APPOINTING
THE SAN DIEGO COMMUNITY POWER PRIMARY AND ALTERNATE
REPRESENTATIVES TO THE ENVIRONMENTAL SUSTAINABILITY
COMMISSION

WHEREAS, on March 23, 2021, the City Council adopted Ordinance No. 2021-2884 adding a San Diego Community Power ("SDCP") representative as a non-voting member of the La Mesa Environmental Sustainability Commission; and

WHEREAS, the SDGP Board of Directors has recommended the persons below to the City Council for appointment to the La Mesa Environmental Sustainability Commission.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED by the City Council of the City of La Mesa, California, that the following are hereby appointed as members of the City of La Mesa Environmental Sustainability Commission, with their terms to commence after the oath or affirmation of allegiance for public officers or employees is executed as required by Article XX, Section 3 of the Constitution of the State of California, and to expire when their successors are appointed and qualified:

Environmental Sustainability Commission:

Jen Lebron is appointed as the SDGP primary representative

Victoria Abrenica is appointed as the SDGP alternate representative

PASSED AND ADOPTED at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be a true and exact copy of Resolution No. 2022-, duly passed and adopted by the City Council of said City on the date and by the vote therein recited.

MEGAN WIEGELMAN, CMC, City Clerk

(SEAL OF CITY)

September 22, 2022

City of La Mesa
Mayor and City Council
8130 Allison Avenue
La Mesa, CA 91942

RE: SDCP Representative and Alternate to the Environmental Sustainability Commission

Dear Mayor and City Council,

On behalf of the San Diego Community Power (SDCP) Board of Directors, Jen Lebron, Director of Public Affairs, and Victoria Abrenica, Public Outreach Associate, have been appointed to the La Mesa Environmental Sustainability Commission as SDCP's primary and alternate representatives, respectively. They will replace Sebastian Sarria, Policy Manager, and Nelson Lomeli, Program Manager, who were previously appointed in April of 2021.

Sincerely,



Karin Burns
Chief Executive Officer

REPORT to the MAYOR and MEMBERS of the CITY COUNCIL
From the CITY MANAGER

DATE: October 11, 2022

SUBJECT: RESOLUTION TO APPROVE ASSIGNMENT
AGREEMENTS WITH BAKER TILLY US, LLP FOR
PERMITTING PROCESS CONSULTING SERVICES
AND DEVELOPMENT OF A FIVE-YEAR STRATEGIC
PLAN

ISSUING DEPARTMENT: CITY MANAGER'S OFFICE

SUMMARY:

Issue:

Should the City Council adopt a Resolution approving Assignment Agreements with Baker Tilly US, LLP for permitting process consultant services and development of a five-year strategic plan?

Recommendation:

Staff recommends the City Council adopted a Resolution approving Assignment Agreements with Baker Tilly US, LLP for permitting process consultant services and development of a five-year strategic plan.

Fiscal Impact:

There is no fiscal impact associated with the staff recommendation. Terms of the Agreements including pricing remain the same with the approval of the Assignment Agreements.

BACKGROUND:

In 2022, the City entered into two separate agreements with Management Partners, Inc. ("Management Partners") for permitting process consultant services and for the development of a five-year strategic plan. The Agreement for permitting process consultant services is in support of the City's Community Development Department to

continue working on process improvements as the department rolls out new permitting software to streamline the application review process. The Agreement with Management Partners for the development of a five-year strategic plan is an effort to update the City's current strategic plan to set a course of action for the next five years to align policy priorities with public resources while creating measurable outcomes to track progress. The new strategic plan process includes City Council feedback, community engagement, and buy-in from City staff to achieve its objectives.

DISCUSSION:

On August 29, 2022, the City received a letter from Management Partners notifying the City that their legal entity name will change to Baker Tilly US, LLP effective October 1, 2022. To assign all rights and obligations of the Agreements from Management Partners to Baker Tilly Us, LLP, approval of two Assignment Agreements is necessary. The Assignment Agreements do not modify terms or pricing and all other obligations contained in the Agreements remain in full force and effect.

CONCLUSION:

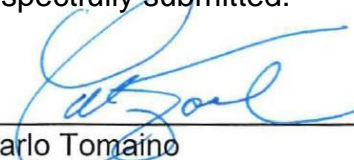
Staff recommends the City Council adopt a Resolution approving Assignment Agreements with Baker Tilly US, LLP for permitting process consultant services and development of a five-year strategic plan.

Reviewed by:



Greg Humora
City Manager

Respectfully submitted:



Carlo Tomaino
Assistant City Manager



Lyn Dedmon
Assistant to the City Manager

Attachment A – Resolution
Attachment B – Assignment Agreement for Permitting Process Consulting Services
Attachment C – Assignment Agreement for Development of a Five-Year Strategic Plan
Attachment D – Letter from Management Partners

RESOLUTION NO. 2022-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LA MESA TO
APPROVE ASSIGNMENT AGREEMENTS WITH BAKER TILLY US, LLP FOR
PERMITTING PROCESS CONSULTING SERVICES AND DEVELOPMENT OF A
FIVE-YEAR STRATEGIC PLAN

WHEREAS, the City and Management Partners, Inc. ("Contractor") entered into an Agreement for permitting process consulting services and an agreement for the development of a five-year strategic plan (the "Agreements");

WHEREAS, the Contractor has changed its legal entity name to Baker Tilly US, LLP and now desires to assign all rights and obligations in their entirety pursuant to the Agreements to the same; and

WHEREAS, City desires to consent to said assignment.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED by the City Council of the City of La Mesa, California, that the City Council approves the assignment of the Agreements due to the change in legal entity name.

PASSED AND ADOPTED at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be a true and exact copy of Resolution No. 2022-, duly passed and adopted by the City Council of said City on the date and by the vote therein recited.

MEGAN WIEGELMAN, CMC, City Clerk

(SEAL OF CITY)

ASSIGNMENT AGREEMENT BETWEEN CITY OF LA MESA,
MANAGEMENT PARTNERS, INC., AND BAKER TILLY US, LLP FOR
PERMITTING PROCESS CONSULTANT SERVICES FOR THE
COMMUNITY DEVELOPMENT DEPARTMENT AT THE CITY OF LA MESA

THIS ASSIGNMENT AGREEMENT executed this ___ day of _____, 2022, by and between the City of La Mesa, a municipal corporation, "the City", Management Partners, Inc. ("Contractor") and Baker Tilly US, LLP ("Assignee").

1. RECITALS:

1.1 The City and Contractor entered into an agreement for permitting process consultant services for the Community Development Department at the City of La Mesa dated June 3, 2022, the ("Agreement").

1.2 Section 16 of the Agreement contains an "assignability" clause authorizing an assignment by the Contractor with the express written consent of the City.

1.3 The Contractor is planning to combine with Baker Tilly US, LLP in a transaction that is expected to close on or about October 1, 2022 ("Transaction"), and subject to, conditioned upon, and effective upon the closing of the Transaction, Contractor now desires to assign all rights and obligations in their entirety pursuant to the Agreement to Assignee.

1.4 City desires to consent to the same.

NOW, THEREFORE, IT IS AGREED by and between the parties that subject to, conditioned upon, and effective upon the closing of the Transaction:

Section 1. All rights and obligations of Contractor in their entirety contained in the Agreement are hereby assigned to Baker Tilly US, LLP and by City's signature affected hereto, City hereby accepts said assignment pursuant to Section 16 of the Agreement.

Section 2. All other rights and obligations contained in the Agreement other than that specified in this Assignment Agreement shall remain in full force and effect and be effective and be binding exclusively between the City and Assignee. In the event the Transaction does not close, this Assignment Agreement is null and void.

IN WITNESS WHEREOF, the parties hereto have executed this Assignment Agreement as of the date first above written.

(NEXT PAGE)

Management Partners, Inc.

By: 

Jerry Newfarmer, President and CEO

Baker Tilly US
A Limited Liability Partnership

Date: 9/29/22

By: 

Vicki Hellenbrand, Managing Partner

CITY OF LA MESA,
A Municipal Corporation

Date: _____

By: _____
Mark Arapostathis, Mayor

Date: _____

Attest: _____
Megan Wiegelman, City Clerk

Date: _____

By: _____
Greg Humora, City Manager

APPROVED AS TO FORM

CITY ATTORNEY

Attachment A: Agreement with Management Partners - Permit Processing Consultant
Services

ASSIGNMENT AGREEMENT BETWEEN CITY OF LA MESA,
MANAGEMENT PARTNERS, INC., AND BAKER TILLY US, LLP FOR THE
DEVELOPMENT OF A FIVE-YEAR STRATEGIC PLAN

THIS ASSIGNMENT AGREEMENT executed this _ day of _____, 2022, by and between the City of La Mesa, a municipal corporation, "the City", Management Partners, Inc. ("Contractor") and Baker Tilly US, LLP ("Assignee").

1. RECITALS:

1.1 The City and Contractor entered into an agreement for the development of a five-year Strategic Plan dated March 22, 2022, the ("Agreement").

1.2 Section 16 of the Agreement contains an "assignability" clause authorizing an assignment by the Contractor with the express written consent of the City.

1.3 The Contractor is planning to combine with Baker Tilly US, LLP in a transaction that is expected to close on or about October 1, 2022 ("Transaction"), and subject to, conditioned upon, and effective upon the closing of the Transaction, Contractor now desires to assign all rights and obligations in their entirety pursuant to the Agreement to Assignee.

1.4 City desires to consent to the same.

NOW, THEREFORE, IT IS AGREED by and between the parties that subject to, conditioned upon, and effective upon the closing of the Transaction:


Section 1. All rights and obligations of Contractor in their entirety contained in the Agreement are hereby assigned to Baker Tilly US, LLP and by City's signature affected hereto, City hereby accepts said assignment pursuant to Section 16 of the Agreement.

Section 2. All other rights and obligations contained in the Agreement other than that specified in this Assignment Agreement shall remain in full force and effect and be effective and be binding exclusively between the City and Assignee. In the event the Transaction does not close, this Assignment Agreement is null and void.

IN WITNESS WHEREOF, the parties hereto have executed this Assignment Agreement as of the date first above written.

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Management Partners, Inc.

By: 

Jerry Newfarmer, President and CEO

Baker Tilly US
A Limited Liability Partnership

Date: 9/29/22

By: 

Vicki Hellenbrand, Managing Partner

CITY OF LA MESA,
A Municipal Corporation

Date: _____

By: _____
Mark Arapostathis, Mayor

Date: _____

Attest: _____
Megan Wiegelman, City Clerk

Date: _____

By: _____
Greg Humora, City Manager

APPROVED AS TO FORM

CITY ATTORNEY

Attachment A: Agreement with Management Partners – Strategic Plan



August 29, 2022

City of La Mesa, CA
Carlo Tomaino, Assistant City Manager

We at Management Partners are taking advantage of an incredible opportunity to combine with Baker Tilly US, LLP ("Baker Tilly"), in a deal that is set to close on or about **October 1, 2022**. This strategic move will help us to provide local governments with even more resources and new ideas for serving communities and we'll do that with the same passion and attention you've come to expect. You can learn more about Baker Tilly at BakerTilly.com. Below are all the details that outline how we smoothly transition our important relationship with you.

Among the assets Management Partners will be assigning to Baker Tilly is our Contract with City of La Mesa, referred to as **La Mesa Strategic Plan Development** (along with all related applicable addendums, amendments, and exhibits (collectively, the "Contract"). This requires your written consent to the assignment of this Contract to Baker Tilly, with the understanding that all of the terms, conditions and provisions of the Contract will continue to be in full force and effect from and after the closing. Please help us by signing below to:

- (a) consent to Management Partners assigning its rights, interests and obligations under the Contract to Baker Tilly and to substitute Baker Tilly in lieu of Management Partners under the Contract, effective as of and conditioned upon closing.
- (b) acknowledge the consummation of the transaction will not be deemed a breach of, or default under, any assignment provision or other provision of the Contract and will not cause a termination of, trigger any payment obligation under, or otherwise affect it.

After the combination, Baker Tilly will assume legal responsibility to perform the work Management Partners contracted to do with you in accordance with your contract, including the scope of work, schedule, and budget set forth therein.

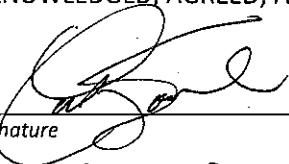
Please return this signed letter via email to finance@managementpartners.com at your earliest convenience, but in any event no later than September 13, 2022.

Please contact Jeri Beckstedt, Administrative Services Manager at jbeckstedt@managementpartners.com or 513-861-5400, if you have questions. Thank you in advance for your cooperation.

Sincerely,

Jerry Newfarmer
President and CEO

ACKNOWLEDGED, AGREED, AND CONSENTED TO on behalf of City of La Mesa



Signature

Carlo Tomaino

Printed Name

Assistant City Manager

Title

8/30/2022

Date





REPORT to the MAYOR and MEMBERS of the CITY COUNCIL
From the CITY MANAGER

DATE: October 11, 2022

SUBJECT: RESOLUTION TO AWARD RFP 23-03 FOR
CONSULTANT SERVICES FOR BUILDING SERVICES
TO INTERWEST CONSULTING GROUP AND
RESOLUTION TO INCREASE THE BUILDING
DIVISION PROFESSIONAL AND SPECIALIZED
SERVICES ACCOUNT BY \$225,000 FOR FISCAL
YEAR 2022-2023

ISSUING DEPARTMENT: Community Development

SUMMARY:

Issues:

1. Should the City Council adopt a resolution to award RFP 23-03 for Consultant Services for Building Services to Interwest Consulting Group?
2. Should the City Council adopt a resolution to increase the Building Division Professional and Specialized Services account by \$225,000 for Fiscal Year 2022-2023?

Recommendation:

1. Adopt a resolution (**Attachment A**) to award RFP 23-03 for Consultant Services for Building Services to Interwest Consulting Group
2. Adopt a resolution (**Attachment B**) to increase the Building Division Professional and Specialized Services account by \$225,000 for Fiscal Year 2022-2023

Fiscal Impact:

The increase in budgeted funds is requested to be appropriated from General Fund reserves. The increase in expenditures will be directly offset by building permit and plan check revenues.

The procurement of consultant services for the Building Division is anticipated in the Building Division budget. With the requested increase, funds in the amount of \$350,000 will be available from Building Division Professional and Specialized Services account 2301-6430. Expenses incurred are recovered through building permit and inspection fees.

City's Strategic Goals:

- Maintain a financially sound and affordable city government
- Continue to improve high quality municipal services
- Ensure safe and affordable homes for La Mesa's current and future residents

BACKGROUND:

The City has seen an upward trend in building permit activity in the past several years, in particular and most recently apartment and accessory dwelling unit (ADU) activity, and expects this trend to continue. Building permit applications require qualified staff to be available to complete plan checks and inspections in a timely manner. Flexible contract building services allow the City the ability to provide a consistent level of service to building permit applicants as building permit activity ebbs and flows.

The City periodically conducts Requests for Proposals (RFP) to identify qualified professional service providers to ensure that the City retains the most qualified providers at a reasonable cost. Staff initiated the process for RFP 23-03 (**Attachment C**) in June 2022 to obtain consultant services to support the Building Division. The City received proposals from four qualified firms and interviewed the two firms scoring highest upon review of the proposals received. City Manager Greg Humora, Director of Public Works Michael Throne, Director of Community Development Kerry Kusiak reviewed the proposals and conducted the interviews.

Similar to Fiscal Year 2021-2022, the high pace of building plan review and permit activity expected in Fiscal Year 2022-2023 is anticipated to outpace the amounts initially budgeted for this activity. In both fiscal years, the initial budget amount was \$325,000 to support the Building Division consultant services. In Fiscal Year 2021-2022, the City Council approved an additional \$200,000 for this purpose, for a total of \$525,000.

Revenues in Fiscal Year 2021-2022 from building plan review and inspection activities amounted to approximately 175% of the amount initially anticipated. The current pace and trend in building plan review and permit activity is expected to similar throughout Fiscal Year 2022-2023.

DISCUSSION:

After careful consideration of the proposals received and the interviews conducted, staff determined that Interwest Consulting Group would best serve the City in support of Building Division services. Interwest is a municipal consulting firm offering a broad range of building and safety, planning, engineering, and other professional services. With nearly 20 years of experience in the California market and the extended capabilities of their parent company, SAFEbuilt, they support a wide variety of jurisdictions with a high level of service, expertise, and resources.

Additionally, Interwest encompasses EsGil Corporation, which had provided a similarly high level of service in the same fields to jurisdictions in the San Diego area and beyond, including the City of La Mesa, for over 40 years. The local office includes 22 plan checkers and 14 inspectors to serve the San Diego area. Specific staff would be assigned to La Mesa and Interwest has the ability to draw on resources from the region, state, and even nationally should the need arise. SAFEbuilt and Interwest have strong internal training programs including an online training academy that City staff would be able to access. Interwest's proposal is attached hereto as **Attachment D**.

To maintain the consultant service support for the Building Division needed for the remainder of Fiscal Year 2022-23, staff requests an additional \$225,000 be appropriated from the General Fund, increasing the annual budget amount in the Building Division Professional and Specialized Services account for this purpose from \$325,000 to \$550,000. The building services provided by the City's consultant are directly supported by fees collected for building plan check, permit, and inspection, and the expenditure of the increased budgeted funds will be directly offset by revenue from these fees.

CONCLUSION:

Staff recommends that the City Council:

1. Adopt a resolution (**Attachment A**) to award RFP 23-03 for Consultant Services for Building Services to Interwest Consulting Group

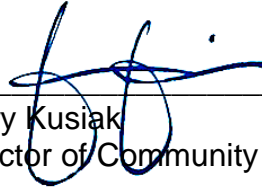
2. Adopt a resolution (**Attachment B**) to increase the Building Division Professional Services account by \$225,000 for Fiscal Year 2022-2023

Reviewed by:



Greg Humora
City Manager

Respectfully submitted by:



Kerry Kusiak
Director of Community Development

Attachments:

- A. Resolution to award RFP 23-03 for Consultant Services for Building Services to Interwest Consulting Group
- B. Resolution to increase the Building Division Professional Services account by \$225,000 for Fiscal Year 2022-2023
- C. RFP 23-03 Consultant Services for Building Services
- D. Proposal received from Interwest Consulting Group in response to RFP 23-03

RESOLUTION NO. 2022-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LA MESA AWARDING
RFP 23-03 FOR CONSULTANT SERVICES FOR BUILDING SERVICES TO
SUPPORT THE BUILDING DIVISION TO INTERWEST CONSULTING GROUP

WHEREAS, one of the City of La Mesa's strategic goals is to continue providing high quality municipal services;

WHEREAS, the City has a need for professional building division services in keeping with this goal;

WHEREAS, the current agreement with Bureau Veritas for consultant services to support the Building Division expires December 31, 2022, or upon the City entering a new agreement for such services;

WHEREAS, the City periodically conducts Requests for Proposals (RFP) to identify qualified professional service providers to ensure that the City retains the most qualified providers at a reasonable cost;

WHEREAS, the City issued RFP 23-03 for consultant services to support the Building Division on June 9, 2022;

WHEREAS, the City received proposals from four qualified firms and interviewed the top two firms scoring highest upon review of the proposals received;

WHEREAS, staff consisting of the City Manager, the Director of Public Works, and the Director of Community Development reviewed the proposals received and conducted the interviews and determined that Interwest Consulting Group would best serve the City in support of the Building Division; and

WHEREAS, the initial term of the agreement would be from December 1, 2022 through June 30, 2023 with an option for the City Manager to extend the agreement for four additional one-year terms.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED by the City Council of the City of La Mesa, California, that RFP 23-03 for consultant services to support the Building Division is awarded to Interwest Consulting Group and the Mayor is hereby authorized and instructed to execute a Standard Agreement for Professional Services between the City of La Mesa and Interwest Consulting Group for consultant services to support the building division for the period from December 1, 2022, to June 30, 2023, and for an amount not to exceed \$350,000.

PASSED AND ADOPTED at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be a true and exact copy of Resolution No. 2022-_____, duly passed and adopted by the City Council of said City on the date and by the vote therein recited.

MEGAN WIEGELMAN, City Clerk

(SEAL OF CITY)

RESOLUTION NO. 2022-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LA MESA TO
INCREASE THE BUDGET FOR BUILDING DIVISION PROFESSIONAL AND
SPECIALIZED SERVICES ACCOUNT BY \$225,000 FOR FISCAL YEAR 2022-
2023

WHEREAS, one of the City of La Mesa's strategic goals is to continue to provide high quality municipal services;

WHEREAS, the City has a need for professional building services in keeping with this goal;

WHEREAS, the Building Division Professional and Specialized Services account (2301-6430) budgeted amount of \$358,200 includes \$325,000 for the purpose of providing professional building division services in Fiscal Year 2022-2023;

WHEREAS, the City continues to see a high level of private development and building permit applications, with associated revenues and expenditures exceeding anticipated levels;

WHEREAS, the City desires to continue to utilize professional building division services to provide Building Division staff support to ensure that the level of service provided to applicants does not diminish;

WHEREAS, the costs incurred by the City in utilizing professional building division services are directly offset by building permit and plan check revenues; and

WHEREAS, the Building Division Professional and Specialized Services account (2301-6430) needs to be increased by \$225,000 to maintain the Building Division support needed for the remainder of Fiscal Year 2022-2023, for a total of \$583,200 for the Fiscal Year.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED by the City Council of the City of La Mesa, California, that:

\$225,000 is appropriated from General Fund Unappropriated Reserves to increase the budgeted amount for the Building Division Professional and Specialized Services account (2301-6430) for Fiscal Year 2022-2023 to \$583,200.

PASSED AND ADOPTED at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, CMC, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be true and exact copy of Resolution No. 2022-_____, duly passed and adopted by the City Council of said City on the date and by the vote therein recited.

MEGAN WIEGELMAN, CMC, City Clerk

(SEAL OF CITY)

REQUEST FOR PROPOSALS



RFP 23-03

CONSULTANT SERVICES FOR BUILDING SERVICES IN THE CITY OF LA MESA

June 9, 2022

**City of La Mesa
City Manager's Office
8130 Allison Avenue
La Mesa, CA 91942**

SECTION 1

REQUEST FOR PROPOSALS

A. INVITATION

The City is soliciting qualification proposals from professional firms experienced and qualified to perform building and safety services (“Building Services”) in the City of La Mesa. This Request for Proposals (RFP) describes the project, the scope of required services, the proposal submittal requirements, and the selection process.

This request is for consultant services for the performance of Building Services in the City of La Mesa. The chosen firm will be required to enter into a professional service agreement with the City that includes the scope of service in this RFP. The agreement would be for a term of one (1) year, with the option of up to four (4) one-year extensions at the option of the City. The Community Development Department will facilitate the agreement over the term of the contract.

Interested and qualified firms who have demonstrated the ability at providing comparable services are invited to submit proposals. Qualified firms are invited to submit an online proposal to the City no later than **5:00 p.m. on Wednesday, July 20, 2022.**

B. BACKGROUND OF THE CITY OF LA MESA

The City of La Mesa was incorporated in 1912. The City is nine square miles in size and its approximate population is 59,966. La Mesa is a full-service City, employing approximately 270 full-time employees. The City includes fifteen parks, a community center, a police station, and award-winning K-12 schools. La Mesa has a healthy business environment with a regional mall, Grossmont Center, containing a wide variety of shopping, entertainment, and restaurants. The City also has the only major hospital in eastern San Diego County, Sharp-Grossmont hospital. La Mesa is a General Law City with a Council-Manager form of government. The City Council is responsible for determining policy while the City Manager ensures that such policy is implemented. In addition to the City Manager’s Office, the City has six operating departments: Finance, Community Development, Community Services, Police, Fire, and Public Works/Engineering.

C. PROJECT OVERVIEW

The City of La Mesa (“City”) is seeking qualified consulting professionals (Consultant) to perform Building Services, including administration, permit issuance, plan check, inspections, public counter services, and as-needed support for Code Compliance related to Building Code issues. The City seeks a highly-motivated Consultant with a

customer-service focus that will work in partnership with residents, businesses, and across City departments. Furthermore, the City seeks a Consultant that will support staff's effort to reduce the amount of time required to review plans, provide comments to applicants, and issue permits.

SECTION 2

SCOPE OF WORK

A. SCOPE OF REQUIRED SERVICES

The chosen firm ("Consultant") is required to meet the following requirements as outlined in this Scope of Work. Proposals shall demonstrate Consultant's experience and ability to perform Building Services, including administration, permit issuance, plan check, inspections, public counter services, and as-needed support for Code Compliance. The chosen Consultant must have the knowledge, expertise, staff, and availability to perform all the work as specified within this RFP.

The following Scope of Work represents the services and responsibilities the successful Consultant will be expected to provide and perform. The City is committed to selecting an excellent firm that will produce a high-quality work product and deliver a high level of customer service. Should the use of sub-consultants be proposed by the proposing firm, they shall be clearly identified and included as part of the proposal in response to this RFP.

The City may utilize the Consultant for all Building Services, or may engage the Consultant for a portion of the Building Services. Responses to this RFP are expected to include proposals as follows:

1. Full-service Building Services as listed herein, including but not limited to administration, permit issuance, plan check, inspections, and public counter services;
2. Full-service Building Services as listed herein, including but not limited to administration, permit issuance, limited plan check, inspections, and public counter services, with City staff participating in public counter, building plan check and inspection services. City staff would consist of one permit technician and two inspectors;
3. Building plan check and inspection services only;
4. Building plan check service only; and
5. Building inspection services only

GENERAL SERVICES

- Managing/coordinating review of plans (for permits to be issued by the Building Division) by other Departments/Divisions, including routing of plans for plan checking (as appropriate, on a case-by-case basis), transmitting comments to permit applicants, and maintaining records of plan check comments;
- Plan checking services for erosion control, building (architectural and structural), electrical, mechanical and plumbing work;
- Permit issuance for building, electrical, mechanical and plumbing work;
- Inspection services for erosion control, building, electrical, mechanical and

plumbing work, including all work requiring a permit issued by the Building Division, as well as walls/fences, signs, parking lot striping, and other improvements shown on approved plans. Inspectors will be required to verify consistency between approved plans and as-built projects as a standard practice with all inspections, and to report any significant deviations to the Director or her/his designee prior to final of permits;

- Resolution of complex Building Code issues including recommendations of code refinements;
- Assistance to the public at the counter within City Hall and via phone and e-mail regarding City processes and code/permit requirements. Intake of plans for review;
- Review of conceptual plans for development proposals and preparation of plan review memoranda identifying significant code compliance deficiencies that may impact the project design and/or feasibility;
- Coordination/cooperation with, and Consultant to, Planning, Code Enforcement, Public Works and other City staff regarding building, plumbing, mechanical, electrical codes, permitting requirements, permit/project/inspection status, and other related matters;
- Coordination with Planning, Code Enforcement, Public Works and other City staff on all requirements for permit issuance including compliance with conditions of approval;
- Required use of the City's permitting software to track all building and safety services based on City-established plan submittal and review, permit issuance, inspection, and record management processes;
- Provide assigned personnel with all materials, resources and training necessary to conduct plan reviews, including a current copy of the applicable City amendments, policies, procedures and forms; and
- Provide building inspectors with City-approved mobile devices and mobile data plans compatible to the City's permitting and land management system.

BUILDING PLAN CHECK SERVICES

- Perform architectural, structural, plumbing, mechanical, electrical, and fire code plan check review for buildings and structures for compliance with applicable Federal and State laws, building and safety codes, City ordinances, and acceptable engineering practices;
- Type of proposed plan check work may include new construction (residential, commercial, or industrial), remodel, additions, green building, Leadership in Energy and Environmental Design (LEED), onsite wastewater treatment systems (OWTS) and public nuisance abatement; Fire Code and Floodplain (FEMA) related plan check and inspections services;
- Confirm building use, occupancy, and type of construction, and review construction of buildings and structures to determine satisfaction of safety requirements;
- Check for compliance with all applicable codes adopted by the City, including, but not limited to: Uniform Housing Code, California Building, Mechanical,

Plumbing, and Electrical Codes, Uniform Swimming Pool Code, Uniform Solar Energy Code, and Sign, Tent, and Relocated Building Codes and any applicable adopted local amendment, State of California codes or regulations;

- Review and approve building/structural revisions to plans required during construction;
- Calculate building permit and plan check fees, and review permit issuance;
- Provide problem solving methods for unique or challenging plan check or code interpretation issues;
- Interface with applicants and City staff;
- Provide trained staff familiar with sustainable building and Green Building concepts such as those supported by LEED, California Association of Building Energy Consultants (CABEC), Residential Energy Services Network (RESnet), U.S. Green Building Council (USGBC), and National Pollution Discharge and Elimination System Permit (NPDES);
- Review and provide plan check comments digitally using City utilized software as primary means of communicating corrections to applicants;
- Use of City-utilized software for permit tracking, plan check routing, and inspections. The City will provide user logins;
- Coordinate building permit requirements and interface with City Departments and other agencies, including but not limited to Community Development, Public Works, Heartland Fire Department, and the San Diego County Department of Environmental Health; and
- Provide expedited plan check for certain projects types, such as Accessory Dwelling Units, and when requested by the City.

BUILDING INSPECTION SERVICES

- Provide ICC-certified (preferred) Building Inspectors fully trained/certified/qualified for all construction regulated by all applicable Federal, State and City building and safety codes/ordinances, floodplain (FIRM/FEMA) design standards, and NPDES requirements;
- Provide building inspection services for both residential and non-residential projects five (5) days a week (City-designated holidays excluded);
- Ability to serve as a resource and provide information on City regulations to property owners, residents, businesses, the general public and other City departments;
- Inspect buildings and structures, for which building permits have been issued, for compliance with the approved plans and applicable codes and ordinances;
- Inspect for compliance with applicable conditions of approval set forth by the City's Community Development Department, Design Review Board, Planning Commission, and/or City Council, and communicate with City staff as appropriate;
- Coordinate with various City and County agencies and departments, including but not limited to Community Development, Public Works, Heartland Fire Department, San Diego County Department of Environmental Health, and other governmental agencies providing services, and/or having jurisdiction over any

aspect of a development project in order to obtain compliance with the above building and safety codes and regulations;

- During inspections, issue work correction notices; it is expected, that in the event an inspection finds violations in code requirements and/or permit conditions of approval, the Inspector immediately contact the City's Code Compliance Officer and document accordingly in City-utilized permitting software;
- Provide all vehicles, fuel, maintenance, cell phones and iPads (or substantially similar tablet), and other equipment necessary for field personnel to carry out building permit inspections and duties;
- Provide special inspections by qualified inspectors and conduct investigations as directed by the City, including field and office research and the preparation of letters and/or documents; and
- Input daily inspection information into the City's permitting software system. The City will provide user logins.

BUILDING COUNTER OPERATIONS

- Ability to provide public counter service at the La Mesa City Hall during all hours that City Hall is open, Monday through Friday with alternate dark Fridays (excluding City-designated holidays);
- Answering technical questions of the public and City staff, and providing helpful information on permit processing, fees, plan check, inspections, and general Code inquiries. Counter service staff are expected to provide prompt and timely responses to the public;
- Receive, process, and issue building permits, plan checks, and coordinate the plan check and inspection process, including the tracking, routing and storage of building plans and the filing of building permit applications. Input information into City's permitting software system including fees;
- Ability to accept building permit applications and materials digitally using the City's permitting software system;
- Monitor and track the status of building permit applications and plan checks for expiration and develop a process to notify applicants prior to the expiration of their building permits;
- Keep daily logs of building permit and inspection activities. Submit monthly, quarterly and annual reports of Consultant's activities to the City. The reports shall include, but not be limited to, the fees collected, reporting on SMIP allocations, the staffing levels provided, the staff hours expended, the number of permits issued, the number of inspections (by type) made, and other financial, operational, and statistical information pertinent to the Building Plan Check and Inspection services process;
- Identify and collect all required fees for building permit applications and other Building Services. Input information into the City's permitting software system. Facilitate the collection of fees from other department and/or agencies that are due (as applicable) and payable prior to or concurrent with the issuance of a building permit. Establish, maintain and update all forms in compliance City requirements, regulations, adopted standards, State or other laws and

ordinances necessary for the operation of the Building Division, including "hand-out" sheets which explain building permit application processing procedures;

- Collect construction and demolition deposit prior to building permit issuance and ensure construction and demolition recycling requirements are met prior to final inspection;
- The City will provide shared office space and limited equipment such as a desk, office supplies, desktop computer and telephone to be used when performing contractual services onsite at the City. Space is also available at the City Hall public counter for daily Counter Service use. Any equipment outside of what is explicitly provided will be the responsibility of the selected firm unless otherwise agreed upon by the City to provide;
- All approval stamps, applications, forms and other documents used in providing Building Contractual services provided by the Consultant for the City shall include identification indicating that the approval stamps, applications, and documents are from the City. All of the stamps, applications, forms, and other documents or supplies shall be the property of the City; (Costs for the provision of these processing tools and supplies shall be the responsibility of the City); and
- Respond to Public Records Requests within timelines established by the Public Records Act.

SOFTWARE IMPLEMENTATION

- The City is undertaking a process review to identify opportunities to streamline review and approval processes. The selected Consultant may be asked to participate in this process or implement new directives resulting from this process.

PROCESS IMPROVEMENT REVIEW

- Provide assistance with the configuration, implementation, and on-going support of the City's permitting software system, including online electronic permitting and plan check; and
- Provide ongoing training available for consulting staff and City staff for full compliance with current building code standards, online software updates, and related issues.

PERMITTING SOFTWARE SYSTEM AND ELECTRONIC PLAN REVIEW:

The City currently uses MaintStar, a cloud-based permitting software program with an online customer portal and embedded electronic plan review. Maintstar provides functionality for multiple City departments and divisions, including the Building Division, for tracking and managing project reviews, plan check submittal, permit issuance, inspection activity, and electronic plan review. Customers can make online project submittals and manager their projects through the customer portal.

The Building Consultant will be required to use Maintstar to track all building and safety services based upon City-established plan submittal and review, permit issuance, inspection, and record management processes. The Consultant shall also assist City staff/consultant, as requested, with Maintstar permit, inspection, and fee configuration to support Building Division operations.

Consultant will be required to use MaintStar electronic plan checking services and shall assist with the ongoing development of policies and procedures for electronic plan checking. Plan checkers assigned to the City shall be proficient in the use of MaintStar electronic plan review software as necessary to accommodate the public demand for electronic plan checking in accordance with maximum service delivery timeframes stated herein.

MOBILE DEVICES

The Consultant will be required to furnish its Building Inspectors with City-approved mobile devices with mobile data plans compatible with the City's permitting and land management system, and to pay the annual software licensing and support fees for the mobile portion of the software. The Consultant will also be responsible for the ongoing maintenance and replacement of the mobile devices if damaged or at "end-of-life." The Consultant's mobile device "end-of-life" shall be aligned to the City's IT equipment and device replacement standards, which most of the City's end-user IT equipment is placed and refreshed every 3-4 years after purchase.

HILLSIDE DEVELOPMENT REVIEW AND INSPECTION

Due to the location of new residential construction in the City's hillside areas, the City anticipates plan check, permitting, and inspection activity relating to hillside grading, mechanically-stabilized earth (MSE) retaining walls, other soil retaining systems, and drainage. Responsibilities include grading plan check, permitting, and inspections for grading and drainage as well as reviewing soils reports, foundations, and retaining walls.

The Building consultant is required to have access to licensed professionals, well-versed in the field of geotechnical issues, to provide plan checking of retaining walls and review of geotechnical reports, as well as any special inspections that may be needed. It is expected that these professionals will coordinate with Public Works Department staff on an as-needed basis with regard to geotechnical matters.

STAFF SUPPORT POSITIONS

The City has identified support positions that are instrumental to ensure that a responsive and consistent level of professional service is provided to the public and development community. The personnel serving in the positions are required to work in La Mesa City Hall during the hours that City Hall is open to the public, provided however that inspection staff will primarily work in the field. La Mesa City Hall is open Monday

through Friday from 7:30 a.m. to 5:30 p.m. The City is closed on alternative Fridays and certain holidays. The positions are also required to be available to respond to emergency situations for structural assessments that may be required at times when City Hall is closed for business. Typical positions that will support the City in these functions include the following:

Building Official with Plan Check Capabilities

The position is responsible for performing Chief Building Official Services. The Building Official is responsible for overseeing building plan check, inspection, code compliance and permitting, and acts as an official City representative on building-related matters. Once selected, the Consultant shall not change the designated Building Official without proper advance notice and discussion with Director of Community Development's concurrence.

Duties shall include:

- Serve as the City's Building Official enforcing building code, construction and construction site stormwater management codes to ensure public and environmental safety and health;
- Provide a high-level of customer resolve, excellent communication, and responsiveness to all applicants.
- Be available for 24-hour, emergency on-call services as needed;
- Manage, coordinate, and oversee the building permit and plan check, building inspection, staffing, and building counter services so that they function as a cohesive service for the City and public;
- Establish and implement building procedures to ensure a high level of customer satisfaction;
- Plan check complex building plans;
- Make determination on the approval and use of alternative materials and methods of construction;
- Provide over-the-counter plan check for minor residential remodels and commercial tenant improvements;
- Oversee and manage required construction site stormwater quality inspection, reporting and records maintenance;
- Issue Certificates of Use and Occupancy for buildings and structures;
- Resolve interpretation issues for compliance with adopted codes;
- Be available to answer questions, inspect properties (as back up), attend applicable meetings and provide expertise on items and projects requiring a high level of building and safety expertise;
- Provide information and assistance to homeowners, businesses and the development community;
- Meet with homeowners, business owners, developers, architects, engineers and the general public at the City or in the field, as the need dictates, to resolve grievances and/or respond to questions and ensure timely project processing in compliance with Federal, State and City laws and ordinances;

- Manage staffing levels and staff to ensure that all established timeframes are met and ensure quality control review of plan checks and inspections;
- Interface with other City departments/divisions in coordinating plan approval and building/stormwater code related issues;
- Assist in the preliminary review of project development applications for general feasibility of construction as designed to aid in Planning staff's discretionary review prior to a determination subject to the City's regulatory documents, including the DRO, Floodplain, and LCP, including comment and provision of "conditions of approval" for concept plans as part of the City's discretionary process;
- Assist in the maintenance, amendment, and development of ordinances and regulations necessary to the implement and enforce the latest editions of the California Building Code, including any and all related Codes, or other uniform safety codes, laws, or regulations as adopted or amended by the City deemed necessary by the City to protect the health safety and welfare of its citizens;
- Monitor the collection of building plan check, inspection, and permit fees and other building activity level indicators;
- Assist in City efforts to modify/update fees and charges associated with Building Services, including tracking of staff hours and charges to provide Building Services to City;
- Ensure use of the City's permitting software by subordinates to track all building and safety services based on City established plan submittal and review, permit issuance, inspection, and record management processes;
- May be required to attend one or more City Council and/or Planning Commission meetings annually, on an as-needed basis, to address Building related matters.
- Preparation of quarterly SMIP (California Strong Motion Instrumentation Program) and other Building Fee reports as needed;
- Preparation of quarterly progress reports outlining number of permits processed, total valuation or processed permits, and total fees collected;
- Preparation of annual reports detailing the number of dwelling units permitted/constructed each calendar year, both net new and replacement; and
- Perform all other administrative building and safety related duties, including developing and implementing office policies and procedures and assuring that files and plans are secured, organized and kept up to date.

Qualifications:

- Five or more years increasingly responsible plans examination, building inspections and structural engineering experience, including two or more years in a supervisory or lead role;
- Equivalent to a Bachelor's degree from an accredited college or university, with major course work in engineering, public administration or related field;
- Possession of valid International Code Council (ICC) certification as a Certified Building Official and ICC certification as a Plans Examiner;
- Minimum of eight (8) years of public building department experience; and iv. ICC certified inspector and/or plan checker.

- Experience with infill development and density bonus projects highly desirable;
- Experience with use and configuration of permit tracking software;
- Certification as a Qualified SWPPP practitioner or Qualified SWPPP Developer is highly desirable;
- Registered Civil Engineer highly desirable;
- Certification as a California Access Specialist (CASP) highly desirable;
- Excellent oral and written communication skills; and
- Solution-oriented customer service experience with a wide range of customers, including developers, contractors, homeowners, business owners and City staff.

Combination Building Inspector

Duties shall include:

- Provide building inspection services and building/construction site inspection during the course of construction to verify and enforce compliance with approved plans, conditions of approval as set forth on the plans corresponding to the issued permit, and applicable provisions of the City's ordinances and Codes, including code compliance with stormwater management requirements for construction sites; and
- Resolve Code interpretation issues in the field.

Qualifications:

- Three or more years of experience as a Combination Building Inspector;
- Certification as a Qualified SWPPP practitioner or Qualified SWPPP Developer with underlying certification is highly desirable;
- ICC Certification as a Combination Building Inspector; and
- Solution-oriented customer service experience with a wide range of customers including developers, contractors, homeowners, business owners and City staff.

Senior Permit Technician

Duties shall include:

- Provide assistance at the building counter;
- Accept plans;
- Issue permits;
- Provide information to general public;
- Calculate charges and fees;
- Prepare statistical reports;
- Coordinate with Heartland Fire review process and personnel;
- Maintain records and prepare documents for storage and/or imaging; and
- Maintain National Pollutant Discharge Elimination System (NPDES) records for new construction.

Qualifications:

- Two or more years of experience performing required technical building and safety support functions;
- ICC Certification as a Permit Technician highly desirable;
- Experience with the use of permit tracking software; and
- Solution-oriented customer service experience with a wide range of customers, including contractors, homeowners, business owners and City staff.

Certified Access Specialist (CASp):

Duties shall include:

- Perform access compliance design review of various phases of construction documents for conformance with access compliance codes, standards, regulations, and client requirements unique to project type;
- Perform access compliance field inspections of multiple construction projects;
- Prepare and issue access compliance field inspection reports;
- Perform access compliance review of construction phase submittal documents such as Construction Bulletins, Requests for Information, and Project Submittal documents;
- Provide technical ADA and CBC access compliance support for new construction, addition, alteration, and repair projects; and
- Support and participate in the development and execution of access compliance program objectives and standards.

Qualifications:

- Three or more years of experience as a CASp Specialist; and
- Certification by the State of California to have specialized knowledge of the applicability of State and Federal construction-related accessibility standards.

ICC Certified Plans Examiner

Duties shall include:

- Review plans prepared by or on behalf of applicants for compliance with building ordinances of the City and State disabled-access and energy regulations;
- Coordination with other City departments/divisions in order that the requirements of those departments can be incorporated within such building plans;
- Coordinate reviews by other appropriate agencies having jurisdiction in such matters related to the enforcement of Fire, Sanitation and Health Codes;
- When satisfied that all building-related conditions of approval and the appropriate requirements of the City's Building Codes have been met, and upon approval as

necessary of other City departments, Consultant shall issue permits as appropriately set forth in such codes.

Qualifications:

- Registered Civil Engineer highly desirable;
- Three or more years of experience as a Plans Examiner;
- ICC Certification as a Plans Examiner;
- Certification as a California Access Specialist (CASP) desirable;
- Experience with the use of permitting software; and
- Solution-oriented customer service experience with a wide range of customers including architects, engineers, developers, contractors, homeowners, business owners and City staff.

Senior Plans Examiner

Duties shall include:

- Review plans prepared by or on behalf of applicants for compliance with building ordinances of the City and State disabled-access and energy regulations;
- Coordination with other City departments/divisions in order that the requirements of those departments can be incorporated within such building plans;
- Coordinate reviews by other appropriate agencies having jurisdiction in such matters related to the enforcement of Fire, Sanitation and Health Codes; and
- When satisfied that all building-related conditions of approval and the appropriate requirements of the City's Building Codes have been met, and upon approval as necessary of other City departments, Consultant shall issue permits as appropriately set forth in such codes.

Qualifications:

- Registered Civil Engineer highly desirable;
- Three or more years of experience as a Plans Examiner;
- Experience with the use of permitting software; and
- Solution-oriented customer service experience with a wide range of customers including architects, engineers, developers, contractors, homeowners, business owners and City staff.

Mechanical, Electrical, and Plumbing (MEP) Engineer

Duties shall include:

- Plan check proposed mechanical, electrical, heating, ventilation, air conditioning, and plumbing designs for compliance with applicable building code standards.
- Coordination with other City departments/divisions in order that the requirements of those departments can be incorporated within such building plans;

- Experience with the use of permitting software; and
- Solution-oriented customer service experience with a wide range of customers including architects, engineers, developers, contractors, homeowners, business owners and City staff.

Qualifications:

- Two years or more of experience as an MPE Engineer;
- Bachelor's Degree in Mechanical or Electrical Engineering or a closely related field; and
- Valid Certificate of Registration as a Professional Engineer issued by the California State Board of Registration of Civil and Professional Engineers in either Mechanical, Electrical or Plumbing specialties.

Structural Engineer

Duties shall include:

- Review complex plans for new construction, alterations, and repairs to ensure compliance with City adopted building codes and other standards;
- Provide technical advice and assistance to architects, engineers, and contractors on code compliance problems and to field inspectors in the interpretation of construction plans and assists in the resolution of difficult building code interpretation problems;
- Coordination with other City departments/divisions in order that the requirements of those departments can be incorporated within such building plans;
- Experience with the use of permitting software; and
- Solution-oriented customer service experience with a wide range of customers including architects, engineers, developers, contractors, homeowners, business owners and City staff.

Qualifications:

- Two years or more of experience as a Structural Engineer; and
- Bachelor's Degree in Civil Engineering or a closely related field.

Stormwater Compliance Inspector

Duties shall include:

- Oversees maintenance of NPDES site inventory and annual reporting;
- Responsible to ensure the regular inspection and monitoring of construction sites City- wide for compliance with Stormwater Pollution Prevention Plan (SWPPP) requirements and BMP compliance verification;
- Provides quarterly training to building inspectors assigned to the City; and
- Serves as liaison to City staff;

Qualifications:

- Possess and maintain a certification for Qualified SWPPP practitioner or Qualified SWPPP Developer.

Miscellaneous

The Consultant shall be responsible to furnish all field personnel assigned to the City of La Mesa with uniform shirts and jackets that identify each individual as an employee of the selected consulting firm working under contract to the City of La Mesa.

MAXIMUM SERVICE DELIVERY TIMEFRAMES

The Consultant shall be responsible for managing its personnel levels based on the level of development activity within the City, as necessary to ensure that the following timeframes are met or exceeded at all times:

Service	Timeframe for delivery
Major plan checks:	2 weeks (10 working days)
Subsequent plan checks:	1 week (5 working days)
Minor plan checks and single-story homeowner additions:	3 working days if submitted into plan check or over the counter
Building inspection:	The following working day if request is received before 4:30 PM on the prior working day
Required monthly, quarterly, and annual Building Fee and activity reporting (SMIP, HUD reporting, etc.)	As required by state and/or federal regulation
Water Quality Inspections:	As required by NPDES Permit
Water Quality Annual Reporting:	As required by NPDES Permit
Maintenance of NPDES Site Inventory:	As required by NPDES Permit
Permit assistance at the public counter:	Average within 10 minutes of customer arrival
Return of telephone calls and e-mails:	Within one business day
Monthly statistical accounting and preparation of plans for imaging:	Completed at the end of each month

PROPOSED FEE STRUCTURE

The preferred approach to the fee structure of the contract is a percentage of the fees collected.

ADDITIONAL INFORMATION

Building Fees:

The City of La Mesa adopted revised Building and Safety fees effective July 1, 2022. Fees for first plan check of each unit type are calculated at the full rate. The City's most recently adopted Fee Schedule is posted here: <https://www.cityoflamesa.us/88/Fee-Schedule>

Building Codes:

The La Mesa City Council adopted the 2019 California Building Standard Codes with local amendments, which took effect January 1, 2020. The California Building Standards Commission updates the Codes approximately every three years. The Consultant will assist in future adoptions of updated Codes and local code amendments and provide any necessary coordination with related agencies, such as the Heartland Fire, the Building Industry Association, and any Building Officials group(s) which provide input on Code updates.

B. CONTRACT MODIFICATION

From time to time minor modifications may be required to the Scope of Work. Permanent modifications to the Scope of Work will be provided to the Consultant in writing. In the event such modifications, in the opinion of the Consultant, make compliance with contract conditions impractical, Consultant shall submit a written request for modification to the requirements in the Scope of Work. This request shall set forth in detail the reason(s) why the specified changes make the Scope of Work impractical, and include Consultant's proposal or recommendation to relieve the impracticality.

SECTION 3

QUALIFICATIONS AND REQUIREMENTS

A. QUALIFICATION AND GENERAL REQUIREMENTS

1. Evidence of substantial knowledge and experience in providing building and safety services as outlined in the Scope of Work, including administration, permit issuance, plan check, inspections, public counter services, and as-needed support for Code Compliance related to Building Code issues within the State of California.
2. Demonstrated ability and skills providing high level customer service in the delivery of Building Services for public agencies.
3. Consultant must be available and able to work with City staff during the completion of the Scope of Work.
4. Consultant must obtain a business license and be properly licensed to work in the City of La Mesa.
5. Consultant shall disclose in the proposal whether any portions of the project will be subcontracted out. All terms of this contract, including bidding and qualifications, shall apply to subcontractors.

B. LICENSE/SPECIAL INSURANCE/OTHER REQUIREMENTS

All submittals must include evidence of required insurance, as per the limits stated in the attached Sample Draft Agreement – *City of La Mesa Professional Services Agreement*. A certificate of insurance will suffice for the submittal. The selected Consultant will be expected to provide the required insurance and accompanying endorsement(s) naming the “City of La Mesa, its elected officials, officers, officials, employees, agents, and volunteers” as additional insured’s within ten (10) days of executing an agreement with the City.

SECTION 4

SUBMITTAL INSTRUCTIONS

A. ONLINE SUBMISSIONS DUE

Please submit proposals online in the form of electronic documents through PlanetBids. **Only submissions made through the online system will be accepted.**

All proposals are due no later than by **5:00 p.m. on Wednesday, July 20, 2022.** Proposals received after the deadline will not be considered.

B. SUBMITTAL REQUIREMENTS

The proposal must contain the following information in order to be formally considered. Submittals should be organized in a clear and concise manner.

- A. Cover Letter: A cover letter on firm letterhead must provide the name and title of the person(s) who are authorized to answer questions about this RFP and the representative authorized to sign a professional services agreement for your firm. The cover letter should not exceed one (1) page in length and should summarize key elements of the proposal and demonstrate an understanding of the work to be performed and why the firm believes itself to be the best qualified to perform the Scope of Work. The letter must include the telephone, fax number, email address, and physical address of Consultant's office located nearest to La Mesa, California.
- B. Scope of Work: Indicate the skills, ability and/or services which distinguish the firm to make it the best choice for the City to fulfill the Scope of Work. Additional services or tasks which, in your opinion, should be included must be clearly identified. Conversely, requested services or tasks which, in your opinion, should not be included, or are specifically excluded from the proposal, must also be clearly identified.
- C. Firm Information and Qualifications: Please provide the following information.
 - 1. Number of years firm has been in business
 - 2. Location of principal office that will be responsible for the implementation of an Agreement, and distance from the City of La Mesa
 - 3. Evidence of required insurance
 - 4. List company and individual team members experience in providing similar services, including: qualifications, state registrations and/or ICC or other certifications related to the type of plan check work proposed to be provided by that individual. A table similar to the following shall be submitted:

Name	Qualifications	Type of Work to be Performed
(X)	(Professional registrations or Certifications)	(Building structural, building life safety, plumbing, mechanical, electrical, green building)

D. References: Please provide a list of all current clients in Southern California and at least five (5) references:

1. Name of organization
2. Job title
3. Contact information

E. On-Site Work: Identify the firm's ability to report to City Hall when necessary in order to provide the customers of La Mesa with the highest standard of customer service. The ideal firm will perform plan check services at an off-site facility (not provided by the City) and also have the ability to provide administrative and counter service at La Mesa City Hall.

F. Firm Resources: Please explain the firm's technical capabilities for any relevant prerequisite service including but not limited to:

1. Permit software data entry
2. Permit application reviews
3. Architectural review
4. Structural review
5. Mechanical review
6. Plumbing review
7. Electrical review
8. Accessibility review
9. Soils and grading
10. LEED review
11. OWTS review
12. Green building review
13. Public nuisance abatement review
14. Building inspections
15. Public counter services
16. Assistance to City Code Compliance staff
17. Supervision and leadership
18. Preparation of, but not limited to staff reports, code updates, handouts and training materials, and fee updates/analysis

G. Turnaround Time: Please provide information on the maximum proposed turnaround time for each possible type of job assigned, including but not limited to the following:

1. Processing and issuance of permits for minor alterations or additions

2. Processing and issuance of permits for solar or ESS systems
 3. Fire code compliance review
 4. Processing and issuance of permits for single-tenant dwellings
 5. Processing and issuance of permits for multi-tenant dwellings
 6. Processing and issuance of permits for commercial construction under 10,000 square feet
 7. Processing and issuance of permits for commercial construction over 10,000 square feet
- H. Inspections: Please provide a summary of the types of requested inspections provided in the field.
- I. Fees: Firm shall provide a percentage-based rate to Consultant for the requested services contained in the Scope of Work in this RFP. City will not entertain proposals with a percentage to City less than 20%.
- J. Changes to Professional Services Agreement: In order to be considered, the firm must identify any exceptions or proposed changes to the attached professional services agreement within their proposal. A sample agreement is included in this RFP on page 24.

SECTION 5

EVALUATION CRITERIA AND KEY CONSIDERATIONS

A. QUALIFICATION EVALUATION PROCESS

Evaluation of proposals will be based upon the following criteria:

✓ Scope of Work	10%
✓ Firm Information and Qualifications	20%
✓ References	10%
✓ Firm resources	15%
✓ On-Site Work	5%
✓ Turnaround Time	10%
✓ Inspections	15%
✓ Fees	15%

B. SCHEDULE FOR THE RFP

RFP distributed	June 9, 2022
Responses to RFP due	July 20, 2022
Review of responses complete	July 29, 2022
Tentative interviews	week of August 1, 2022
Tentative selection of company	August 16, 2022
Tentative agreement date	September 13, 2022

C. QUESTIONS AND ANSWERS

Questions related to this RFP must be submitted through the PlanetBids system and will only be accepted through **5:00 p.m. on Tuesday, July 11, 2022.**

D. REVISIONS TO THE RFP

The City reserves the right to revise the RFP prior to the date that proposals are due. Revisions to the RFP shall be communicated via PlanetBids vendor and bid management system to all prospective businesses. The City reserves the right to extend the date by which the submittals are due.

E. DISCRETION AND LIABILITY WAIVER

The City reserves the right to exercise discretion and apply its judgment with respect to any qualifications submitted.

The City reserves the right to reject any or all submittals, either in part or in their entirety, or to request and obtain, from one or more of the businesses submitting, supplementary information as may be necessary for City staff to analyze the qualifications pursuant to the Consultant selection criteria contained herein.

The City may require Consultants to participate in additional rounds of discussions, negotiations, or more refined submittals before the ultimate selection of a Consultant is made. These rounds could encompass revisions of the submittal criteria in response to the nature and scope of the initial qualifications.

The Consultant, by submitting a response to this RFP, waives all right to protest or seek any legal remedies whatsoever regarding any aspect of this RFP.

This RFP does not commit the City to award a contract, to defray any costs incurred in the preparation of a submission pursuant to this RFP, or to procure or contract for work. The Consultant shall be responsible for all costs associated with preparation of their submission to the City.

Any and all materials submitted in response to this RFP become the property of the City. Consequently, any and all information contained in such materials shall be subject to disclosure pursuant to the California Public Records Act.

The City reserves the right to cancel or modify in part or in its entirety this RFP including, but not limited to: selection procedures, submittal date, and submittal requirements. If the City cancels or revises the RFP, all companies will be notified via PlanetBids.

F. CITY'S STANDARD GENERAL SERVICES AGREEMENT

The successful Consultant is expected to execute the City's standard general services agreement (copy attached) as is, with minor modifications as required to customize the agreement to the specific services. Successful companies shall comply with all insurance and licensing requirements as set forth in the standard agreement.

G. OTHER PUBLIC AGENCIES

Other public agencies may piggyback on this RFP or the executed agreement from this RFP award in order to enter into contracts with the successful Consultant for any and all services specified within.

SAMPLE DRAFT AGREEMENT

STANDARD AGREEMENT FOR PROFESSIONAL SERVICES BETWEEN THE CITY OF LA MESA AND // NAME OF FIRM FOR // NAME OF PROJECT

This Agreement is entered into by City of La Mesa as of this ____ day of _____, 20__, by and between the City of La Mesa, a municipal corporation, hereinafter referred to as "the City", and // Business Name, hereinafter referred to as "Contractor."

WITNESSETH THAT:

WHEREAS, the City has adopted Resolution No. _____;

WHEREAS, the City has need for professional services to //perform services and is willing to compensate Contractor for such services;

WHEREAS, the City desires to engage Contractor to render certain technical and professional services in the providing of said professional services; and

WHEREAS, Contractor is qualified to provide said professional services for //service.

NOW THEREFORE, the parties do mutually agree as follows:

SECTION 1: ENGAGEMENT OF CONTRACTOR

The City hereby agrees to engage Contractor and Contractor hereby agrees to perform the services set forth in this Agreement. This Agreement shall be for an initial term from the execution date of the Agreement through month day, year and may be renewed for an additional four one-year terms by mutual written consent of both parties. The City Manager shall have sole and exclusive right to exercise any options contained in this agreement on behalf of the City.

SECTION 2: SERVICES TO BE PERFORMED BY CONTRACTOR

Contractor shall commence performance of the Project upon execution of this Agreement by both parties. The term "Project" as used in this Agreement shall include all of the tasks and items listed and described in Exhibit "A", attached hereto and incorporated herein as part of this Agreement.

SECTION 3: KEY PROJECT PERSONNEL

Contractor agrees to provide the services of /names/titles of contractors respectively for the full term of this contract. No substitutions will be made without prior written approval by the City.

The City reserves the right to request specific qualifications for personnel substituted under this section.

SECTION 4: CONTRACTORS

Contractor will utilize the services of the following sub-contractors during the course of this study:

// Name/Business Name or None or n/a

Payment for such services shall be the responsibility of the Contractor. No substitution of proposed sub-contractors shall be made without prior written approval by the City.

SECTION 5: CITY REPRESENTATION

The //Department Head for the City of La Mesa, or its designated representative, shall represent the City in all matters pertaining to the services rendered pursuant to this Agreement and shall administer said Agreement on behalf of the City. This person shall hereinafter be referred to as the "City's Representative."

SECTION 6: RESPONSIBILITIES OF THE CITY

The City will provide the Contractor, or cause to be provided with, the following documents, services and site information, at no charge to the Contractor.

- A. //
- B. //

SECTION 7: PERFORMANCE SCHEDULE

Both Contractor and the City recognize that time is of the essence in the completion of this work and the following schedule is dependent upon timely actions by the Contractor and the City. Accordingly, the Contractor shall complete all of the work outlined in Exhibit "A" and described in this Agreement in accordance with the following schedule:

<u>TASK</u>	<u>TARGET DATE</u>
A. //	//
B. //	//
C. //	//

The Contractor shall not be responsible for damages or be in default or deemed to be in default by reason of strikes, lockouts, accidents, or acts of God, or failure of City to furnish timely information or to approve or disapprove Contractor's work promptly, or delay or faulty performance by City, or governmental agencies.

SECTION 8: COMPENSATION TO CONTRACTOR

Final payment of fees shall be upon delivery of approved final documents. Progress payments shall be made based upon evidence that the work is progressing satisfactorily as determined by the City's Project Manager and substantiated with detailed invoices. The amount to be billed shall be based on the Contractor schedule of fees for professional services and the actual time required for each activity. The schedule of fees and estimated time for the project are as shown in Exhibit "A" attached hereto and incorporated herein as part of this Agreement.

The total fee for professional services shall be billed on a time-and-material basis with a total amount not to exceed // thousand, / hundred // (\$//,///) Dollars as described on page // of Exhibit "A".

SECTION 9: RECORDS

Contractor shall maintain adequate records to permit inspection audit of Contractor's time-and-material charges under this Agreement. Contractor shall make such records available to the City and to other public agencies responsible for approval, funding or auditing the project, during normal business hours upon reasonable notice. Nothing herein shall convert such records into public records and they will be available only to the City or to public agencies involved with approval, funding or audit functions. Such records shall be maintained by the Contractor for three (3) years following completion of the work under this Agreement.

SECTION 10: METHOD OF COMPENSATION

The City shall compensate Contractor for the services performed hereunder on a monthly basis within thirty (30) calendar days of receipt of Contractor's invoice for the services performed. The Contractor shall provide documentation regarding time-and-material charges sufficient to meet normal auditing practice. Copies of the invoices for materials in excess of \$500 and sub-contractor charges shall be submitted with the request for periodic payment.

The City shall promptly review invoicing and notify Contractor of any objection thereto in writing within fifteen (15) days of receipt of the invoice; absent such objection the invoice shall be deemed proper and acceptable.

In the event that any undisputed invoice is not paid within thirty (30) calendar days after receipt of the invoice by the City, it shall commence bearing interest on the date that the invoice was rendered at the rate of 1% per month and the City agrees to pay all accrued interest, together with the charges for services rendered.

SECTION 11: ITEMS TO BE DELIVERED TO CITY

The following items shall be delivered by the Contractor to the City of La Mesa:

<u>QUANTITY</u>	<u>TARGET DATE</u>
A. //	//
B. //	//
C. //	//

SECTION 12: DESIGN CHANGES OR REVISIONS

No design changes or revisions will be required and no payment therefor will be made except pursuant to the provisions of this Agreement. No extra compensation shall be paid the Contractor for revisions required by reason of omissions or errors by the Contractor in the preparation of the original document, plans, working drawings, or specifications. Changes to the scope of this Agreement shall be negotiated prior to commencement of extra work.

SECTION 13: ADDITIONAL SERVICES OUTSIDE SCOPE

Only after written authorization from the City, additional services that Contractor could provide, or cause to be provided, include the following:

- A. Additional work related to the Project but not included in the Scope of Work.
- B. Additional work caused by changes unrelated to the Scope of Work described herein.

Contractor will be compensated for Contractor time and direct personnel expenses as approved by the City. Payment for such additional services shall include Contractor's time at the rates shown on Exhibit "A".

SECTION 14: HOLD HARMLESS

To the furthest extent allowed by law, Contractor shall indemnify, hold harmless and defend City and each of its officers, officials, employees, agents and volunteers from any and all loss, liability, fines, penalties, forfeitures, costs and damages (whether in contract, tort or strict liability, including but not limited to personal injury, death at any time and property damage), and from any and all claims, demands and actions in law or equity (including reasonable attorney's fees and litigation expenses) that arise out of, pertain to, or relate to the negligence, recklessness or willful misconduct of Contractor, its principals, officers, employees, agents or volunteers in the performance of this Agreement.

If Contractor should subcontract all or any portion of the services to be performed under this Agreement, Contractor shall require each subcontractor to indemnify, hold harmless and defend City and each of its officers, officials, employees, agents and volunteers in accordance with the terms of the preceding paragraph.

This section shall survive termination or expiration of this Agreement.

SECTION 15: INSURANCE

Throughout the life of this Agreement, Contractor shall pay for and maintain in full force and effect all policies of insurance required hereunder with an insurance company(ies) either (i) admitted by the California Insurance Commissioner to do business in the State of California and rated not less than "A- VII" in Best's Insurance Rating Guide, or (ii) authorized by the City Manager or his/her designee at any time and in his/her sole discretion. The following policies of insurance are required:

(i) COMMERCIAL GENERAL LIABILITY insurance which shall be at least as broad as the most current version of Insurance Services Office (ISO) Commercial General Liability Coverage Form CG 00 01 and include insurance for "bodily injury," "property damage" and "personal and advertising injury" with coverage for premises and operations (including the use of owned and non-owned equipment), products and completed operations, and contractual liability (including, without limitation, indemnity obligations under the Contract) with limits of liability of not less than the following:

\$1,000,000 per occurrence for bodily injury and property damage
\$1,000,000 per occurrence for personal and advertising injury
\$1,000,000 aggregate for products and completed operations
\$2,000,000 general aggregate

(ii) COMMERCIAL AUTOMOBILE LIABILITY insurance which shall be at least as broad as the most current version of Insurance Service Office (ISO) Business Auto Coverage Form CA 00 01, and include coverage for all owned, hired, and non-owned automobiles or other licensed vehicles (Code 1 - Any Auto) with limits of liability of not less than \$1,000,000 per accident for bodily injury and property damage.

(iii) WORKERS' COMPENSATION insurance as required under the California Labor Code.

(iv) EMPLOYERS' LIABILITY insurance with limits of liability of not less than \$1,000,000 each accident, \$1,000,000 disease policy limit and \$1,000,000 disease each employee.

(v) PROFESSIONAL LIABILITY (ERRORS AND OMISSIONS) insurance appropriate to Contractor's profession, with limits of liability of not less than \$1,000,000 per claim/occurrence and \$2,000,000 policy aggregate.

In the event Contractor maintains higher limits than the minimums shown above, City requires and shall be entitled to coverage for the higher limits maintained by the Contractor. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to City.

Contractor shall be responsible for payment of any deductibles contained in any insurance policies required hereunder and Contractor shall also be responsible for payment of any self-insured retentions. Any deductibles or self-insured retentions must be declared to, and approved by, the City Manager or his/her designee. At the option of the City Manager or his/her designee, either: (i) the insurer shall reduce or eliminate such deductibles or self-insured retentions as respects to City, its elected officials, officers, officials, employees, agents and volunteers; or (ii) Contractor shall provide a financial guarantee, satisfactory to City Manager or his/her designee, guaranteeing payment of losses and related investigations, claim administration and defense expenses. At no time shall City be responsible for the payment of any deductibles or self-insured retentions.

All policies of insurance required hereunder shall be endorsed to provide that the coverage shall not be cancelled, non-renewed, reduced in coverage or in limits except after 30 calendar day written notice has been given to City. Upon issuance by the insurer, broker, or agent of a notice of cancellation, non-renewal, or reduction in coverage or in limits, Contractor shall furnish City with a new certificate and applicable endorsements for such policy(ies). In the event any policy is due to expire during the work to be performed for City, Contractor shall provide a new certificate, and applicable endorsements, evidencing renewal of such policy not less than 15 calendar days prior to the expiration date of the expiring policy.

The General Liability and Automobile Liability insurance policies shall be written on an occurrence form and shall name City, its elected officials, officers, officials, employees, agents and volunteers as an additional insured. Such policy(ies) of insurance shall be endorsed so Contractor's insurance shall be primary and no contribution shall be required of City, its elected officials, officers, officials, employees, agents and volunteers. The coverage shall contain no special limitations on the scope of protection afforded to City, its elected officials, officers, officials, employees, agents or volunteers. The Workers' Compensation insurance policy shall contain a waiver of subrogation as to City, its elected officials, officers, officials, employees, agents and volunteers.

If the Professional Liability (Errors and Omissions) insurance policy is written on a claims-made form:

1. The retroactive date must be shown, and must be before the effective date of the Agreement or the commencement of work by Contractor.
2. Insurance must be maintained and evidence of insurance must be provided for at least 3 years after any expiration or termination of the Agreement or, in the alternative, the policy shall be endorsed to provide not less than a 3-year discovery period.
3. If coverage is canceled or non-renewed, and not replaced with another claims-made policy form with a retroactive date prior to the effective date of the Agreement or the commencement of work by Contractor, Contractor must purchase extended reporting coverage for a minimum of 3 years following the expiration or termination of the Agreement.
4. A copy of the claims reporting requirements must be submitted to City for review.
5. These requirements shall survive expiration or termination of the Agreement.

Contractor shall furnish City with all certificate(s) and applicable endorsements effecting coverage required hereunder. **All certificates and applicable endorsements are to be received by City and approved by City Manager or his/her designee prior to City's execution of the Agreement and before work commences.** Upon request of City, Contractor shall immediately furnish City with a complete copy of any insurance policy required under this Agreement, including all endorsements, with said copy certified by the underwriter to be a true and correct copy of the original policy. This requirement shall survive expiration or termination of this Agreement.

If at any time during the life of this Agreement or any extension, Contractor or any of its sub-Contractors fail to maintain any required insurance in full force and effect, all work under this Agreement shall be discontinued immediately, and all payments due or that become due to Contractor shall be withheld until notice is received by City that the required insurance has been restored to full force and effect and that the premiums therefore have been paid for a period satisfactory to City. Any failure to maintain the required insurance shall be sufficient cause for City to terminate this Agreement. No action taken by City hereunder shall in any way relieve Contractor of its responsibilities under this Agreement.

The fact that insurance is obtained by Contractor shall not be deemed to release or diminish the liability of Contractor, including, without limitation, liability under the indemnity provisions of this Agreement. The duty to indemnify City and its elected officials, officers, officials, employees, agents and volunteers shall apply to all claims and liability regardless of whether any insurance policies are applicable. The policy limits do not act as a limitation upon the amount of indemnification to be provided by Contractor. Approval or purchase of any insurance contracts or policies shall in no way relieve from liability nor limit the liability of Contractor, its principals, officers, employees, agents, persons under the supervision of Contractor, vendors,

suppliers, invitees, Contractors, sub-Contractors, or anyone employed directly or indirectly by any of them.

If Contractor should subcontract all or any portion of the services to be performed under this Agreement, Contractor shall require each sub-Contractor to provide insurance protection in favor of City, its elected officials, officers, officials, employees, agents and volunteers in accordance with the terms of each of the preceding paragraphs, except that the sub-Contractors' certificates and endorsements shall be on file with Contractor and City prior to the commencement of any work by the sub-Contractor.

SECTION 16: OWNERSHIP OF WORK

All finished or unfinished documents, studies, reports, computer files and materials prepared by Contractor and subcontractors under this Agreement shall be considered the property of the City and will be turned over to the City upon demand, but in any event, upon completion of the Project. The Contractor shall be allowed to retain copies of documents for his permanent records, if desired.

//The City and the Contractor will agree to keep trade/business information of the //site of service// confidential and will enter into an agreement with //name of site// to protect this confidentiality.

SECTION 17: ASSIGNABILITY

Contractor shall not assign, delegate, or transfer this Agreement or any work hereunder, nor assign any monies due or to become due hereunder, except as expressly stated herein. In no event shall any contractual relation be created between any third party and the City without prior written consent of the City. A consent to one assignment shall not be deemed to be consent to any subsequent assignment.

SECTION 18: INTEGRATION; AMENDMENTS

This Agreement sets forth the entire understanding of the parties with respect to the subject matter herein. There are no other agreements, expressed or implied, oral or written, except as set forth herein. This Agreement may be amended upon written mutual consent of both parties hereto. Amendment requiring changes in compensation shall be subject to the City's change order procedures.

SECTION 19: NOTICES

Notices and requests to the City or Contractor shall be delivered at the following addresses, either served personally on the designated representative or by U.S. Postal Service at the following addresses:

City:
Title of Contact
City of La Mesa
8130 Allison Avenue
La Mesa, CA 91942
(619) 667-////
FAX (619) ///-////

Contractor:
Title of Contact
Name of Firm
Address
City, State Zip
(///) ///-////
FAX (///) ///-////

SECTION 20: DISPUTE RESOLUTION

The City shall require that all Contractors agree to submit any unresolved claims, counterclaims, disputes, controversies and other matters between them and the City or the Contractor and/or any sub-contractors of any tier arising out of or relating to their agreement with the City or the breach thereof ("disputes") first to mediation and then if not resolved, to non-binding arbitration prior to initiating suit or judicial proceeding.

If applicable – As provided in Public Contract Code section 9204, any claim filed by the Contractor on a public works project shall be reviewed by the City with 45 days and a written statement will be provided to the Contractor identifying what portion of the claim is disputed and what portion is undisputed. Upon receipt of a claim, the City and the Contractor may, by mutual agreement, extend the time period or it may be extended to allow City Council approval. The Contractor shall include reasonable documentation to support the claim. Any payment due on an undisputed portion of the claim shall be processed and made within 60 days after the City issues its written statement.

SECTION 21: TERMINATION OF AGREEMENT FOR CAUSE OR CONVENIENCE

If, through any cause, the Contractor shall fail to fulfill in timely and proper manner his obligations under this Agreement, or if the Contractor shall violate any of the covenants, agreements, or stipulations of this Agreement, the City shall thereupon have the right to terminate this Agreement immediately by giving written notice to the Contractor of such termination and specifying the effective date thereof. In such event, all finished or unfinished documents, data, studies, surveys, drawings, maps, models, photographs and reports prepared by the Contractor under this Agreement shall, at the option of the City, become its property and the Contractor shall be entitled to receive just and equitable compensation for any work satisfactorily completed hereunder.

In addition to termination for cause, the City may terminate this Agreement for City's convenience upon not less than fifteen (15) days written notice to Contractor. Upon receipt of said notice, the Contractor shall immediately cease all work under this Agreement unless said notice provides otherwise. If this Agreement is terminated as provided in this paragraph for City's convenience, the Contractor shall be required to provide to City all finished or unfinished documents, data, studies, services, etc., prepared by the Contractor as may be requested by City

and such work shall become City's property upon payment to Contractor for the value of the work performed, less payments of compensation previously made.

Notwithstanding the above, the Contractor shall not be relieved of liability to the City for damages sustained by the City by virtue of any breach of the Agreement by the Contractor, and the City may withhold any payments to the Contractor for the purpose of set-off until such time as the exact amount of damages due the City from the Contractor is determined.

SECTION 22: BUSINESS LICENSE

The Contractor, including all sub-contractors, shall obtain a business license for work within the City of La Mesa pursuant to La Mesa Municipal Code Sections 6.08.010 through 6.08.240.

No payments shall be made to any Contractor until such business license has been obtained, and all fees paid therefor, by the Contractor and all sub-contractors. Business license applications and information may be obtained from the Finance Department, City Hall, 8130 Allison Avenue, La Mesa, CA 91942-5502, (619) 667-1118 or online at cityoflamesa.us/buslic.

SECTION 23: INTEREST OF MEMBERS OF THE CITY

No member of the governing body of the City and no other officer, employee, or agent of the City who exercises any functions or responsibilities in connection with the planning and carrying out of the program, shall have any personal financial interest, direct or indirect, in this Agreement; and the Contractor shall take appropriate steps to assure compliance.

SECTION 24: INTEREST OF CONTRACTOR AND EMPLOYEES; STATEMENT OF ECONOMIC INTERESTS

The Contractor covenants that he presently has no interest and shall not acquire interest, direct or indirect, in the study area or any parcels therein or any other interest which would conflict in any manner or degree with the performance of his services hereunder. The Contractor further covenants that in the performance of this Agreement, no person having any such interest shall be employed. City may require Contractor to complete and submit a Form 700, Statement of Economic Interests, in accordance with applicable law, to City Clerk.

SECTION 25: FACILITIES AND EQUIPMENT

Contractor shall, at its sole cost and expense, furnish all facilities and equipment which may be required for furnishing services pursuant to this Agreement.

SECTION 26: INDEPENDENT CONTRACTOR

At all times during the term of this Agreement, Contractor shall be an independent contractor and shall not be an employee of City. City shall have the right to control Contractor only insofar as

the results of Contractor's services rendered pursuant to this Agreement; however, City shall not have the right to control the means by which Contractor accomplishes services rendered pursuant to this Agreement.

SECTION 27: PERS ELIGIBILITY INDEMNIFICATION

In the event that Contractor's employee providing services under this Agreement claims or is determined by a court of competent jurisdiction or the California Public Employees Retirement System (PERS) to be eligible for enrollment in PERS of the City, Contractor shall indemnify, defend, and hold harmless City for the payment of any employer and employee contributions for PERS benefits on behalf of the employee as well as for payment of any penalties and interest on such contributions which would otherwise be the responsibility of the City.

Notwithstanding any other agency, state or federal policy, rule, regulation, law or ordinance to the contrary, Contractor's employees providing service under this Agreement shall not qualify for or become entitled to, and hereby agree to waive any claims to, any compensation and benefit including but not limited to eligibility to enroll in PERS as an employee of City and entitlement to any contributions to be paid by City for employer contributions and/or employee contributions for PERS benefits.

SECTION 28: TIME

Contractor shall devote such time to the performance of services pursuant to this Agreement as may be reasonably necessary for satisfactory performance of Contractor's obligations pursuant to this Agreement.

SECTION 29: CONTRACTOR NOT AGENT

Except as City may specify in writing, Contractor shall have no authority, express or implied, to act on behalf of City in any capacity whatsoever as an agent. Contractor shall have no authority, express or implied, pursuant to this Agreement to bind City to any obligation whatsoever.

SECTION 30: NON-DISCLOSURE

The designs, plans, reports, investigations, materials and documents prepared or acquired by the Contractor pursuant to this Agreement (including any duplicate copies kept by the Contractor) shall not be shown to any other public or private person or entity, except as authorized by the City. The Contractor shall not disclose to any other public or private person or entity any information regarding the activities of the City except as authorized by the City.

SECTION 31: SUBCONTRACTING

None of the services covered by the Agreement shall be subcontracted without the prior consent of the City. The Contractor shall be as fully responsible to the City for the acts and omissions of

his subcontractors, and of persons either directly or indirectly employed by them, as he is for the acts and omissions of persons directly employed by him. The Contractor shall insert in each subcontract appropriate provisions requiring compliance with the labor standards provisions of this Agreement.

SECTION 32: CHANGES

The City may, from time to time, request changes in the Scope of Services of the Contract to be performed hereunder. Such changes, including any increase or decrease in the amount of the Contractor's compensation, which are mutually agreed upon by and between the City and the Contractor shall be incorporated to this Contract.

SECTION 33: JOB SITE SAFETY

The general or prime Contractor who is responsible for means, methods and procedures of the project shall be responsible for job site safety.

The prime contractor and all sub-contractors of all tiers shall:

- A. Be responsible for the safety of their respective employees as required by law.
- B. Come under the jurisdiction and supervision of the general or prime contractor's job site safety program.
- C. Exercise reasonable care to avoid risk of injury to others as required by the professional standard of care.

SECTION 34: PREVAILING WAGES FOR PUBLIC WORKS PROJECTS– IF APPLICABLE

- A. No professional Contractor or sub-Contractor subject to the requirements of State of California's prevailing wages may be awarded a contract, or contracted with, for a public works project (submitted on or after April 1, 2015) unless registered with the Department of Industrial Relations pursuant to Labor Code section 1725.5 [with limited exceptions from this requirement for bid purposes only under Labor Code section 1771.1(a)].
- B. This project is subject to compliance monitoring and enforcement by the Department of Industrial Relations.

SECTION 35: CONFLICT BETWEEN AGREEMENT AND OTHER DOCUMENTS

In the event of a conflict between this Agreement and any documents incorporated by reference in this Agreement, the terms and conditions of this Agreement shall supersede those contained in any such document incorporated by reference.

SECTION 36: DATE OF AGREEMENT

The date of this Agreement shall be the date it shall have been signed by a duly authorized representative of City.

IN WITNESS WHEREOF, City and Contractor have executed the Agreement.

Name of Firm //

Date: _____

By: _____
name, title

CITY OF LA MESA,
A Municipal Corporation

Date: _____

By: _____
Mayor

Date: _____

Attest: _____
City Clerk

Date: _____

By: _____
City Manager or Department Head

Date: _____

By: _____
Department Head or Project Manager

APPROVED AS TO FORM

CITY ATTORNEY

Attachment: Exhibit A – Scope of Work and Fee Schedule



INTERWEST

A SAFEbuilt COMPANY

CITY OF LA MESA

Consultant Services for Building Services in the City of La Mesa | RFP 23-03

July 20, 2022

INTERWEST CONSULTING GROUP

Steve Nero

Senior Director of Business Development

snero@safebuilt.com

www.interwestgrp.com



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APPENDIX

- Staff Resumes



A | Cover Letter

July 20, 2022

City of La Mesa
8130 Allison Avenue
La Mesa, CA 91942



Subject: Proposal to Provide Building Services to the City of La Mesa | RFP 23-03

Interwest Consulting Group (Interwest) understands that the City of La Mesa seeks qualified consultants to provide building administration, permit issuance, plan check, inspections, and public counter services. Interwest, formerly EsGil, has had the pleasure of providing these services to local municipalities for decades. Our team stands capable and ready to provide these quality building services to support the City of La Mesa.

With a deep bench of more than 200 professionals dedicated to providing building safety services to our clients, Interwest maintains the largest staff of building safety professionals in California. Our proposed team was carefully selected based upon their expertise, qualifications, and building code knowledge, as well as their hands-on experience serving local municipalities. In order to provide the full scope of work, we plan to partner with subconsultants, **Ninyo & Moore** for geotechnical and hillside development review services, and **D-MAX Engineering** to provide stormwater compliance inspections. Both firms are currently providing these services to the City and have a wealth of insight into local and City-specific concerns and requirements.

Our goal is to provide experts in the industry who can perform services for building departments in a seamless manner by customizing our services to correspond with our client's expectations and needs. We strive to work collaboratively with Building Division and other City personnel, applicants, and designers to resolve issues as efficiently as possible to expedite the plan review and inspection process with our focus being the successful outcome for the project.

David Kniff, AIA will act as the Plan Check Project Manager for this engagement and Bill Elizarraras will act as the Field Services Project Manager. David will be the City's day-to-day contact for any questions under this agreement. Steve Nero, Senior Director of Business Development, will serve as the primary contact to the City throughout the duration of the proposal process. Their contact information has been provided below:

Plan Check Project Manager	Field Services Project Manager	Primary Contact
David Kniff, AIA 858.560.1468 dkniff@esgil.com	Bill Elizarraras, ICC 858.740.9901 belizarraras@esgil.com	Steve Nero 949.201.2468 snero@safebuilt.com

Local Office: 9320 Chesapeake Dr. | Suite 208 | San Diego, CA, 92123 | Fax: 714.899.9039 **Only 11 miles from City Hall**

As President of Interwest Consulting Group, I am authorized to sign any agreements that may result from this proposal and will provide contract support to the proposed Interwest team. If you have any questions, please do not hesitate to contact me at 619.372.9962 or pmeschino@interwestgrp.com.

We appreciate the opportunity to present our qualifications to the City of La Mesa and look forward to serving your community.

Respectfully Submitted,

Paul Meschino
President, Interwest Consulting Group



B | Scope of Work

Why Interwest?

Interwest strives to create thoughtful, tailored solutions with the goal of building thriving communities across California. The ultimate measure of our success is defined by the strength of our relationships with the people we work with and the people we work for.



- + **One-stop-shop.** Interwest has the knowledge, experience, professional resources, and variety of disciplines to comprehensively and professionally provide the full range of services desired by the City.



- + **Local Experience.** We provide complete building department services to municipalities throughout the State of California including to the Cities of Encinitas, Poway, Santee, Solana Beach, Lemon Grove, Lake Forest, and Pomona. Please see the following section for a more comprehensive listing. All services will be directed from [our San Diego office, just 11 miles from La Mesa City Hall.](#)



- + **Your Industry Experts.** Our staff holds a wealth of code knowledge and building industry experience with some involved in the development of the California codes. We share this unique knowledge by providing code-related training and instruction at California Building Officials conferences, training seminars at various ICC Chapters as well as other professional organizations. Our technical and administrative staff is highly trained, attending seminars and code development sessions, and educational conferences to keep current on up-to-date industry methods and information.



- + **Your Partner.** Interwest professional staff understands, values, and appreciates the importance of developing meaningful community partnerships to responsibly and respectfully understand and resolve stakeholder issues and concerns in a manner which reflects positively on the communities we serve.



- + **Customer Service.** Interwest Core Values and beliefs are compatible with the high-quality professional and customer service expectations of the City of La Mesa. The customer experience provided by Interwest will reflect the critically important intangibles of commitment, desire, and initiative.

LOCAL SOUTHERN CALIFORNIA EXPERIENCE

Interwest has provided plan review, inspection, permit technician services since our incorporation in 2002 and has licensed engineers, ICC certified Plan Reviewers, and CASp Certified plan reviewers who can provide a full spectrum of required plan review. Our staff are experts in their fields and can assist with single and multi-family residential, commercial and industrial projects in the areas of fire and life safety, structural, energy, green code, accessibility, electrical, mechanical, and plumbing plans.

Interwest currently provides plan review services to the following municipalities in Southern California.

CLIENT	SCOPE OF WORK	YEARS SERVED
City of Anaheim	Plan Review, Inspection, Permit Technician	2016 - Present
City of Chino Hills	Building & Accessibility Plan Review & Inspection	2015 - Present



City of Chula Vista	Building Plan Check, Inspection & Permit Technician Services (<i>services provided as EsGil</i>)	2017 - Present
City of Corona	Building & Fire Plan Check & Inspection	2016 - Present
City of Coronado	Building & Fire Plan Review, On-Call Inspections, On-Call Permitting Services (<i>services provided as EsGil</i>)	1982 - Present
City of Costa Mesa	Interim Building Official, Plan Review & Inspection	2007 - Present
City of Eastvale	Building Official, Plan Review, Inspection, Permit Technician	2010 - Present
City of El Cajon	Building Plan Review and Inspection (<i>services provided as EsGil</i>)	1991 - Present
City of El Monte	Plan Review, Inspection, Permit Technician	2018 - Present
City of Encinitas	Building Plan Review, Inspection, and Permitting Services	1987 - Present
City of Escondido	Plan Review	1984 - Present
City of Garden Grove	Plan Review, Inspection	2017 - Present
City of Inglewood	Plan Review, Inspection	2017 - Present
City of Irvine	Plan Review, Inspection, Permit Technician	2016 - Present
City of Lake Forest	Building Official, Plan Review, Inspection, Permit Technician	2009 - Present
City of Long Beach	Plan Review, Inspection	2015 - Present
City of Murrieta	Plan Review, Inspection	2013 - Present
City of Palmdale	Plan Review, Inspection	2018 - Present
City of Perris	Plan Review, Inspection	2018 - Present
City of Pomona	Building Official, Building and Grading Plan Review, Inspection, Permit Technician	2009 - Present
City of Poway	Building Plan Review, Inspection, and Permitting Services	1981 - Present
City of Santee	On-Call Building Plan Review, Inspection, and Permitting Services (<i>services provided as EsGil</i>)	1986 - Present
City of Solana Beach	Building Plan Review, Inspection, and Permitting Services, On-Call Fire Plan Review (<i>services provided as EsGil</i>)	1986 - Present
City of Temecula	Plan Review, Inspection (<i>services provided as EsGil</i>)	1992 - Present
City of Tustin	Plan Review, Inspection	2012 - Present
City of Upland	Building Official, Building & Fire Plan Review, Inspection, Permit Technician	2014 - Present
City of Wildomar	Building Official, Plan Review, Inspection, Permit Technician	2008 - Present
City of Yorba Linda	Plan Review	2010 - Present
County of Riverside	Plan Review, Inspection	2015 - Present
County of San Diego	Plan Review, Inspection (<i>services provided as EsGil</i>)	1986 - Present



Building Administration Services



Our proposed Building Official, **Oscar Herrera, CBO, ICC is an ICC certified Building Official and ICC Master Code Professional with 31 ICC certifications** in Plans Examination and Building Inspection disciplines and more than 19 years of experience serving municipalities. Oscar will be available for 24-hour, emergency on-call services and as required to answer questions, attend applicable meetings and provide expertise on items and projects requiring a high level of building and safety expertise. He can also be available to inspect properties and provide simple over-the-counter plan review as required. He will also be responsible for overseeing building plan check, inspection, code compliance and permitting, and acts as an official City representative on building-related matters.

Oscar will act as a Building Official in accordance with the California Building code, adopted building codes and ordinances as specified in Federal and State law, and will take responsibility for the daily administration of Building Services activities including:

- + Serve as the City's Building Official enforcing building code, construction and construction site stormwater management codes to ensure public and environmental safety and health
- + Provide a high-level of customer resolve, excellent communication, and responsiveness to all applicants
- + Be available for 24-hour, emergency on-call services as needed
- + Manage, coordinate, and oversee the building permit and plan check, building inspection, staffing, and building counter services so that they function as a cohesive service for the City and public
- + Establish and implement building procedures to ensure a high level of customer satisfaction

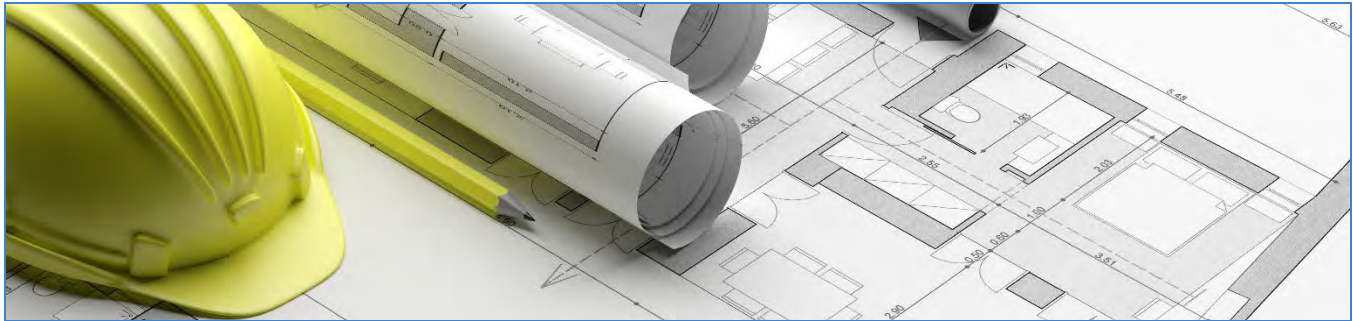
BUILDING OFFICIAL QUALIFICATIONS

Our assigned Building Official has:

- ✓ *19+ years increasingly responsible experience, including two years in a supervisory or lead role*
- ✓ *ICC Certified Building Official, Plans Examiner, and Inspector.*
- ✓ *19+ years of public building department experience.*
- ✓ *Experience with infill development and density bonus projects*
- ✓ *Experience with use and configuration of permit tracking software*
- ✓ *Excellent oral and written communication skills*
- ✓ *Solution-oriented customer service experience with a wide range of customers, including developers, contractors, homeowners, business owners and City staff*



- + Make determination on the approval and use of alternative materials and methods of construction
- + Provide over-the-counter plan check for minor residential remodels and commercial tenant improvements
- + Oversee and manage required construction site stormwater quality inspection, reporting and records maintenance
- + Issue Certificates of Use and Occupancy for buildings and structures
- + Resolve interpretation issues for compliance with adopted codes
- + Be available to answer questions, inspect properties (as back up), attend applicable meetings and provide expertise on items and projects requiring a high level of building and safety expertise
- + Provide information and assistance to homeowners, businesses and the development community
- + Meet with homeowners, business owners, developers, architects, engineers and the general public at the City or in the field, as the need dictates, to resolve grievances and/or respond to questions and ensure timely project processing in compliance with Federal, State and City laws and ordinances
- + Manage staffing levels and staff to ensure that all established timeframes are met and ensure quality control review of plan checks and inspections
- + Interface with other City departments/divisions in coordinating plan approval and building/stormwater code related issues
- + Assist in the preliminary review of project development applications for general feasibility of construction as designed to aid in Planning staff's discretionary review prior to a determination subject to the City's regulatory documents, including the DRO, Floodplain, and LCP, including comment and provision of "conditions of approval" for concept plans as part of the City's discretionary process
- + Assist in the maintenance, amendment, and development of ordinances and regulations necessary to the implement and enforce the latest editions of the California Building Code, including any and all related Codes, or other uniform safety codes, laws, or regulations as adopted or amended by the City deemed necessary by the City to protect the health safety and welfare of its citizens
- + Monitor the collection of building plan check, inspection, and permit fees and other building activity level indicators
- + Assist in City efforts to modify/update fees and charges associated with Building Services, including tracking of staff hours and charges to provide Building Services to City
- + Ensure use of the City's permitting software by subordinates to track all building and safety services based on City established plan submittal and review, permit issuance, inspection, and record management processes
- + Attend City Council and/or Planning Commission meetings annually, on an as-needed basis, to address Building related matters
- + Preparation of quarterly SMIP (California Strong Motion Instrumentation Program) and other Building Fee reports as needed
- + Preparation of quarterly progress reports outlining number of permits processed, total valuation or processed permits, and total fees collected
- + Preparation of annual reports detailing the number of dwelling units permitted/constructed each calendar year, both net new and replacement
- + Perform all other administrative building and safety related duties, including developing and implementing office policies and procedures and assuring that files and plans are secured, organized and kept up to date



Building Plan Check Services

All plans examination services will be performed by a licensed Civil or Structural Engineer, and/or an ICC Certified or otherwise qualified Plans Examiner. For more complex projects and when needed to meet peak workload demands, additional support will be provided from our other regional offices. Our plans examiners understand and are intimately familiar with applicable building codes and plan review procedures and policies and will readily assist with solutions to complicated plan review issues.

Our staff will work with project applicants in a collaborative and professional manner to quickly identify and resolve violations of codes, standards or local ordinances. They will provide thorough plan reviews in an effort to ensure complete and accurate construction documents to minimize questions and problems during the construction phase of projects.

Technical Capabilities in Plan Check Areas

Interwest staff possesses significant technical capabilities in all areas of plans examination competence. Plans examiners are licensed engineers and/or ICC Certified or otherwise qualified Plans Examiners with extensive experience providing plan review services. Plans examination activities will be performed under the direction of a California licensed professional engineer and/or licensed architect. Our staff will conduct accelerated plan review on as as-needed basis as requested by the Building Official.

Non-Structural Life Safety

Interwest's non-structural plans examiners furnish plan review services for a vast array of projects including large residential, commercial, institutional, industrial, retail, and OSHPD 3 medical office buildings. Many of our plans examiners are CASp certified. Completed plan review projects range from single-story residential projects to complex high rise buildings and numerous building additions and remodels. We are experienced and familiar with the use and application of the most current editions of the following codes:

- + California Building Standards Code
- + Americans with Disabilities Act Standards for Accessible Design
- + ANSI Standards
- + NFPA Codes & Standards
- + CA Code of Regulations (CCR) Titles 19 and 24
- + Jurisdiction-adopted amendments or ordinances

Structural

Our California-licensed Structural Engineers have experience designing and reviewing projects utilizing virtually all building materials:

- + Wood
- + Cold-Formed Steel Framing
- + Masonry
- + Straw Bale



- + Heavy Timber / Timber Frame
- + Concrete
- + Structural Steel
- + Rammed Earth
- + Aluminum

Our engineers have designed or reviewed a wide array of lateral force resisting systems including:

- + Steel Moment Frames
- + Buckling Restrained Braced Frames
- + Eccentric Braced Frames
- + Concentric Braced Frames
- + Concrete Moment Frames
- + Wood Shearwall Systems
- + Masonry Shearwall Systems
- + Concrete Shearwall Systems
- + Cantilevered Column Systems
- + Various Proprietary Lateral Force Resisting Systems

Our structural engineers are experienced with the provisions of most model codes including, but not limited to, current versions of:

- + CCR Title 24, Part 2, Volume 2
- + AISC 341, 358 and 360
- + ASCE 7 & 41
- + AISI Standards for Cold Formed Steel
- + ANSI / AF&PA NDS for wood framing
- + ACI 318
- + ACI 530 / TMS 402/602
- + CA Historical Building Code
- + CA Existing Building Code
- + NEHRP Requirements for Existing Building
- + International Existing Building Code, Appendix A2 and A5

Mechanical, Plumbing & Electrical

Interwest's California-licensed Mechanical and Electrical Engineers are well-versed in the application California Mechanical, Plumbing, Electrical, Energy and Green Building Standards Codes:

- + California Building Code
- + California Residential Code
- + California Plumbing Code
- + California Mechanical Code
- + California Electrical Code
- + Jurisdiction-adopted amendments or ordinance

Energy Compliance

Our engineers and plan reviewers are up-to-date on all California Energy requirements as they relate to both new and remodel construction on large residential and commercial projects. The Energy Efficiency Standards for Residential and Nonresidential Buildings were established in 1978 in response to a legislative mandate to reduce California's energy consumption. These standards are updated periodically to allow consideration and possible incorporation of new energy efficiency technologies and methods.

Green Building Standards

Our staff is familiar with the incorporation of CALGreen building criteria into project designs and the resulting potential impact as related to the building codes. In addition, staff members have participated in the development of various "green" standards for super adobe, rammed earth, and straw bale construction, to name a few.

LEED

Developed by the US Green Building Council (USGBC), LEED provides building owners and operators a framework for identifying and implementing measurable green building design, construction, operations and maintenance solutions. LEED certification consists of a number of different rating systems that apply to many building types—commercial as well as residential and measures how well a building performs across many sustainability metrics including: energy savings, water efficiency, CO2 emissions reduction, improved indoor environmental quality, and stewardship of resources and sensitivity to their impacts.



Access Compliance – CASp Review

All of Interwest's CASp-Certified professionals are knowledgeable of state and federal accessibility laws and regulations and possess the expertise necessary to promote access to facilities for persons with disabilities. Our goal is to provide experts in the industry who can perform services for building departments by customizing our services to correspond with our client's expectations and needs. We work collaboratively with our clients to resolve plan review and inspection related issues as efficiently as possible, ultimately resulting in an expedited process and successful project.

Our architects and plans examiners are fully trained and familiar with CA Building Code Accessibility requirements and ADA compliance regulations and are available for plan review and/or evaluations and consultation. We offer support to municipalities for compliance enforcement and/or developing a transition plan towards compliance, and successfully partner with the disabled community to address the needs and requirements for both entities. We can assist our clients in interpreting various issues relating to access compliance, such as access compliance obligations, transition planning, construction costs, construction phasing, code 'interpretation,' hardship and code changes.

Flood Zones

Interwest's staff of engineers and plans examiners have experience in providing plan reviews for projects located in flood zones, as several of our clients have developments that occur in areas prone to flooding. Interwest's staff has provided numerous plan reviews for projects located in flood zones using FEMA's Technical Bulletins as well as the local jurisdiction's ordinances. In addition, members of Interwest's staff have participated in state-sponsored committees to establish guideline and regulations for construction in areas designated as flood zones.

OSHPD 3

Our staff of plans examiners has extensive experience in providing plan reviews for OSHPD 3 projects. Our staff is well versed with the OSHPD 3 requirements contained in the California Building Code. We also have OSHPD certified inspectors available on an as-needed basis.

Code Interpretations

Code interpretations are subject to final review and approval by the Chief Building Official, or City designated staff. Interwest's engineers and plans examiners will provide unbiased recommendations and background information to help the Building Official or Fire Marshal make an informed decision. All plan review comments are subject to review and approval by the City Building Department.

Special Projects

Interwest is able to accommodate special project plan review needs such as fast-track, multi-phased, or accelerated plan reviews. We establish project specific turn-around goals and procedures with jurisdiction staff for these types of projects based on the complexity of the projects as well as the construction schedule.

Our staff of engineers and plans examiners will work with the City as well as with applicants and designers to resolve all plan review issues. Our staff will deal directly with applicants and their designers during the plan review process to resolve all issues. Interwest will furnish assigned personnel with all materials, resources and training necessary to conduct plan reviews, including a current copy of the applicable City amendments, policies, procedures and forms.

Communicating Plan Review Results

Plan reviews, when not immediately approved, will result in lists of comments referring to specific details and drawings, and referencing applicable code sections. Interwest will provide the City a clear, concise and thorough document from which clients, designers, contractors and owners can work. At the completion of each plan review cycle, Interwest will return an electronic copy of the plan review comment list to the designated City representatives. Upon completion of the plan review, after all plan review issues have been resolved, Interwest will electronically stamp all final documents annotated as "reviewed for code compliance" to the City for final approval and permit issuance.

On-Site Consultant Services & Meeting Attendance

Our staff is available for pre-construction or pre-design meetings, field visits, contacts with the design team, and support for field inspection personnel as needed. With some reasonable limitations, pre-construction and pre-design meetings associated with projects that we plan review are considered part of the plan review service.

Interwest's engineers and plans examiners will be available to meet with City staff, the design team, applicants, and/or contractors, at the City's request, to discuss and resolve plan review and code related issues. We will be available within one (1) business day to respond to questions from the City that may be generated during field inspections for each authorized plan check that is subsequently issued a permit for construction. Voice mails and e-mails will be responded to as quickly as possible, always within 24 hours.

Plan Review Tracking Methods & Billing Process



Our staff has experience working with most project tracking databases utilized by building departments. Our staff will update electronic records and make project related database entries as directed by the City.

We will create and maintain a Jurisdiction File containing our research on any unique amendments or specifications required by your jurisdiction, billing arrangements, contact information and any special requests you would like us to keep in mind.

Interwest uses a custom-designed database to maintain and track all plans throughout the review process from the moment you request a pick-up and/or shipment to delivery of the final, approved documents. Information such as project name, City's project number, assigned plan reviewer(s), date documents were received, plan review cycle and completion date for current review can be provided. In addition to standard phone communication, custom reports can be emailed.

In addition, we can provide online tracking for the City with a custom-designed web template geared to provide any reporting and information needs required.



Building Inspection Services

Building inspectors qualified to perform residential and commercial inspections can be made available as-needed during normal business hours (40 hours/week). Inspectors can also be flexible to assist during special off-hours by request with advance notice.

Assigned staff will perform inspection services, as needed, to verify that the work of construction is in conformance with the approved project plans as well as identifying issues of non-compliance with applicable building and fire codes. Our field inspection services will include site inspections and writing legible and understandable correction and violation notices and field reports. In addition, we will be available to answer in-person or telephone inquiries.

We understand that municipal codes are frequently updated, so we will ensure that the projects we are inspecting are compliant with current code requirements. More specifically, we will ensure compliance with Title 24 California Building Codes, parts 1, 2, 2.5, 3, 4, 5, 6, 8, 9, 10, 11 and 12, covering structural, fire prevention, life safety, disabled access, energy conservation, green building, plumbing, mechanical and electrical installations in residential, commercial, industrial, existing and historical buildings.

Interwest's ICC / CASp certified inspectors have performed both building and fire inspection services on a wide variety of construction projects including new residential developments, large custom homes, and commercial, institutional, assembly, essential service buildings and industrial projects. When necessary for large or fast-track projects, multiple inspectors are available.

Interwest's inspectors will provide field inspections including site inspections of projects to verify conformance with approved drawings and specifications which will include review of the permit documents to verify that onsite conditions are consistent with the approved documents for square footage, setbacks, heights and any other applicable conditions. At the completion of inspections, Interwest's inspectors will complete all necessary City forms and documents as required to provide seamless service.

We understand that personality and customer service is crucial to on-the-job success, therefore, we have selected inspectors who are well versed in customer service and skilled in dealing with people both at the public counter and in the field. All inspection personnel assigned will be ICC and / or CASp certified as required.

Inspector Qualifications & Certifications

Interwest retains inspectors who are motivated to achieve the highest level of experience and



certification. We work hard to match your jurisdiction's level of safety and code compliance. All Interwest inspectors are ICC-certified.

Inspection personnel assigned will be able to read, understand and interpret construction plans, truss drawings and calculations, prepare and maintain accurate records and reports, communicate effectively orally and in writing and to work effectively with contractors, the public and general staff. Inspectors will possess knowledge of approved and modern methods, materials, tools and safety used in building inspection and the most current building standards.

Virtual Inspections

Our staff has begun providing Remote Video Inspections (RVI), which allows for the inspection of a building or building systems using already available video technology. RVI is intended to be a complete and thorough inspection that meets the minimum requirements of the California Codes and local ordinances.

Inspection Schedule

Interwest will work with your organization to provide inspection staff in a timely manner. Our inspectors are familiar with a multitude of jurisdictional scheduling and tracking systems and can quickly adapt to jurisdiction requirements. Emergency inspections (usually requests that pertain to a serious or urgent life/safety issue) can be provided as they are needed; nights, holidays, or weekends.



Permit Technician Services

Permit technician services are crucial to the success of the entire building safety process as they are the first impression the public gets of your building department. Contact with the public at this initial point sets the tone for any additional interaction throughout the life of a project, whether engaging the homeowner, architect, developer, contractor, or other community members. Delivery of excellent customer service, maintaining a smooth flow of documents and plans throughout departments, and tracking and reporting are key elements to furnishing a first-rate, efficient, and memorable experience to your clients.

Our Building Permit Technicians will welcome and work closely with customers at the public counter answering all questions. They will provide information about permit applications, plan review and inspection requirements, will be excellent at organizing and maintaining the filing systems necessary for tracking in-progress applications, permits issued, plan check in progress, approved plans and any other information required by the City. Resumes for proposed Building Permit Technicians will be presented to the Chief Building Official for approval and acceptance before providing services.

Services provided by the Building Permit Technician may include:

- + Provide customer support and assistance at the permit center counter and over the phone.
- + Assist the public in completing permit applications and other necessary forms.
- + Determine permit, plan, and process requirements for permit applicants and notify the applicant when construction documents or permits are ready for pick up or issuance.
- + Answer questions quickly and correctly directly from the public via phone calls and emails.
- + Receive, process and issue building permits and coordinate the plan review and inspection process, including tracking, routing, and storage of plans.
- + Review permit applications and other pertinent information to verify accuracy and completeness of information.
- + Maintain a variety of public records and filing systems necessary for tracking in-progress applications, permits issued, plan checks in progress, approved plans, and other counter-related items.
- + Verify projects have obtained all necessary approvals before issuing permits and that the following have been filed with the City: valid contractor's license, works' compensation and valid business license information.
- + Review and approve less complicated non-structural plan checks over the counter.
- + Create public informational documents and handouts explaining technical issues or requirements for permit issuance, if needed.
- + Welcome and receive customers at the public services counter professionally and courteously.



Permitting Software System and Electronic Plan Review

Interwest understands that the City is undertaking a process review to identify opportunities to streamline review and approval processes. If selected, Interwest would be happy to participate in this process or implement new directives resulting from this process. Our team can provide assistance with the configuration, implementation, and on-going support of the City's permitting software system, including online electronic permitting and plan check and can provide ongoing training available for consulting staff and City staff for full compliance with current building code standards, online software updates, and related issues. We have helped our clients in implementing a variety of streamlined permitting and plan check software and are confident in our ability to assist La Mesa with this process if requested.

We further understand that the City currently uses **MaintStar**, a cloud-based permitting software program with an online customer portal and embedded electronic plan review. If selected, our staff will utilize MaintStar as directed by the City. Our staff is familiar with many plan check and permitting platforms, which will make the training process quick and painless. Our team will assist City staff, as requested, with MaintStar permit, inspection, and fee configuration to support Building Division operations.

Electronic Plan Check Services

Interwest currently provides electronic plan review services for multiple jurisdictions throughout California, and we are prepared to provide electronic plan check for the City. We are familiar with many electronic plan review platforms, including the platform used by the City of La Mesa.

We understand that our team will be required to use MaintStar for electronic plan checking services and will assist with the ongoing development of policies and procedures for electronic plan checking. The plan checkers assigned to the City will become quickly proficient in the use of MaintStar electronic plan review software to accommodate the public demand for electronic plan checking in accordance with maximum service delivery timeframes stated herein. Our staff is experienced providing electronic plan review. Our goal is always to collaborate with and support the building department by providing thorough, accurate and timely plan reviews.



Engineering Plan Review

Interwest has the collective, diverse team of people and experience to perform a full range of plan check services. More importantly, we possess the knowledge and skills necessary to effectively integrate the necessary engineering services with the client's staff to create a design plan check process that is **coordinated, consistent, and predictable**.

All plan reviews will be evaluated by the project manager for quality control of the plan review, the level and quality of comments from the review, consistency with similar reviews, the avoidance of late hits or "gotcha" comments, the evaluation of the design professional's submittal and whether they are addressing prior comments or have justifiable reasoning in their designs that may allow deviations from standards, with City approval. The project manager will meet with the design professional and their client if prior comments are not being addressed. We have found this will get the process back on track or provide the project owner/client with a more realistic schedule based on their design professionals' actions.

The discussion above describes Interwest's philosophy and approach of "how" we do our work. A typical scenario for "what" we do related to the review and processing of plans, follows:

- + Provide **plan checking** relative to applicable codes and locally adopted standards.
- + **Collaborate with internal and external entities** relative to plan check comments.
- + Perform **sewer and storm drain review and impact/assessment fee assessment** for individual sites applying for development entitlements using the current City Sewer and Storm Drain Master Plans as a basis.
- + Review **hydrology and hydraulics reports and calculations** for individual sites based on City Master Plans of Drainage and County Hydrology Manual and City Standards.
- + Review **development, street improvement plans, grading plans, traffic related plans and documents, real property documents, and other similar plans** for conformance with City Codes, Standard Plan & Details, Greenbook Standard Specifications, ADA requirements and other related standards.



- + Review and comment on [Water Quality Management Plans, Erosion and Sediment Control Plans and Stormwater Pollution Prevention Plans](#).
- + Review and comment on [landscape and irrigation plans](#), specifically as they relate to the City's Water Conservation Ordinance, the Grading Code as well as proper establishment, and ongoing maintenance of slopes, drainage facilities and other infrastructure and plant materials.

PLAN CHECK TIME FRAMES

Plan checking shall follow a set schedule of turnaround timeframes as established by the City. It is strongly expected that plan checks should not exceed three (3) total plan check cycles. Turnaround times are not to exceed the following:



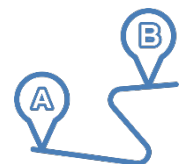
- + [First Check](#): Twenty (20) working days
- + [Second Check](#): Fifteen (15) working days
- + [Third Check](#): Ten (10) working days
- + Plans should be ready for approval and submitted in Mylar by [Fourth \(4\) Check](#).

Periodic meetings shall be scheduled to discuss plan check issues with the City's project engineers. Unless otherwise directed by City staff, no plan check shall be returned to the developer, or the developer's representative, until the City's project engineers have been updated on the status of the plan checks being returned.

For any reason, if a plan check is expected to exceed three (3) cycles, Interwest shall inform the City's engineering staff, and a meeting will be coordinated by Interwest staff and developer to resolve outstanding issues. This is usually foreseen after the second submittal so as to get the review "back on track" and avoid further delays and added costs to the city and project. To the extent feasible, Interwest shall perform a thorough review with the first submittal of plans to avoid new comments on any subsequent submittals.

TRANSPORTING PLANS

For any plans not checked electronically, Interwest will arrange for all pick-up and delivery of plan review documents from the City at **no additional cost**. Interwest uses varied methods of pick-up and delivery with the goal of providing same-day service.



PLAN CHECK COMMUNICATION

Plan reviews, when not immediately approved, will result in a list of comments referring to specific details and drawings, and referencing applicable code sections. Interwest will provide a clear, concise, and thorough document (i.e., comment list) and redlined plans from which clients, designers, contractors, and owners can work. Each comment list will include the name and contacts information for the person or persons who completed the review. Comment lists and redlined plans will be delivered to our clients and other designated recipients (e.g., designers, contractors, owners). Upon approval of submitted plans, Interwest will certify in writing that the design is in substantial compliance with applicable local, state and federal requirements. A copy of the approved supporting documents and mylars with plan reviewers' initials shall be sent to the City at the end of the process.



Interwest's staff of engineers and plans examiners are always available and willing to discuss plan review status and/or issues for projects that we have reviewed with City staff, applicants, designers and/or contractors via meetings, phone, video conference, or e-mail as required to resolve issues. Voice mails, e-mails and faxes will be responded to as quickly as possible, usually within 24 hours.



REVIEW CHECKLIST

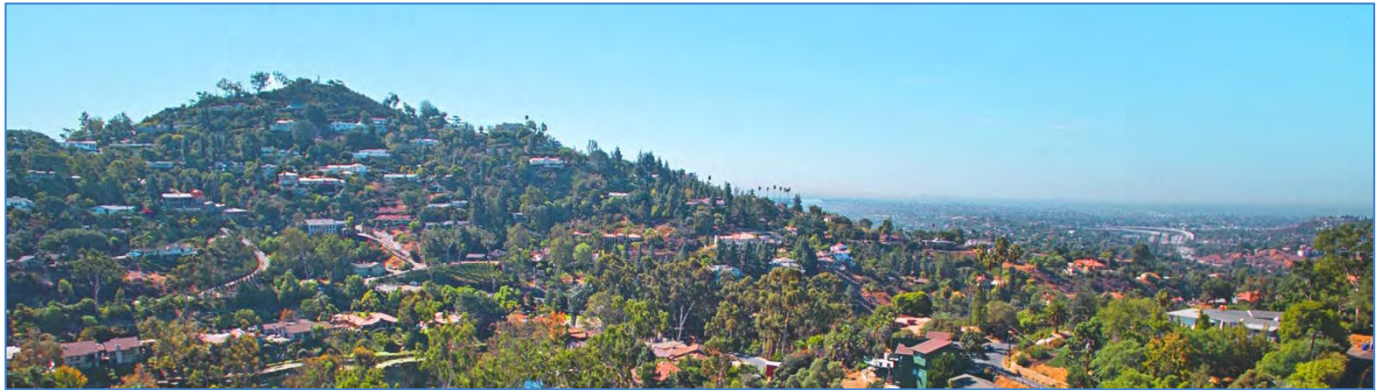
Interwest staff utilized their extensive experience with local government and their expansive network of relationships with local agencies, public utilities, and regional Councils of Government (COGs) to develop numerous checklists and plan-check process documents for client agencies to assist both our plan check engineers and developer's consultants in the plan submission and review process. Examples include:



- + Grading Certification and Compaction Report Review Checklist
- + Grading Plan Preparation Checklist
- + Grading Plans (Mass/Rough Grading) Checklist
- + Improvement Plan Submittals Checklist
- + Utility Plan Checklist
- + Legal Documents Submittals Checklist
- + Hydrology Report Checklist
- + WQMP Review Checklist
- + NPDES Construction Inspection Form
- + Tentative and Final Map Checklists

Interwest staff also use internal review checklists developed in Microsoft Excel for plan review of:

- | | |
|--------------------------|----------------------------------|
| + Maps | + Storm Drains |
| + Mass Grading | + Water Quality Basins |
| + Rough Grading | + Street improvements |
| + Precise Grading | + Sewer and Water Infrastructure |
| + Drainage and Hydrology | + Signing and Striping |



Hillside Development Review and Inspection Services

Interwest proposes to partner with subconsultant **Ninyo & Moore** to provide the necessary geotechnical expertise to provide hillside development review and inspection services. Ninyo & Moore is a California Corporation, minority-owned, multidisciplinary consulting firm that provides high-quality geotechnical and environmental consulting services. The firm was incorporated in 1986 to provide consulting services in geotechnical engineering, construction inspection and testing, engineering geology, hydrogeology, hazardous waste remediation and environmental assessment. [Ninyo & Moore currently provides geotechnical services to the City of La Mesa](#), making them uniquely qualified to support our team in providing their services to the City.

Ninyo & Moore

Geotechnical & Environmental Sciences Consultants

Below is a brief overview of the services Ninyo & Moore will provide under this agreement.

Research and Document Review Services		
1	Establish Project Expectations	<ul style="list-style-type: none"> Meet with City to develop scope of work, fee and deliverables.
2	Project Management	<ul style="list-style-type: none"> Each TA budget will be monitored in real-time (Deltek Vision). District notified at 50%, 75%, and 90% of TA budget. Budget amendment requests will be discussed with the City PM at the 75% mark and will be submitted (if warranted) at 90%.
3	Research & Review	<ul style="list-style-type: none"> Review pertinent available geologic and geotechnical reports and literature including the following. The client is requested to provide copies of documents in its possession. <ul style="list-style-type: none"> Topographic maps, Geologic maps, City of San Diego Geologic Hazards Maps, Fault hazard maps prepared by the State of California, Stereoscopic aerial photographs, and Readily available geologic and fault hazard reports.
4	Data Analysis	<ul style="list-style-type: none"> Perform engineering analysis of field and laboratory data to evaluate design parameters.
5	Client Communication	<ul style="list-style-type: none"> Client meeting where results of research and review are discussed prior to issuance of deliverables.
6	Deliverables	<ul style="list-style-type: none"> Prepare letter report or graphical presenting findings from research and review of project documents.



Stormwater and Grading Inspection Services

Interwest proposes to partner with subconsultant, **D-MAX Engineering, Inc.** (D-MAX), to provide the requested stormwater compliance services. D-MAX is a local environmental consulting firm that specializes in storm water services for municipalities in the San Diego Region. [D-MAX has provided stormwater services to the City of La Mesa since 1996](#) and has recently completed construction stormwater inspections for the nearby Cities of Chula Vista, National City, Lemon Grove, Santee, and Escondido.



D-MAX will provide training to City building inspectors on construction stormwater inspections, focusing on the types of activities and problems most likely to occur at work associated with building permits. Formal training sessions will be held quarterly, and D-MAX staff will also be available to answer questions from City inspectors as-needed. Training sessions will likely focus on practical examples of good and bad BMPs, using photos from actual inspections. This type of training helps engage inspectors in discussion and is more effective than high level discussion of erosion and sediment control principles.

D-MAX will also work with City staff to maintain the City's NPDES inventory of construction sites, including adding new sites when they begin work and marking sites as closed when work is finished. We anticipate this will be done either by obtaining lists of approved and closed out permits from the City on an at least monthly basis and/or regular meetings with City staff to get updates on the status of projects. To meet MS4 Permit requirements, the inventory will be updated at least quarterly. D-MAX will also work with City inspectors to ensure inspection results are recorded so that they can be used for stormwater annual reporting. D-MAX staff will also verify that the inventory and inspection record include all the information required by MS4 Permit Provision E.4.b.

[D-MAX has provided stormwater services to the City of La Mesa for over 25 years, and this experience will help our team effectively liaise with City staff on issues related to construction stormwater inspections and reporting.](#) D-MAX staff are also available to complete stormwater inspections directly when needed, either as regular inspections or periodic inspections to verify compliance in more detail. D-MAX staff have extensive experience with completing construction stormwater inspections for local municipalities, including the cities of Lemon Grove, National City, Santee, and Chula Vista. D-MAX staff also regularly work with regulators at the San Diego Water Board and have successfully represented several local agencies with Water Board audits and updating construction stormwater programs in response to Water Board comments.



C | Firm Information and Qualifications

Firm Background



With a staff of more than 200 professionals in our Building and Safety Division, Interwest maintains the largest building and safety services staff in California.

Interwest Consulting Group has extensive experience and a proven track record of successfully providing complete building department services to public agencies. We currently serve more than 300 public agencies, providing plan review and inspection services.

Interwest was founded by individuals with a passion for serving municipalities. Our company of nearly 500 employees span a multitude of disciplines, roles, and job placements to municipalities within building safety and public works departments throughout California.

Providing building department services is at the core of our business. We have highly qualified staff and extensive resources throughout the state. Interwest is comprised of licensed Civil and Structural Engineers, Electrical Engineers, Fire Protection Engineers, and Mechanical Engineers registered in the State of California, ICC Certified and highly qualified Plans Examiners, Certified Access Specialists (CASP), licensed Architects, and other professionals specializing in providing complete building safety services to local government agencies in accordance with all relevant codes.



Corporate Entity

Colorado Corporation, legally certified to conduct business in the State of California

Years in Business

20 years of experience providing the requested services to municipalities.

Project Office

9320 Chesapeake Drive | Suite 208 |
San Diego, CA, 92123

Only 11 miles from City Hall

Services Interwest Provides

- + Building Department Services
- + Municipal Engineering Services
- + City Planning Services
- + Construction Management
- + Traffic Engineering Services
- + Real Property Services



Insurance

Below we have provided a sample insurance certificate as evidence of our firm's ability to meet the City's requirements.

		CERTIFICATE OF LIABILITY INSURANCE		DATE (MM/DD/YYYY) 11/12/2021															
<p>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.</p>																			
<p>IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).</p>																			
PRODUCER RBN Insurance Services 303 E Wacker Dr Ste 650 Chicago IL 60601			CONTACT NAME: Symone White PHONE (A/C, No, Ext): 312-856-9400 FAX (A/C, No): 312-856-9425 E-MAIL ADDRESS: swhite@rbninsurance.com																
INSURED Interwest Consulting Group P.O. Box 18330 Boulder CO 80308			<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">INSURER(S) AFFORDING COVERAGE</th> <th style="text-align: left;">NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A : Hartford Fire Insurance Co.</td> <td>19682</td> </tr> <tr> <td>INSURER B : Hartford Casualty Insurance Co</td> <td>29424</td> </tr> <tr> <td>INSURER C : Great American E&S Ins. Co.</td> <td>37532</td> </tr> <tr> <td>INSURER D : Twin City Fire Insurance Co.</td> <td>29459</td> </tr> <tr> <td>INSURER E : Bridgeway Insurance Company</td> <td>12489</td> </tr> <tr> <td>INSURER F : Navigators Specialty Ins. Co.</td> <td>36056</td> </tr> </tbody> </table>			INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A : Hartford Fire Insurance Co.	19682	INSURER B : Hartford Casualty Insurance Co	29424	INSURER C : Great American E&S Ins. Co.	37532	INSURER D : Twin City Fire Insurance Co.	29459	INSURER E : Bridgeway Insurance Company	12489	INSURER F : Navigators Specialty Ins. Co.	36056
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<p>THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.</p>																			
INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WYD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS													
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		83UENZV3951	10/3/2021	10/3/2022	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$													
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY		83UENPY9100	10/3/2021	10/3/2022	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$													
F	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 0		CH21EXC885600IC	10/3/2021	10/3/2022	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$													
D	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N N/A	83WECE0623	5/12/2021	5/12/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000													
C E	Professional Liability Excess Liab (2nd) Layer		TER 2861558 8E-A7-XL-0002079-00	10/3/2021 10/3/2021	10/3/2022 10/3/2022	Each Claim/Aggregate 10,000,000 Each Occ/Aggregate 5,000,000													
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)																			
CERTIFICATE HOLDER <div style="border: 1px solid black; height: 40px; margin-top: 10px; text-align: center;">Sample</div>				CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 															



Staff Identification and Qualifications

The Interwest personnel assigned to serve the City of La Mesa will be highly qualified and experienced in providing building safety plan check services to California municipal clients. Our proposed team is dedicated to providing first-class building department support services. Additional information on their background and experience have been included in their resumes in the *Appendix*.

Name / Role	License & Certification	No.
LEADERSHIP		
David Kniff, AIA Plan Check Project Manager Architect	CA Registered Architect	C-19040
	CA General Building Contractor, Class B	707752
	TX Registered Architect	19798
	W12 National Building Contractor	
Bill Elizarraras, ICC Field Inspection Services Project Manager	ICC CA Residential Mechanical Inspector	8727928
	ICC CA Plumbing Inspector	8727928
	ICC Residential Building Inspector	8727928
BUILDING OFFICIAL WITH PLAN CHECK CAPABILITIES		
Oscar Herrera, CBO, ICC Building Inspector	ICC Residential Building Inspector	8407707
	ICC Residential Plumbing Inspector	8407707
	ICC Residential Mechanical Inspector	8407707
	ICC Residential Electrical Inspector	8407707
	ICC Residential Combination Inspector	8407707
	ICC Residential Plans Examiner	8407707
	ICC Permit Technician	8407707
	ICC Fire Inspector I	8407707
	ICC Commercial Building Inspector	8407707
	ICC Building Inspector	8407707
	ICC Residential Fire Sprinkler Inspector/Plans Examiner	8407707
	ICC Commercial Electrical Inspector	8407707
	ICC Electrical Inspector	8407707
	ICC Commercial Plumbing Inspector	8407707
	ICC Plumbing Inspector	8407707
	ICC Commercial Mechanical Inspector	8407707
	ICC Mechanical Inspector	8407707
	ICC Commercial Combination Inspector	8407707
	ICC Combination Inspector	8407707
	ICC Certified Building Official	8407707
	ICC Permit Specialist	8407707
	ICC Legal Module	8407707
	ICC Building Codes and Standards Module	8407707
	ICC Management Module	8407707
	ICC Building Plans Examiner	8407707
	ICC Building Code Specialist	8407707
	ICC Fire Plans Examiner	8407707
	ICC Residential Energy Inspector/Plans Examiner	8407707
	ICC Commercial Energy Plans Examiner	8407707
	ICC Accessibility Inspector/Plans Examiner	8407707
	ICC Master Code Professional	8407707
BUILDING PLAN REVIEW (Building, Fire, Structural, MEP, CASp)		
Erich Kuchar, MS, PE Plan Review Engineer	CA Professional Civil Engineer	90430
	ICC Building Plans Examiner	
	Cal EMA Post-Disaster Safety Assessment	
	Evaluator Trained	



Name / Role	License & Certification	No.
Ali Sadre, SE, CASp Structural Plan Review Engineer Accessibility Plan Reviewer	Certified Access Specialist CA Registered Structural Engineer CA Registered Civil Engineer	CASp-861 S3715 C42877
Scott Humphrey, ICC Building Plans Examiner	IAEI Master Electrical Inspector ICC Combination Inspector ICC Commercial Combination Inspector ICC Building Inspector ICC Commercial Building Inspector ICC Electrical Inspector ICC Electrical Plans Examiner ICC Commercial Electrical Inspector ICC Mechanical Inspector ICC Commercial Mechanical Inspector ICC Plumbing Inspector ICC Commercial Plumbing Inspector ICC Residential Combination Inspector ICC Residential Electrical Inspector: ICC Residential Building Inspector: ICC Residential Plumbing Inspector ICC Residential Mechanical Inspector	CEI-M-166 5254664 5254664 5254664 5254664 5254664 5254664 5254664 5254664 5254664 5254664 5254664 5254664 5254664 5254664 5254664 5254664
Martha McNicholas Building Plans Examiner	FL Registered Professional Civil Engineer 20+ years of experience with utilities	
Jingpei Zhang, EE Electrical Engineer	CA Registered Professional Electrical Engineer	EE16243
Augie Cerdan, FPE Fire Plan Check Engineer	CA Registered Professional Fire Protection Engineer	FP1579
Connor Reuss, ME, ICC Energy Plans Examiner	CA Registered Professional Mechanical Engineer ICC Commercial Energy Plans Examiner	40536 8908763
BUILDING INSPECTION SERVICES		
John Millbrandt, ICC Building Inspector	ICC Combination Dwelling Inspector – Uniform Codes ICC Fire Inspector I	5234189 5234189
Gordon Day, ICC Building Inspector	ICC Plumbing Inspector ICC Plumbing Inspector UPC ICC Mechanical Inspector UMC ICC Combination Inspector ICC Mechanical Inspector ICC Building Inspector ICC Building Plans Examiner ICC Structural Masonry Special Inspector ICC Combination Inspector – Legacy ICC Electrical Inspector ICC Commercial Combination Inspector	1131567 1131567 1131567 1131567 1131567 1131567 1131567 1131567 1131567 1131567 1131567
PERMIT TECHNICIAN SERVICES		
Ashleigh Herbert Permit Technician	15 years of administrative experience serving governmental agencies	N/A
STORMWATER/GRADING ENGINEERING		
Matt Simonetti, PE Senior Civil Engineer	CA Registered Professional Civil Engineer	68340



Name / Role	License & Certification	No.
Kamran Saber, PE, QSD Senior Civil Engineer	CA Registered Civil Engineer Qualified SWPPP Developer/Practitioner (QSD/QSP)	47567 24012
HILLSIDE DEVELOPMENT REVIEW AND INSPECTION (Subconsultant: Ninyo & Moore)		
Jeffrey T. Kent, PE, GE Principal Engineer	CA Registered Civil Engineer CA Professional Geotechnical Engineer	66143 2817
Nissa Morton, PG, CEG Senior Project Geologist	CA Professional Geologist (PG) CA Certified Engineering Geologist (CEG)	8949 2655
STORMWATER COMPLIANCE INSPECTION (Subconsultant: D-Max)		
John Draminski, EIT, CPESC, QSD/P Assistant Project Engineer	Engineer-in-Training (EIT) Certification # Certified Professional in Erosion and Sediment Control (CPESC) Qualified SWPPP Developer (QSD)/Qualified SWPPP Practitioner	0420061662 9199 26970
John Quenzer, MS, CPSWQ, QSD/P Principal Scientist	Certified Professional in Storm Water Quality (CPSWQ) Qualified SWPPP Developer (QSD)/Qualified SWPPP Practitioner	693 24039
Brittany Perkins Staff Scientist II	QSD/P in progress; hands-on experience conducting storm water inspections at construction sites, businesses, and municipal facilities	



D | References

In addition to the form required, below we have provided a sampling of clients for which Interwest has provided services similar to those required by the City of La Mesa.

City of Encinitas // Building Department Services

ROY SAPAU, DIRECTOR OF COMMUNITY SERVICES | 760.633.2734 | RSAPAU@ENCINITASCA.GOV



Interwest and our sister company, EsGil, provide Building Plan Review, Inspection, and Permitting Services to the City of Encinitas. Encinitas is a beach city of 63,000 located near San Diego, California. Known for its pristine beaches, prime surfing, historic architecture, beautiful parks and livability, the Encinitas area takes pride in its history, cultural arts, and support of immigrants and refugees. We provide the following on-time and within budget services for the City, including:

- + Plan Check Engineers, Building Plan Review, including Plumbing, Mechanical, Electrical, Accessibility
- + Next-Day Inspections
- + Counter and Permitting Services
- + Prepare ordinances, provide special studies, research, analysis, enforcement actions for the abatement of dangerous buildings, and provide emergency services and assistance during or after a disaster

City of Poway // Building Department Services

BOB MANIS, DEVELOPMENT SERVICES DIRECTOR | 858.668.4601 | BMANIS@POWAY.ORG



Originally an agricultural area, today Poway serves as a residential community for the City of San Diego, earning it the nickname, "The City in the Country." Interwest, through our sister company EsGil, has provided residential and commercial Building Inspections, Building Plan Review, and Permit Technicians for the past 37 years, and currently provide a staff person who serves as the Building Official. We currently provide fire and life safety plan review and inspections, as well. The City of Poway has been a client for many years, and can attest to our ability to complete projects on-time and within budget. Recent notable Building Plan Reviews include:

- + Ridgeview Business Park Industrial/R&D Buildings – Building Plan Review and Inspection



- + Outpost three-story Mixed-Use Building – Building Plan Review
- + General Atomics Tenant Improvement – Building Plan Review and Inspection

City of Santee // Building Department Services

CHRIS JACOBS, PRINCIPAL PLANNER | 619.258.4100 X 182 | CJACOBS@CITYOFSANTEECA.GOV



Just 18 miles from the Pacific Ocean, Santee is a community with a population of 58,000 surrounded by abundance of open space and bisected by the San Diego River, parks and trails. Interwest, through our sister company EsGil, has been a partner to the City since 1981, providing full building department services, including a Deputy Building Official, plan check, Permit Technician/administrative services, inspection services, permitting software, emergency response services, and additional staffing resources for increases in activity levels. We provided Building Plan Review, Fire Review, and Building Inspections.

City of Lake Forest // Building Department Services

GAYLE ACKERMAN, DIRECTOR, DEVELOPMENT SERVICES | 949.461.3460 | GACERMAN@LAKEFOREST.GOV



In April 2009, Interwest began providing turnkey building safety services to the City of Lake Forest [population 83,000]. Recognizing the value and cost benefits attributable to employing a contract services model, the City has contracted for building safety services since its incorporation in 1991. Interwest provides a team of on-site professionals that provide all building safety services—blending seamlessly with existing city staff. We provide a full-time building official, building plan reviewers, building inspectors, and a building permit counter technician.

During our tenure, Interwest staff has developed the City's first single, combination building permit, which allowed for the same permit number to address all of a structure's elements (electrical, mechanical, plumbing, and structural) requiring approval, greatly reducing hours and paperwork. We also introduced several key documents that have allowed staff to communicate efficiently, including a workflow tracking sheet to document approvals, a standardized monthly report using the City's EnerGov software, and several of the City's Building Safety handouts, reflecting current codes and standards.

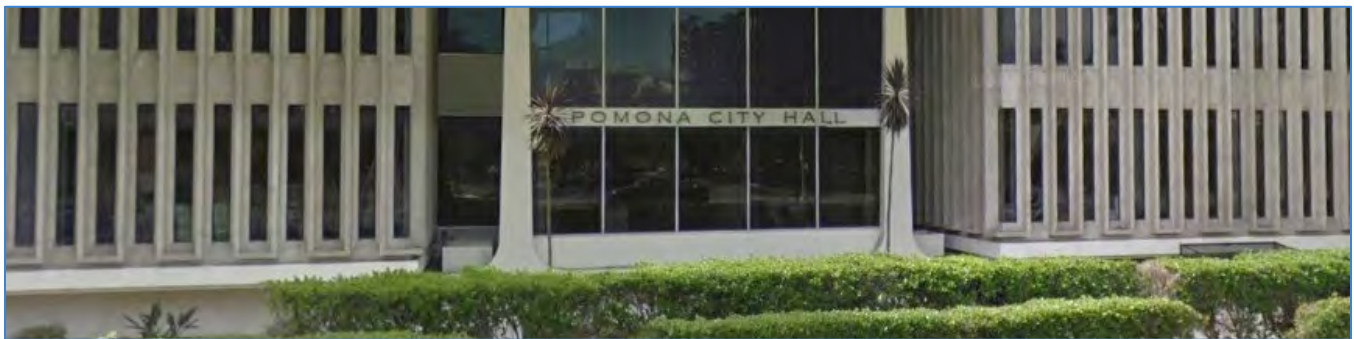


Civic Center Campus - In April 2018, Interwest began providing complete turnkey Building and Safety services to the City of Lake Forest, particularly the Civic Center Campus. This 12.5-acre facility is the heart and social center of the Lake Forest community. The Civic Center Campus is comprised of the City Hall Building, Community Center, Council Chambers, Senior Center, and Parking Structure. The estimated cost of construction was approximately \$60 million. Although there was no formal RFP process, Interwest was selected to provide all plan check and inspection services. Our team at Interwest consisted of on-site professionals who delivered complete plan checks, engineering services, inspections, and electrical services. Fred Marzara, who serves as CBO for Lake Forest, was directly involved in the plan review of the parking structure as well as the other four buildings.

One challenge our team faced during implementation was ensuring the secure placement of the building's solar panels. Upon inspection, it was discovered that high winds caused the solar panels to be pulled upward and out of place continuously. Our Interwest team quickly reviewed the issue with the building's architectural designers and after collaborating, found a solution of adding extra pinpoint connectors in addition to the 4 pinpoints the solar panels already had, securing them in place on all sides.

City of Pomona // Building Department Services

ANITA GUTIERREZ, AICP, DEVELOPMENT SERVICES DIRECTOR | 90.620.2421 |
ANITA_GUTIERREZ@CI.POMONA.CA.USA

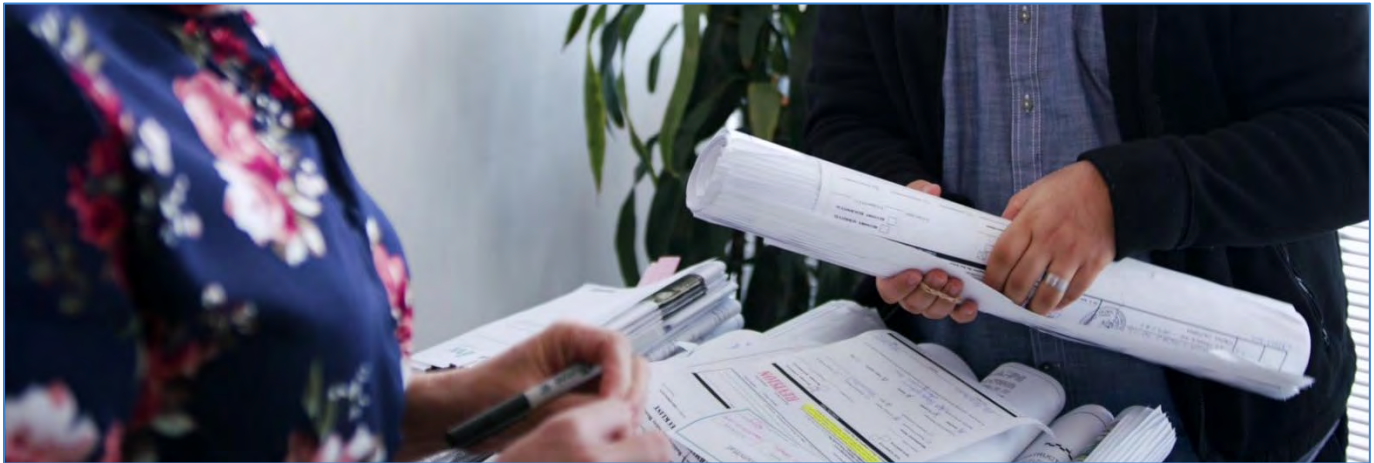


Interwest Consulting Group began serving the City of Pomona [population 160,000] in September 2009. Traditionally a full-service City, Pomona examined several cost-saving strategies, including contracting for services that had historically been provided by in-house staff. Interwest Consulting Group successfully transitioned all building and safety services from the City's in-house staff and implemented new, streamlined processes and procedures. The change resulted in a higher level of service for the City's customers at significant cost savings to the City.

We currently provide the following on-site services:

- + Building Official
- + Building & Engineering Plan Review
- + Building and Safety Inspections
- + Permit Technician
- + Housing Abatement Enforcement
- + Front Counter Support
- + Administrative Services
- + Construction & Grading Inspection

E | Onsite Work



We are dedicated to providing your customers and community with the highest standard of customer service, including providing on-site services when the City requires.

Interwest understands that Building Official, Inspection, and Permit Technician staff will be required to work on-site at La Mesa City Hall when necessary and as agreed upon with the City. Interwest is able to provide on-site staff in these positions, including administrative and counter services. All staff will be based from our local San Diego office – [just 11 miles away from City Hall](#) – making it easy for us to attend meetings at City Hall and add additional support to the City on-site during period of high workload.

We understand that some staff serving positions are required to work in La Mesa City Hall during the hours that City Hall is open to the public, Monday through Friday from 7:30 a.m. to 5:30 p.m., closed on alternative Fridays and certain holidays. We are also available to respond to emergency situations including structural assessments as required.

OFFSITE PLAN CHECK

All plans examination services will be coordinated out of our local San Diego office performed either by a licensed Civil or Structural Engineer, or an ICC Certified Plans Examiner under the direction of a licensed Civil or Structural Engineer and / or licensed Architect.

For more complex projects, and when needed to meet peak workload demands, additional support can be provided from our other Southern California regional offices. Our plans examiners understand and are intimately familiar with applicable building codes and plan review procedures and policies and will readily assist with solutions to complicated plan review issues.

Our team also looks forward to reviewing and providing plan check comments digitally. We currently provide [electronic plan review services](#) to multiple jurisdictions throughout California and our staff is experienced providing electronic plan review utilizing MaintStar or other common electronic plan review systems at the City's direction. Our goal is always to collaborate with and support the building departments we serve by providing thorough, accurate and timely plan reviews.



F | Firm Resources

Our team of qualified and appropriately licensed and certified staff will provide architectural, structural, plumbing, mechanical and electrical plan check review in the areas of residential, commercial, or industrial new construction; remodels; additions; green building; LEED, Onsite Wastewater Treatment Systems (OWTS); public nuisance abatement; Fire Code and Floodplain (FEMA) related plan checks. Plan reviewers will be available by phone, email, and in person as deemed appropriate to interface with applicants and City staff, provide insight on unique or challenging plan check or code interpretation issues, and to coordinate building permit requirements and interface with City Departments and other agencies, including Planning and Community Development, Public Works Department, City's Engineering Services consultant, Clean Water consultant, Fire Department, and the San Diego County Department of Environmental Health.

Our technical abilities relating to plan check disciplines, building inspection and permitting services have been described in detail in *Section B: Scope of Work*. What follows is a brief re-cap for each of the requested services.

PERMIT SOFTWARE DATA ENTRY

Interwest has expertise with several platforms for permitting software and has helped cities implement a number of different programs. Our permit technician staff and building inspectors will use the City's preferred program to provide the data entry services required in a timely manner.

PERMIT APPLICATION REVIEWS

Our counter staff will review permit applications for completeness when received. They will identify and collect all required fees for building permit applications and facilitate the collection of fees from other departments as applicable and input all relevant information in MaintStar and the City's cashiering system.

All permit applications will be reviewed by our counter staff for completeness of the submittal and logged in for plan review, either over-the-counter by our on-site Building Official or inspection staff, or sent off-site to our San Diego office for remote plan review as appropriate. All staff will be appropriately certified and/or licensed in their discipline. Our Permit and Plan Review processes have been described in greater detail in Section B: Scope of Work.

ARCHITECTURAL REVIEW

Interwest's non-structural plans examiners furnish plan review services for a vast array of projects including large residential, commercial, institutional, industrial, retail, and OSHPD 3 medical office buildings. Completed plan review projects range from single-story residential projects to complex high rise buildings and numerous building additions and remodels. We are experienced and familiar with the use and application of the most current editions of the following model codes: California Building Standards Code, International Building Code (IBC), Americans with Disabilities Act Standards for Accessible Design, ANSI Standards, NFPA Codes & Standards, CA Code of Regulations (CCR) Titles 19 and 25, and Jurisdiction-adopted amendments or ordinances.

STRUCTURAL REVIEW

Our California-licensed Structural Engineers have experience designing and reviewing projects utilizing virtually all building materials: Wood, Masonry, Heavy Timber / Timber Frame, Concrete, Structural Steel, Cold-Formed Steel Framing, Straw Bale, Rammed Earth, and Aluminum.

Our engineers have designed or reviewed a wide array of lateral force resisting systems including Steel Moment Frames, Buckling Restrained Braced Frames, Eccentric Braced Frames, Concentric Braced



Frames, Concrete Moment Frames, Wood Shearwall Systems, Masonry Shearwall Systems, Concrete Shearwall Systems, Cantilevered Column Systems, and Various Proprietary Lateral Force Resisting Systems.

Our structural engineers are experienced with the provisions of most model codes including, but not limited to, current versions of: CCR Title 24, Part 2, Volume 2, International Building Code (IBC), AISC 341, 358 and 360, ASCE 7, ASCE 41, AISI Standards for Cold Formed Steel, ANSI / AF&PA NDS for wood framing, ACI 318, ACI 530 / TMS 402/602, CA Historic Building Codes, and CA Existing Building Codes.

MECHANICAL, PLUMBING, AND ELECTRICAL REVIEW

Interwest's California-licensed Mechanical and Electrical Engineers and ICC Certified Plans Examiners are well-versed in the application California Mechanical, Plumbing, Electrical, Energy and Green Building Standards Codes and will verify that projects that they review demonstrate compliance with applicable code provisions.

ACCESSIBILITY REVIEW

All of our CAsp-Certified professionals are knowledgeable of state and federal accessibility laws and regulations and possess the expertise necessary to promote access to facilities for persons with disabilities. Our goal is to provide experts in the industry who can perform services for building departments in a seamless manner by customizing our services to correspond with our client's expectations and needs. We work collaboratively with our clients to resolve plan review and inspection related issues as efficiently as possible, ultimately resulting in an expedited process and successful project.

Our architects and plans examiners are fully trained and familiar with CA Building Code Accessibility requirements and ADA compliance regulations and are available for plan review, inspections and/or evaluations and consultation. We offer support to municipalities for compliance enforcement and/or developing a transition plan, and successfully partner with the disabled community to address the needs and requirements for both entities. We can assist our clients in interpreting various issues relating to access compliance, such as access compliance obligations, transition planning, construction costs, construction phasing, code/law interpretation, hardship and code/law changes.

SOILS AND GRADING

Interwest has a collective, diverse team of professional licensed and QSP certified staff with the experience to perform the full range of Civil and Grading Plan Review services. More importantly, we possess the knowledge and skills necessary to effectively integrate our services with City requirements for review of grading and drainage plans. Review includes evaluation of required reports, studies, grading and improvement plans, and design professional's recommendations; engineering review of grading permit applications is highly dependent upon the complexity and location of the proposed grading. A single lot entitled commercial grading permit application will be reviewed differently from a hillside lot or subdivision, or a project adjacent to a drainage corridor; soils reports will be evaluated, and confirmation of recommendations will be verified for compliance with the plans. Boundary conditions will be evaluated to maintain continuity with surrounding properties and maintain existing drainage patterns; Construction erosion control and post construction water quality control will be reviewed for compliance with the storm water quality management permit in effect.

LEED REVIEW

Our team has the ability to provide LEED review services. Developed by the US Green Building Council (USGBC), LEED provides building owners and operators a framework for identifying and implementing measurable green building design, construction, operations and maintenance solutions. LEED certification consists of a number of different rating systems that apply to many building types



commercial as well as residential and measures how well a building performs across many sustainability metrics including: energy savings, water efficiency, CO2 emissions reduction, improved indoor environmental quality, and stewardship of resources and sensitivity to their impacts.

ENERGY COMPLIANCE

Our engineers and plan reviewers are up to date on all California Energy Code requirements as they relate to both new and remodel of residential and commercial projects. The Energy Efficiency Standards for Residential and Nonresidential Buildings were established in 1978 in response to a legislative mandate to reduce California's energy consumption. These standards are updated periodically to allow consideration and possible incorporation of new energy efficiency technologies and methods.

FLOOD ZONES

Our staff of engineers and plans examiners have experience in providing plan reviews for projects located in flood zones, drainage corridors and other areas prone to flooding. Our staff has provided numerous plan reviews for projects located in flood zones using FEMA's Technical Bulletins as well as the local jurisdiction's ordinances. In addition, members of our staff have participated in state-sponsored committees to establish guideline and regulations for construction in areas designated as flood zones.

OSHDP 3

Our staff of plans examiners has extensive experience in providing plan reviews for OSHDP 3 projects. Our staff is well versed with the OSHDP 3 requirements contained in the California Building Code. We also employ an OSHDP certified inspector who has recently provided inspection services on behalf of our clients for hemodialysis, outpatient surgery, hyperbolic chamber and general medical clinics.

FIRE CODE PLAN REVIEW

We have a complete staff of experienced and licensed professional fire protection plans examiners and inspectors for your fire life safety needs. Our staff can check plans for compliance with all applicable fire code and standard requirements, including but not limited to the following: ICC Fire Code, Uniform Fire Code, California Fire Code, Life Safety Code, NFPA standards and your local/regional amendments.

Our Fire Plans Examiners and Inspectors are well versed in the use and application of the following model codes, standards and regulations: California Fire Code (CFC), California Building Code (CBC), Local amendments and policies related to the CFC and CBC, Adopted National Fire Protection Standards, California Health and Safety Code, Appropriate listings (CSFM, U.L., etc.) for common systems and materials, Fire Department Standards, National Fire Protection Referenced Standards pursuant to the above Codes, and Municipal, State or Federal regulations enforced by Fire Departments and Fire Districts.

OWTS REVIEW

Our staff can provide review of Onsite Wastewater Treatment Systems (OWTS) plans as required. Our proposed team includes several QSP/D licensed individuals as well as Civil Engineers who have in depth experience providing water plan review services.

GREEN BUILDING REVIEW

Our staff is familiar with the incorporation of CALGreen building criteria into project designs and the resulting potential impact as related to the building codes. In addition, staff members have participated in the development of various "green" standards for super adobe, rammed earth, and straw bale construction, to name a few.



PUBLIC NUISANCE ABATEMENT REVIEW

Typical services include preparing abatement cases for and testifying in public hearings and court proceedings on behalf of the City and serving as a resource and providing information on City regulations to property owners, residents, businesses, the general public, and other City departments and divisions. Our inspection staff will be available to support the City's Code Enforcement staff in public nuisance abatement as directed and deemed appropriate by the City and Interwest.

BUILDING INSPECTIONS

Our team consists of ICC Certified Inspectors covering the disciplines of Building, Mechanical, Plumbing, Electrical, Fire Life Safety, accessibility and Green Building inspections. We have also partnered with D-MAX to provide stormwater compliance inspection services. More information on the inspection services we provide can be found in *Section B: Scope of Work* and in *Section H: Inspections*.

PUBLIC COUNTER SERVICES

Public counter services are crucial to the success of the entire building safety process as they are the first impression the public gets of your building department. Contact with the public at this initial point sets the tone for any additional interaction through the life of a project whether engaging the homeowner, architect, developer or contractor or other community member. Delivery of excellent customer service, maintaining a smooth flow of documents and plans throughout departments, and tracking and reporting, are all key elements to furnishing first-rate, efficient and a memorable experience to your clients.

Our Counter Technician will welcome and work closely with the customers at the public counter answering all questions. They will provide information about permit applications, plan review and inspection requirements, will be excellent at organizing and maintaining the filing systems necessary for tracking in-progress applications, permits issued, plan check in progress, approved plans and any other information required by your jurisdiction.

More information on counter assistance and permit technician services can be found in *Section B: Scope of Work*.

ASSISTANCE TO CITY CODE COMPLIANCE STAFF

Our inspection staff will be available to support the City's Code Compliance/Enforcement staff as directed and deemed appropriate by the City and Interwest.

SUPERVISION AND LEADERSHIP

The services we provide are always closely coordinated and monitored to ensure we meet or exceed the service levels desired by the City, but also stay within the financial capacity of your operating budget. We have broad experience and hands-on knowledge of municipal budgeting, specifically related to expenditures and cost recovery associated with private development processing and permitting. We will work in close partnership with the City tailoring our services and deployment of staff resources to ensure exceptional services.

All of our personnel work collaboratively with consistent communication between staff members for advice, application of specific expertise and any unique project or client knowledge. Meetings to coordinate and update all staff on current projects are held weekly, in addition to any special meetings needed to address new developments or issues. We utilize a custom database to compile all client and project information as it relates to any services we perform. Our technical and administrative staff is



highly trained, attending seminars and educational conferences to keep current on up-to-date industry methods and information.

PREPARATION OF REPORTS, CODE UPDATES, HANDOUTS AND TRAINING MATERIALS

Interwest creates reports, handouts and training materials for many of our clients. At the City's direction we can create and submit monthly, quarterly and annual reports of our activities, including reporting on SMIP allocations, staffing levels provided, staff hours expended, number of permits issued, number of inspections performed by type, and other relevant financial, operational, and statistical information.

Our staff will also process, establish, maintain and update all forms and handouts in compliance City requirements, regulations, adopted standards, State or other laws and ordinances necessary for the operation of the Building Division, including hand-out sheets explaining building permit application processing procedures.



G | Turnaround Times

Below are our proposed maximum turnaround times for each identified assignment type outlined in the RFP.

Assignment Type	Maximum Turnaround Times:	
	First Check	Re-Checks
Processing and issuance of permits for minor alterations and additions	3 Working Days <i>(Can vary significantly by permit type; we will work with other City departments to process these in an expedited manner.)</i>	--
Processing and issuance of permits for Solar or ESS systems	3 - 5 Working Days	2 Working Days
Fire code compliance review	7 - 10 Working Days	5 Working Days
Processing and issuance of permits for single-tenant dwellings	10 Working Days	5 Working Days
Processing and issuance of permits for multi-tenant dwellings	10 Working Days	5 Working Days
Processing and issuance of permits for commercial construction <u>under</u> 10,000 square feet	10 Working Days	5 Working Days
Processing and issuance of permits for commercial construction <u>over</u> 10,000 square feet	15 Working Days or as negotiated at the time of submittal based on complexity of the project and the City's desire to expedite.	

MAXIMUM SERVICE DELIVERY TIMEFRAMES

We will maintain the City's required turnaround times as presented in the RFP and below.

Service	Timeframe for delivery
Major plan checks	2 weeks (10 working days)
Subsequent plan checks:	1 week (5 working days)
Minor plan checks and single-story homeowner additions:	3 working days if submitted into plan check or over the counter
Building inspection:	The following workday if request is received before 4:30PM on the prior working day
Required monthly, quarterly, and annual Building Fee and activity reporting (SMIP, HUD reporting, etc.)	As required by state and/or federal regulation
Water Quality Inspections:	As required by NPDES Permit
Water Quality Annual Reporting:	As required by NPDES Permit
Maintenance of NPDES Site Inventory:	As required by NPDES Permit
Permit assistance at the public counter:	Average within 10 minutes of customer arrival
Return of telephone calls and e-mails:	Within one business day
Monthly statistical accounting and preparation of plans for imaging:	Completed at the end of each month



H | Inspections



Interwest staff will conduct building, mechanical, electrical, plumbing, accessibility, and Green Building inspections for building-related permits. Our assigned inspectors will be ICC-certified Building Inspectors knowledgeable of all applicable Federal, State and City building and safety codes/ordinances, floodplain (FIRM/FEMA) design standards, and NPDES requirements. Our inspections are based on City ordinances, current building codes, adopted amendments, as well as other specific additional City requirements, throughout the various stages of construction.

Inspection personnel assigned will be able to read, understand and interpret construction plans, truss drawings and calculations, prepare and maintain accurate records and reports, communicate effectively orally and in writing and work effectively with contractors, the public and general staff. Inspectors will possess knowledge of approved and modern methods of construction, materials, tools, and safety procedures used in building inspection and the most current building standards. Our inspectors are familiar with the City's scheduling and tracking systems and will maintain and update all databases per City requirements.

As noted in *Section B: Scope of Work*, our assigned **building inspection** staff will:

- + Provide building inspection services and building/construction site inspection during the course of construction to verify and enforce compliance with approved plans, conditions of approval as set forth on the plans corresponding to the issued permit, and applicable provisions of the City's ordinances and Codes, including code compliance with stormwater management requirements for construction sites
- + Resolve Code interpretation issues in the field.
- + Possess three or more years of experience as a Combination Building Inspector
- + Provide inspectors with an ICC Certification as a Combination Building Inspector
- + Provide inspectors with solution-oriented customer service experience with a wide range of customers including developers, contractors, homeowners, business owners and City staff

As noted in *Section B: Scope of Work*, assigned **stormwater compliance inspection** staff will:

- + Oversee maintenance of NPDES site inventory and annual reporting
- + Ensure the regular inspection and monitoring of construction sites City-wide for compliance with Stormwater Pollution Prevention Plan (SWPPP) requirements and BMP compliance verification
- + Provide quarterly training to building inspectors assigned to the City; and
- + Serve as liaison to City staff
- + Possess a certification as a Qualified SWPPP Practitioner or Developer (QSP/D), or perform work under the supervision of a certified QSP/D if providing stormwater compliance inspections



I | Fees

Percentage of Fees

For the comprehensive building department services as identified in this proposal, Interwest proposes to charge 79% of the combined building department plan review and building permit fees charged by the City in accordance with the City of La Mesa’s building fee schedule as adopted by the City. This percentage of fee is based on our understanding of the support required by the City as detailed in the RFP. A final percentage of fee will be negotiated based on the actual number and types of positions determined to be required to provide onsite building department and inspection services. This percentage will be mutually agreed upon by the City of La Mesa and Interwest Consulting Group.

This percentage does not include fire plan check services, engineering/grading plan review services, or subconsultant services which will be charged at the hourly rates listed in the Schedule of Hourly Billing Rates on the following page.

Alternative Fee Schedules

It is our understanding that the City’s preferred approach is a percentage of fee for all building services; however, we have presented the following alternative pricing options for your consideration.

ALTERNATIVE FEE SCHEDULE 1: PLAN CHECK FOR A PERCENTAGE OF FEE AND ALL OTHER SERVICES PROVIDED HOURLY

If the City would prefer, we can alternatively provide plan review services at a percentage of fee and all other services hourly at the rates listed in the Schedule of Hourly Billing Rates below.

Interwest will coordinate transportation of plans between the City’s office and our San Diego office at no additional charge to the City. Our staff will coordinate our plan review services with the City to ensure plan review services are performed seamlessly. For plan review services performed in our offices, we propose the following fixed fees as a percentage of the City’s plan review fees:

FIXED FEE PLAN REVIEW FEES

Type of Plan Review	Fixed Fee
Complete Building Plan Review (Residential and Commercial)	67%
Expedited Plan Reviews	140% of the listed fee
Fire, Civil, Grading, and Stormwater Plan Review.....	Hourly Per Schedule of Hourly Billing Rates

Please note that the fixed fees stated above include an initial plan review plus two re-checks. Additional re-checks beyond the third review will be charged on an hourly basis using the Schedule of Hourly Rates shown below with prior approval from the City. **Expedited plan reviews** will be provided at a rate of 140% of the fees shown above and will be completed in one-half the timeframes proposed for non-expedited plan reviews. In addition to the fees noted above, we propose the following terms and conditions:

- + For the review of deferred submittals such as truss calculations, stairs, etc., submitted after the projects have been approved, we propose to complete the reviews on an hourly basis utilizing the Schedule of Hourly Billing Rates below.
- + For the review of revisions to previously approved drawings, we propose to complete the reviews on an hourly basis utilizing the Schedule of Hourly Billing Rates on the following page.

Interwest agrees to evaluate the plan check fee split at 6 months of start date to see if we can adjust. Due to salaries and unprecedented economics, we cannot adjust at this time.



ALTERNATIVE FEE SCHEDULE 2: ALL SERVICES PROVIDED HOURLY

At the City's direction, we can also provide all services for on an hourly basis using the rates in the Schedule of Hourly Billing Rates outlined on the following page.

Schedule of Hourly Billing Rates

Beginning on the 1st anniversary of the Effective Date of the Agreement and annually thereafter, the hourly rates listed below shall be automatically increased based upon the annual increase in the Department of Labor, Bureau of Labor Statistics or successor thereof, Consumer Price Index (United States City Average, All Items (CPI-U), Not Seasonally adjusted, All Urban Consumers, referred to herein as the "CPI"). Such increase shall not exceed 5% per annum. The increase will become effective upon publication of the applicable CPI data. If the index decreases, the rates listed shall remain unchanged.

Classification	Hourly Billing Rate
Building Department Services	
Certified Building Official.....	\$150
Licensed Plan Review Engineer (structural, civil, electrical, mechanical) / Architectural.....	\$145
Senior Plans Examiner.....	\$130
CASp.....	\$120
Inspector.....	\$95
Permit Technician.....	\$75
Fire Protection Engineer.....	\$145
Senior Fire Plans Examiner.....	\$125
Fire Plans Examiner / Fire Inspector.....	\$110
ICC Building Plans Examiner.....	\$110

Engineering	
Project Manager.....	\$190
Supervising Engineer.....	\$185
Senior Engineer.....	\$175
Licensed Land Surveyor.....	\$180
Engineering Associate.....	\$145
Engineering Technician.....	\$115
Grading Plans Examiner.....	\$150
Construction Manager.....	\$165
Senior Public Works Observer.....	\$150
Public Works Observer.....	\$140

- *Inspection and on-site services provided in excess of regular hours per day, nights and weekends will be invoiced at 140% of the above fees. There will be a minimum eight (8) hour fee for each day staff are requested to work in the City's office*
- *Expedited plan check available upon request.*

Subconsultant Fee Schedules

In the following pages, we have provided fee schedules for our subconsultants who will be used as needed and whose services will be charged to the City on an hourly basis.



D-MAX: Fee Schedule for Stormwater Compliance Inspection Services

Name	Title	Hourly Rate (\$)
John Quenzer	Principal Scientist	\$220
John Draminski	Assistant Project Engineer	\$162
Brittany Perkins	Staff Scientist II	\$129

Notes:

1. Mileage will be charged at the current IRS rate and is not included in the above hourly rates.
2. We assume all work under this contract will not be subject to prevailing wage.

Classification

Hourly Billing Rate

Word Processor / Admin	\$80
Drafter	91
Technician.....	106
Senior Technician	117
Staff Scientist I	129
Staff Scientist II	150
Assistant Project Scientist.....	166
Project Scientist	189
Senior Scientist.....	220
Principal Scientist.....	129
Staff Engineer I	142
Staff Engineer II	162
Assistant Project Engineer.....	179
Project Engineer	205
Senior Engineer.....	235

- + Field and hourly services will be charged portal to portal from our office.
- + Appearance as expert witnesses at court trials, mediation, arbitration hearings and depositions will be charged at \$330/hour. Time spent preparing for such appearances will be charged at the above standard hourly rates

OTHER CHARGES

Other project-specific costs, such as rentals, expendable or special supplies, special project insurance, permits and licenses, shipping, subsistence, tolls and parking, outside copying/printing, etc., will be charged at cost plus 15%. Mileage will be charged at the current IRS rate. Meals, lodging, and travel expenses, when pre-approved by the City, will be charged at cost or at standard per diem rates, as applicable.

Client will be responsible for any applicable taxes in addition to the fees due for Services.



Ninyo & Moore: Fee Schedule for Hillside Development Review and Inspection Services

Schedule of Fees	
Hourly Charges for Personnel	
Professional Staff	
Principal Engineer/Geologist/Environmental Scientist	\$204.61
Certified Industrial Hygienist.....	\$204.61
Senior Engineer/Geologist/Environmental Scientist	\$193.12
Senior Project Engineer/Geologist/Environmental Scientist	\$187.37
Project Engineer/Geologist/Environmental Scientist.....	\$149.44
Senior Staff Engineer/Geologist/Environmental Scientist	\$126.45
Staff Engineer/Geologist/Environmental Scientist.....	\$114.95
GIS Analyst	\$133.34
Technical Illustrator/CAD Operator	\$ 91.96
Field Staff	
Certified Asbestos Consultant, Lead Inspector/Assessor, Lead Project Monitor	\$187.37
Certified Site Surveillance Technician, Lead Sampling Technician	\$144.84
Field Operations Manager	\$128.74
Supervisory Technician.....	\$112.65
Nondestructive Examination Technician (UT, MT, LP).....	\$112.65
ACI Concrete Technician.....	\$112.65
Special Inspector (Concrete, Masonry, Structural Steel, Welding, and Fireproofing)	\$112.65
Senior Field/Laboratory Technician	\$109.21
Field/Laboratory Technician	\$109.21
Administrative Staff	
Information Specialist	\$89.66
Geotechnical/Environmental/Laboratory Assistant.....	\$87.36
Data Processor, Technical Editing, or Reproduction	\$57.48
Other Charges	
Concrete Coring Equipment (includes technician)	\$206.91/hr
Anchor Load Test Equipment (includes technician)	\$111.51/hr
X-Ray Fluorescence.....	\$330.00/day
PID/FID	\$154.00/day
Hand Auger Equipment	\$71.50/day
Inclinometer	\$44.00/hr
Vapor Emission Kit.....	\$44.00/kit
Level D Personal Protective Equipment (per person per day)	\$33.00/p/d
Rebar Locator (Pachometer)	\$33.00/hr
Nuclear Density Gauge.....	\$16.50/hr
Field Vehicle	\$13.20/hr
Direct Expenses	Cost plus 10 %
Laboratory testing, geophysical equipment, and other special equipment provided upon request.	
Notes	
<p>For field and laboratory technicians and special inspectors, regular hourly rates are charged during normal weekday construction hours. Overtime rates at 1.5 times the regular rates will be charged for work performed outside normal construction hours and all day on Saturdays. Rates at twice the regular rates will be charged for all work in excess of 12 hours in one day or on Sundays and holidays. Lead time for any requested service is 24 hours. Field Technician rates are based on a 4-hour minimum. Special inspection rates are based on a 4-hour minimum for the first 4 hours and an 8-hour minimum for hours exceeding 4 hours. Field personnel are charged portal to portal.</p> <p>Invoices will be submitted monthly and are due upon receipt. A service charge of 1.0 percent per month may be charged on accounts not paid within 30 days.</p> <p>The terms and conditions of providing our consulting services include our limitation of liability and indemnities as presented in Ninyo & Moore's Work Authorization and Agreement.</p> <p>*Indicates rates that are based on Prevailing Wage Determination made by the State of California, Director of Industrial Relations on a semiannual basis. Our rates will be adjusted in conjunction with the increase in the Prevailing Wage Determination during the life of the contract.</p>	



Schedule of Fees for Laboratory Testing

Laboratory Test, Test Designation, and Price Per Test

SOILS

Atterberg Limits, D 4318, CT 204.....	\$176.00
California Bearing Ratio (CBR), D 188	\$533.50
Chloride and Sulfate Content, CT 417 and CT 422	\$192.50
Consolidation, D 2435, CT 219.....	\$330.00
Consolidation – Time Rate, D 2435, CT 219.....	\$82.50
Direct Shear – Remolded, D 3080	\$357.50
Direct Shear – Undisturbed, D 3080	\$302.50
Durability Index, CT 229.....	\$181.50
Expansion Index, D 4829, IBC 18-3	\$198.00
Expansion Potential (Method A), D 4546	\$176.00
Geofabric Tensile and Elongation Test, D 4632.....	\$198.00
Hydraulic Conductivity, D 5084.....	\$363.00
Hydrometer Analysis, D 422, CT 203	\$242.00
Moisture, Ash, and Organic Matter of Peat/Organic Soils.....	\$132.00
Moisture Only, D 2216, CT 226	\$38.50
Moisture and Density, D 2937.....	\$49.50
Permeability, CH, D 2434, CT 220	\$280.50
pH and Resistivity, CT 643	\$192.50
Proctor Density D 1557, D 698, CT 216, & AASHTO T-180 (Rock Corrections Add \$100)	\$220.00
R-Value, D 2844, CT 301.....	\$324.50
Sand Equivalent, D 2419, CT 217	\$121.00
Sieve Analysis, D 422, CT 202	\$143.00
Sieve Analysis, 200 Wash, D 1140, CT 202.....	\$110.00
Specific Gravity, D 854.....	\$110.00
Thermal Resistivity (ASTM 5334, IEEE 442)	\$968.00
Triaxial Shear, C.D, D 4767, T 297.....	\$473.00
Triaxial Shear, C.U., w/Pore Pressure, D 4767, T 2297 per pt	\$401.50
Triaxial Shear, C.U., w/o Pore Pressure, D 4767, T 2297 per pt	\$231.00
Triaxial Shear, U.U., D 2850	\$170.50
Unconfined Compression, D 2166, T 208	\$132.00
Wax Density, D 1188	\$110.00

MASONRY

Brick Absorption, 24-Hour Submersion, C 67.....	\$55.00
Brick Absorption, 5-Hour Boiling, C 67	\$66.00
Brick Absorption, 7-Day, C 67.....	\$71.50
Brick Compression Test, C 67	\$55.00
Brick Efflorescence, C 67.....	\$55.00
Brick Modulus of Rupture, C 67	\$49.50
Brick Moisture as Received, C 67.....	\$44.00
Brick Saturation Coefficient, C 67	\$60.50
Concrete Block Compression Test, 8x8x16, C 140.....	\$71.50
Concrete Block Conformance Package, C 90	\$533.50
Concrete Block Linear Shrinkage, C 426	\$148.50
Concrete Block Unit Weight and Absorption, C 140.....	\$66.00
Cores, Compression or Shear Bond, CA Code.....	\$66.00
Masonry Grout, 3x3x6 Prism Compression, C 39	\$38.50
Masonry Mortar, 2x4 Cylinder Compression, C 109	\$38.50
Masonry Prism, Half Size, Compression, C 1019	\$132.00
Masonry Prism, Full Size, Compression, C 1019	\$203.50

REINFORCING AND STRUCTURAL STEEL

Chemical Analysis, A 36, A 615.....	\$148.50
Fireproofing Density Test, UBC 7-6	\$66.00
Hardness Test, Rockwell, A 370.....	\$77.00
High Strength Bolt, Nut and Washer Conformance, per Assembly, A 325.....	\$143.00
Mechanically Spliced Reinforcing Tensile Test, ACI	\$165.00
Pre-Stress Strand (7 wire), A 416	\$187.00
Reinforcing Tensile or Bend Up to No. 11, A 615 & A 706	\$60.50
Structural Steel Tensile Test: Up to 200,000 lbs. (Machining Extra), A 370	\$88.00
Welded Reinforcing Tensile Test: Up to No. 11 bars, ACI	\$66.00



Schedule of Fees for Laboratory Testing	
Laboratory Test, Test Designation, and Price Per Test	
CONCRETE	
Compression Tests, 6x12 Cylinder, C 39	\$27.50
Concrete Mix Design Review, Job Spec	\$170.50
Concrete Mix Design, per Trial Batch, 6 Cylinder, ACI	\$907.50
Concrete Cores, Compression (Excludes Sampling), C 42	\$66.00
Drying Shrinkage, C 157	\$385.00
Flexural Test, C 78	\$71.50
Flexural Test, C 293	\$66.00
Flexural Test, CT 523.....	\$88.00
Gunite/Shotcrete, Panels, 3 Cut Cores Per Panel and Test, ACI	\$302.50
Jobsite Testing Laboratory Quote.....	
Lightweight Concrete Fill, Compression, C 495	\$49.50
Petrographic Analysis, C 856.....	\$2,090.00
Restrained Expansion of Shrinkage Compensation.....	\$297.00
Splitting Tensile Strength, C 496	\$99.00
3x6 Grout, (CLSM), C 39	\$49.50
2x2x2 Non-Shrink Grout, C 109.....	\$49.50
ASPHALT CONCRETE	
Air Voids, T 269.....	\$55.00
Asphalt Mix Design, Caltrans (excl. Aggregate Quality)	\$3,080.00
Asphalt Mix Design Review, Job Spec.	\$181.50
Dust Proportioning, CT LP-4	\$55.00
Extraction, % Asphalt, Including Gradation, D 2172, CT 382	\$264.00
Film Stripping, CT 302	\$121.00
Hveem Stability and Unit Weight D 1560, T 246, CT 366	\$236.50
Marshall Stability, Flow and Unit Weight, T 245	\$264.00
Maximum Theoretical Unit Weight, D 2041, CT 309	\$165.00
Moisture Content, CT 370	\$93.50
Moisture Susceptibility and Tensile Stress Ratio, T 238, CT 371	\$1,100.00
Slurry Wet Track Abrasion, D 3910	\$165.00
SuperPave, Asphalt Mix Verification (Including Aggregate Quality)	\$5,720.00
SuperPave, Gyration Unit Wt., T 312	\$82.50
SuperPave, Hamburg Wheel, 20,000 Passes, T 324	\$1,100.00
Unit Weight Sample or Core, D 2726, CT 308	\$110.00
Voids in Mineral Aggregate, (VMA) CT LP-2.....	\$55.00
Voids Filled with Asphalt, (VFA) CT LP-3	\$55.00
AGGREGATES	
Clay Lumps and Friable Particles, C 142	\$176.00
Cleanness Value, CT 227	\$176.00
Crushed Particles, CT 205	\$181.50
Durability, Coarse or Fine, CT 229	\$214.50
Fine Aggregate Angularity, ASTM C 1252, T 304, CT 234	\$198.00
Flat and Elongated Particle, D 4791	\$242.00
Lightweight Particles, C 123	\$198.00
Los Angeles Abrasion, C 131 or C 535	\$220.00
Material Finer than No. 200 Sieve by Washing, C 117	\$82.50
Organic Impurities, C 40.....	\$88.00
Potential Alkali Reactivity, Mortar Bar Method, Coarse, C 1260.....	\$1,045.00
Potential Alkali Reactivity, Mortar Bar Method, Fine, C 1260.....	\$1,375.00
Potential Reactivity of Aggregate (Chemical Method), C 289.....	\$495.00
Sand Equivalent, T 176, CT 217	\$121.00
Sieve Analysis, Coarse Aggregate, T 27, C 136.....	\$126.50
Sieve Analysis, Fine Aggregate (Including Wash), T 27, C 136	\$143.00
Sodium Sulfate Soundness, C 88.....	\$495.00
Specific Gravity and Absorption, Coarse, C 127, CT 206	\$110.00
Specific Gravity and Absorption, Fine, C 128, CT 207	\$176.00
ROOFING	
Roofing Tile Absorption, (Set of 5), C 67	\$231.00
Roofing Tile Strength Test, (Set of 5), C 67.....	\$231.00
Special preparation of standard test specimens will be charged at the technician's hourly rate. Ninyo & Moore is accredited to perform the AASHTO equivalent of many ASTM test procedures.	



J | Changes to Professional Services Agreement

The Interwest Contract and Legal team have carefully reviewed the contract terms presented in the Sample Agreement in the RFP and will be able to accept without modification.





Appendix

Staff Resumes

Complete staff resumes have been provided in the following pages.

David Kniff, AIA

ARCHITECTURAL PLANS EXAMINER

David has more than 30 years of practical experience as the Principal Architect of his own firm and as a General Contractor. He is an effective problem solver and can easily articulate solutions and complex problems. David has a deep understanding of current local, state and federal codes, and has prepared plans under IBC and CBC codes for many residential and commercial projects located in California and Texas.

PROFESSIONAL HISTORY

Senior CA. Plans Examiner Manager / Interwest Consulting Group / 2021 - Present

Architectural Plans Examiner / EsGil – A SAFEbuilt Company/ 2017 - 2021

David started his SAFEbuilt career as an EsGil employee, working as an Architectural Plans Examiner serving cities throughout Southern California specifically in San Diego County. When EsGil merged with Interwest Consulting Group, David's expertise made him the perfect candidate to manage our plan check team throughout the state. David continues to provide architectural plan review for municipal clients, but also provides oversight for all plan check staff, manages status tracking to ensure agreed upon turnaround times are met, and provides quality control of plan check work products.

Principal Architect / KEA Architecture - Development / 1987 - 2017

David programmed, planned and completed the creation of design documents and streamlined the marketing and perspective client meetings. He oversaw the production of A/E, M/E/P construction documents through the permitting phases of work. David worked with governmental agencies that have jurisdiction over all of the company's projects resulting in great communication abilities.

Project Manager / Architects Coombs - Mesquita / 1980 - 1987

David oversaw a team of draftsman to create construction documents for commercial and industrial facilities. He created design documents from the sketches of the Principal Architects. David worked with various Engineer and Utility Consultants coordination with the Project Manager's drawings



A SAFEbuilt COMPANY

Years of Experience: 30+
Years w/ Interwest: 1

Education

- Mesa Community College, 1983

Registrations/Certifications

- CA Registered Architect, C-19040
- CA General Building Contractor, Class B License, 707752
- TX Registered Architect, 19798
- W12 National Building Contractor

Bill Elizarraras, ICC

FIELD INSPECTION SERVICES MANAGER

PROFESSIONAL HISTORY

Senior Building Inspector / Interwest Consulting Group (Previously EsGil) / 2017 - Present

Bill oversees inspection services based from our San Diego office and manages field operations for six jurisdictions, which include three Native American reservations. He also provides staffing for two local jurisdictions in San Diego County.

Field Supervisor / EsGil – A SAFEbuilt Company / 2015 - 2017

Bill oversaw field operations and managed the field staff in local San Diego City projects.

Field Supervisor / County of San Diego / 2015 - 2017

Bill oversaw field operations and managed field staff in local San Diego City projects.

Field Operations / EsGil Corporation / 2007 - 2015

Bill helped field staff issue permits, building inspections and plan review in eight various San Diego cities.

Building Inspector / County of San Diego / 1988

Bill was the lead Building Inspector in charge of field training in commercial inspections and UBC, UMC, UPC and ADA field applications and code updates.

Plans Examiner / County of San Diego / 1996 – 1998

Bill's duties consisted of but were not limited to residential plan check, permit processing and issuance.

Building Inspector / County of San Diego, Rural Areas / 1992 - 1996

Bill's tasks consisted of code interpretations, field plan changes (saved customers long drives to offices), fire and residential plan check and inspections for San Diego County Jurisdiction areas.

Building Inspector / County of San Diego / 1988 – 1992

Bill's duties consisted of field inspections for single and multi-family residences' housing tracks and commercial buildings of all types and sizes.

General Building Contractor / Self-Employed / 1978 – 1988

Bill was a contractor designing, drafting and building single family dwellings and tenant improvements.



A SAFEbuilt COMPANY

Years of Experience: 32

Education

- Studied Building Codes, Local College Schools, 1987
- Diploma, Edgewood High School, 1977

Registrations/Certifications

International Code Council (ICC) | 8727928

- ICC CA Residential Mechanical Inspector
- ICC CA Plumbing Inspector
- ICC Residential Building Inspector

Oscar Herrera, CBO, ICC

Building Inspector | Building Official

Oscar is a Building Inspector with 19 years of experience in the building industry. He has a plethora of certifications and a diverse working background.

PROFESSIONAL HISTORY

Building Inspector / EsGil – A SAFEbuilt Company / 2016 - 2020

Building Inspector / Interwest Consulting Group / 2021 - Present

Oscar began his SAFEbuilt career in 2016. When EsGil merged with Interwest Consulting Group, Oscar continued his position as Building Inspector where he performs field inspections in accordance with adopted codes, collaborates with other inspectors to discuss code information and code interpretations, and interprets and enforces the adopted building codes in a consistent manner for each jurisdiction assigned.

Premises Technician | Pacific Bell Telephone Company | 2011-2016

Oscar performs all necessary work within his job title for the installation and maintenance of DTV, IPTV, VoIP, and Internet services offered by AT&T under the U-Verse and DIRECTV brands. His duties include safely driving a company vehicle, utilizing a variety of hand tools as well as testing equipment, using idevices for multiple activities (communicating, testing and administrative duties), and effectively communicating and resolving issues with customers and AT&T employees from other departments.

President/Owner | Diroma, Inc. | 2003-2011

Oscar's primary function is that of a General Contractor involved in the construction of new single family custom homes. He works directly with homeowners to obtain building drawings, building permits and construction financing. Oscar oversees all phases of construction including the hiring of subcontractors, purchasing of building materials, and scheduling of all work performed.



A SAFEbuilt COMPANY

Years of Experience: 19

Years w/ Interwest: 1

Education

- Southwestern College, Chula Vista, CA
- San Diego City College, San Diego, CA

Registrations/Certifications

- ICC Residential Building Inspector
- ICC Residential Plumbing Inspector
- ICC Residential Mechanical Inspector
- ICC Residential Electrical Inspector
- ICC Residential Combination Inspector
- ICC Residential Plans Examiner
- ICC Permit Technician
- ICC Fire Inspector I
- ICC Commercial Building Inspector
- ICC Building Inspector
- ICC Residential Fire Sprinkler Inspector/Plans Examiner
- ICC Commercial Electrical Inspector
- ICC Electrical Inspector
- ICC Commercial Plumbing Inspector
- ICC Plumbing Inspector
- ICC Commercial Mechanical Inspector
- ICC Mechanical Inspector
- ICC Commercial Combination Inspector
- ICC Combination Inspector
- ICC Certified Building Official
- ICC Permit Specialist
- ICC Legal Module
- ICC Building Codes and Standards Module
- ICC Management Module
- ICC Building Plans Examiner
- ICC Building Code Specialist
- ICC Fire Plans Examiner
- ICC Residential Energy Inspector/Plans Examiner
- ICC Commercial Energy Plans Examiner
- ICC Accessibility Inspector/Plans Examiner
- ICC Master Code Professional

Erich Kuchar, MS, PE

PLAN CHECK ENGINEER

Erich is responsible for ensuring that all buildings are in the safety guidelines and ordinances when being planned out. Erich also analyses all structural designs and layouts of the building.

PROFESSIONAL EXPERIENCE

Plan Check Engineer / Interwest Consulting Group/ 2021 – Present

While working at Interwest, Erich reviews all building and safety codes and checks that all plans follow the same guidelines.

Plan Check Engineer / EsGil- A SAFEbuilt Company / 2019 – 2021

While working at EsGil, Erich had to ensure that all future buildings followed the proper guidelines such as ordinances and codes when being planned out. These include all building safety measures and future inspections.

Plan Check Engineer / DCI Engineers Inc. / 2014-2019

Erich had to ensure all building codes were met. Below are a few responsibilities that Erich had:

- Structural Design
- Structural Inspection
- Earthquake/ Seismic Design and Analysis
- Gravity Design and Analysis
- Specializing in Wood, Concrete, and Steel Design
- Foundation Design
- Project Management
- Technical Report Writing
- Business Development and Client Relations
- Existing/ Retrofit Design/ Analysis
- Projects include Commercial Residential, Education, and Military

Staff Civil Engineer / SCS&T Engineering Inc. / 2012-2014

- AutoCAD Technical Drawing and Drafting
- Geotechnical Inspection
- Technical and Engineering Reports
- Liquefaction Analysis/ Pile and Foundation Design
- Soil and Materials Testing
- Project Management
- Projects include Commercial, Residential, Education, and Military



Years of Experience: 10+

Education

- San Diego University, B.S.C.E. & M.S.C.E. San Diego, CA

Registrations/Certifications

- CA Professional Civil Engineer | 90430
- ICC Building Plans Examiner
- Cal EMA Post-Disaster Safety Assessment Evaluator Trained

Ali Sadre, SE, CASp

SENIOR LEAD STRUCTURAL ENGINEER

Ali reviews projects for compliance with the IBC and CBC, Title 24 for life-safety and structural design. The projects have included high-rise, multi-residential, commercial, schools, hospitals, hotels, casinos, sports arenas, essential facilities, hazardous occupancies, UC, or CSU projects, Port District, Federal, State, DOD, Navy & Department of Correction projects, tunnels, bridges & lifeline structures. This review demands thorough familiarity with structural and seismic provisions of the CBC, SEAOC Blue Book, State Historic & Existing Building Codes, ASCE-41, Tall Building Initiative and other design guidelines and standards for new buildings, as well as seismic strengthening of existing buildings.

PROFESSIONAL HISTORY

Senior Lead Structural Engineer / EsGil – A Safebuilt Company / 1986 - Present

Government Consultant | Contractor

Ali served over 165 municipalities and state agencies in the United States.

PROFESSIONAL AFFILIATIONS

- Elected as a fellow of the Structural Engineers Association of California (SEAOC) in 2017
- Seismic Safety Commissioner, 2007-2011
- President of SEAOSD, 2010-2011
- SEAOC Board of Directors Member, 2010-2012
- City of San Diego Board of Appeals Chairman, 2008 - 2014
- OSHPD Seismic Safety Board Member, 2008-2012
- Strong Motion Instrumentation Program Member, 2007-2011
- Seismology Committee of SEAOC '96-'97, Chairman
- Seismology Committee of SEAOSD '94-'95, Chairman
- Steel Sub-committee of SEAOSD '92-'94, Chairman
- Current, or former Member - ASCE, EERI and SEAOC

ACCOMPLISHMENTS

- Authored Commentary in the 1998 SEAOC Blue Book on the Seismic Zone Coefficient and Near Source Factors due for publication in late 1998.
- Authored Commentary to the 1996 SEAOC Blue Book Provisions on EBF, SCBF and High Strength Reinforcing Steel in Concrete for High Seismic Zones.
- Authored a periodical called "Seismic Reconnaissance" circulated by SEAOSD 1994 - 1996
- Co-authored SAC Advisory # 3 published in 1995.



A SAFEbuilt COMPANY

Years of Experience: 30+

Education

- BS, CE, MSCE, Georgia Institute of Technology, Atlanta, GA, 1980

Registrations/Certifications

- State Certified Access Specialist (CASp-861)
- CA Structural Engineer, S3715
- CA Civil Engineer, C42877
- ME Civil Engineer, 15622
- WA Civil Engineer, 56625
- WA DC Structural Engineer, S9020118
- WA DC Civil Engineer, S920878

Scott Humphrey, ICC

PLAN CHECK ENGINEER

Scott has 33 years of work experience (approx. 20 years of supervisory experience) as a licensed journeyman electrician on residential, commercial & industrial sites. He specializes in code compliant building & electrical installations with extensive experience working with all aspects of renewable energy projects & generating stations.

PROFESIONAL EXPERIENCE

Plans Examiner / Interwest Consulting Group / 2021 – Present

Scott has inspected a wide range of residential, commercial, and industrial installations to confirm compliance with various building codes.

Plans Examiner / EsGil- A SAFEbuilt Company / 2019 – 2021

Scott ensures that all building codes and ordinances are met in the planning process of a building.

Building Inspector / City of Chula Vista, CA

Responsible for several projects in Eastlake (Millenia) where inspected a wide range of residential, commercial, and industrial installations to confirm compliance with various building codes. Acted as the point of contact for reviewing/problem solving complex renewable energy/large electrical issues in the field and office. Additionally, had been tasked with assisting Department of Public Works with city owned projects where provided plan review, ensure at least minimum code compliance, write detailed corrections, and supply feedback to help avoid additional costs and/or rework. Assisted Department staff with complicated electrical plan reviews and/or provide technical input using various codes and standards.

Lead Electrical Engineer / LA County Utility Scale PV Projects

Manage all electrical field evaluations, and develop training for staff, including electrical continuing education for inspectors in all district offices. Perform installation inspections for 230kV and 69kV substations, reviewing a total of 1GW of renewable energy. Review field modified equipment, third party evaluation reports and special inspection reports as required by LA County Building and Electrical Codes. Develop and issue inspection deficiency reports to contractors and LA County. Provide daily and weekly written reports and presented issues to numerous contractors and LA County management.

Field Label Evaluator / Commercial & Electrical

Performed installation and modification inspections to UL safety standards. Performed installation inspections to NFPA 70. Performed preliminary design review of field modified equipment. Issued reports of compliance and noncompliance. Authorized issuance of field labels confirming compliance to UL safety standards. Provided NEC education on PV systems to authorities having jurisdiction and IAEI/ICC members.



A SAFEbuilt COMPANY

Years of Experience: 33

Education

- Construction Industry Training Council of Washington Puget Sound Electrical Apprenticeship and Training Trust

Registrations/Certifications

- IAEI Master Electrical Inspector: CEI-M-166
- I.C.C. Combination Inspector: 5254664-C8
- I.C.C. Commercial Combination Inspector: 5254664-C5
- I.C.C. Building Inspector: 5254664-B5
- I.C.C. Commercial Building Inspector: 5254664-B2
- I.C.C. Electrical Inspector: 5254664-E5
- I.C.C. Electrical Plans Examiner: 5254664-E3
- I.C.C. Commercial Electrical Inspector: 5254664-E2
- I.C.C. Mechanical Inspector: 5254664-M5
- I.C.C. Commercial Mechanical Inspector: 5254664-M2
- I.C.C. Plumbing Inspector: 5254664-P5
- I.C.C. Commercial Plumbing Inspector: 5254664-P2
- I.C.C. Residential Combination Inspector: 5254664-R5
- I.C.C. Residential Electrical Inspector: 5254664-E1
- I.C.C. Residential Building Inspector: 5254664-B1
- I.C.C. Residential Plumbing Inspector: 5254664-P1
- I.C.C. Residential Mechanical Inspector: 5254664-M1
- CA State Building Inspector: SAP62736
- General Journeyman Electrician CA: 107473
- Electrician Journeyman EL01 WA: HUMPHSJ022LF
- GE Green Belt in Six Sigma: 293885-313830-204046479

Field Operations / General Electric Renewable Energy

Scott's responsibilities included all technical functions, testing equipment and handling repairs, and managing engineer projects

CONTINUED CERTIFICATIONS

- I.C.C. Certified Residential Mechanical Inspector: 5254664-M1
- CA State Building Inspector: SAP62736
- General Journeyman Electrician CA: 107473
- Electrician Journeyman EL01 WA: HUMPHSJ022LF
- GE Green Belt in Six Sigma: 293885-313830-204046479

PROFESSIONAL AFFILIATIONS

- ANSI/UL Standards Technical Panels (voting member)
- 508A Industrial Control Panels
- 1741 Static Inverters
- 1699B (PV) DC Arc-Fault Circuit Interrupters
- 6703 Connectors for Use in PV Systems
- 6703A Multi-Pole Connectors for Use in PV Systems
- 9703 Distributed Wiring Harnesses for Use in PV Systems
- 3001 Distributed Energy Generation and Storage Systems
- 2808 Energy Monitoring Current Transformers
- International Association of Electrical Inspectors
- Voted by my peers to the Board of Directors
- International Code Council
- IBEW Member

Martha McNicholas, P.E.

SENIOR PROJECT MANAGER

As a senior project manager, Martha has vast experience in overseeing plans and implementation of projects by using budgeting, hiring team members, sourcing suppliers, and planning the project release.

PROFESIONAL EXPERIENCE

Senior Project Manager / Interwest Consulting Group / 2021 – present

Martha oversees all projects to ensure that they have the correct planning, organization, budget, and team.

Senior Project Manager / City of Hollywood / 2020 – 2021

While working as a senior plans manager, Martha assisted with:

- Supervising both design and construction professionals involved in the design, construction, and inspection of facilities under construction.
- Schedules, assigns, and supervises project managers who oversee architectural and engineering design projects.
- Performing oversight of plan design and preparation, cost estimate development, and specification preparation; participates in the development and design of projects.
- Oversees analysis and review of design studies prepared by professional consultants.
- Directs special studies and projects relating to technical and administrative aspects of the public works function; prepares reports and recommendations for consideration and action by municipal administration.
- Oversees of development and preparation of designs and plans for City projects to comply with
- Department's overall agenda.
- Resolves conflicts during construct administration phase of projects for adherence to plans and specifications.
- Prepares and reviews resolutions for City Commission.
- Interprets plans and specifications; approves minor design changes during construction, approves contractors' change orders and payment requests.
- Conducts and supervises instructional programs for subordinates as required.
- Makes recommendations regarding hiring, discipline, and promotion of subordinates; authorizes leave and overtime; evaluates and rates employee performance.
- Participates in the selection of design consultants and construction managers, including contract negotiations, as required.

Senior Utility Engineer / City of Riviera Beach, FL / 2018-2020

- Examined and approved construction plans, reports and calculations and related documents for all types of construction; new buildings, high riser buildings, residential houses, restaurants, and other industrial projects, providing solutions and enforcing the ICC code to



A SAFEbuilt COMPANY

Years of Experience: 20+

Education

- Bachelor's degree, University of Havana
- Florida advantage Building Code (F.S. 471.0195)

Registrations/Certifications

- Professional Engineer License in the State of Florida

complex Structural, Architectural, Mechanical, Plumbing and Energy to all projects to determine compliance with ICC 2017 and FBC 2017 6th Edition.

- Performed long-range planning for Capital Improvement Program and coordinates necessary financing for water and wastewater utility design, permitting, and construction services.
- Managed the preparation of plans, specifications and bid proposals for public works and utilities projects and monitors design, construction management and construction contracts.
- Analyzed complex issues and problems related to area of responsibility, evaluated alternatives, and developed and recommended effective courses of action.
- Participated in the development, planning, financing, design, administration, and construction of significant and complex utilities projects.
- Directed, assigned, supervised, and reviewed the work of subordinate engineering and/or technical support assistants engaged in the preparation of design, specifications, estimates, and technical reports related to the construction of utilities projects

Reviewed and evaluated private improvement plans for impact on utilities infrastructure; approved plans as appropriate for residential, commercial, industrial projects for specifications compliance; recommended approval/denial.

- Prepared and reviewed bid request packages; reviewed bids and made recommendations regarding bid award; reviews contract change proposals
- Reviewed and directed the work of consulting engineers and surveyors; ensured conformance with City and State requirements; reviewed progress payment requests; and otherwise, managed contract costs
- Multitasking, able to work under time pressure and stress. Put the company needs first. Proven ability to successfully analyze the organization's critical requirements, identify deficiencies and potential opportunities.
- Proficient with Engineering programs, Microsoft, cloud and others.

Senior Engineer Plans Examiner / West Palm Beach, FL / 2014-2018

While working as a Senior Plans engineer, Martha Examined building permit applications, including plans, specifications, surveys, product approvals, shop drawings, and all other required documents for compliance with the Florida Building Code and other regulations relating to building construction. Martha also assisted with:

- Participating in pre-submittal conferences, with design professionals, contractors, and other interested parties to discuss technical code issues on the review process.
- Approved and signed plans in compliance with all codes and regulations per FBC. Prepared and maintains all required records and reports.
- Interpreted code requirements as they related to alternative materials and methods of design.
- Proficient with AutoCAD, Autodesk, Engineering programs, Energy Pro, Microsoft, cloud and others.

International Business Director / Miami, FL / Salt Lake County, UT / 2010-2014

- Directed all manufacturing process for the design, construction, and integration of mobile steam injection systems to recovery oil (TEOR) for Venezuela Contractors using Clayton Boilers with 12 TN/hr @ 3000 psi, gas/diesel. Managed engineers, technical and administrative professionals.
- Designed steam projects for boilers, water treatment systems, economizers, pumps, cogeneration, and other related steam projects.
- Proven ability to successfully develop innovative and cost-effective solutions, excellent customer services, international marketing strategies, business development, strong technical qualifications related to the steam generation business and engineering.
- Managed the manufacturing operations assuring quality, productivity, performance and cost.

- Extended experience participating in National and International Trade Shows, promoting, and developing products and business.
- Exceptional demonstrated business ethics and integrity performing the job. Established best industry practices.
- Contributed to team effort accomplishing more than \$90 Million dollar sold in projects. Strong technical and business qualifications. High dollar value sales experience.

Vice President / Mechanical Inc. / Miami, FL / 1993-2009

While working as a vice president, Martha managed the engineer and international sales department. She specialized in HVAC refrigeration, energy, environmental controls, and antipollution devices. She also leads the firm into the 100 top companies in the USA. She has experience as a manufacturer's representative for National and International companies on boilers, water treatment, HVAC, pollution controls, incinerators, pumps, storage tanks, valves, industrial water heaters, and others.

Hospital Plant Chief Engineer / Alabarran Hospital / Havana, Cuba / 1989-1992

- Successfully managed the Hospital Energy Plant. Supervised and scheduled all the operation and maintenance of the boiler rooms, electric generators room, HVAC systems, environmental test and control, water treatment, wastewater, water pumping, and fuel station at the hospital.
- Provided leadership and direction during board meetings and team sessions in communicating Plant status. Coordinated and scheduled maintenance for Boilers and HVAC equipment for customers. Monitored the order status, time sheets and expenses report of the employees.
- Effectively collaborated, directed, and managed both functional and technical teams during the implementation of support and maintenance. Provided guidance and direction to the team in analysis and solution development.
- Established best practices and increased operational process efficiency in the Hospital.

Jingpei Zhang, EE

ELECTRICAL ENGINEER

Jingpei is a California registered engineer with more than 25 years of experience and a Masters degree in Electrical and Electronic Engineering. Over his career, he has designed a variety of facilities and systems, including electrical distribution systems for healthcare centers; data center facilities; commercial and industry buildings; and schools. Jingpei also has extensive experience providing electrical plan reviews on a multitude of projects including multi-story housing, large stadium projects. the UC Merced 2020 project, hotels and high-rise buildings.

PROJECT EXPERIENCE

Electrical Plans Examiner / Sac Republic Soccer Stadium / City of Sacramento / 2019 - Present

Jingpei reviews plans for conformance to applicable electrical codes for this new 409,664 SF stadium.

Electrical Plans Examiner / 65 East Apartments / City of Sacramento / 2018 – Present

Jingpei provides electrical plan review of this new five story, 180,724 SF apartment complex.

Electrical Plans Examiner / Great Wolf Lodge / City of Manteca / 2018 – Present

Jingpei provides electrical plan review for this unique 510,000 SF hotel and 100,000 SF indoor water park.

Electrical Plans Examiner / 2020 Campus Expansion / University of California, Merced / 2017 - Present

Jingpei provides electrical plan review for the UC Merced campus expansion project that will nearly double the campus upon completion.

Electrical Plans Examiner / Sacramento, CA / 2009 – 2017

Jingpei reviewed plans for health care facilities, commercial and industry buildings including:

- Farm Credit West (bank), Yuba City
- Almadon Ranch Commercial Office Building O6/P5
- El Dorado Surgery Center, Folsom Surgery Center
- Kaiser Folsom HVAC upgrade
- San Francisco Honda Service Center in Folsom and Bayshore
- University Village Shopping Center
- Folsom Broderick Restaurant
- Folsom Natural Result Surgery Center
- Sunnyvale Building T warm shell
- Twin River School District schools HVAC system Replacement



A **SAFEbuilt** COMPANY

Years of Experience: 25
Years w/ Interwest: 4

Education

- MS, EEE, California State University, Sacramento
- BS, EEE, South China University of Technology

Registrations/Certifications

- CA Registered Electrical Engineer | E16243
- NCCER HVAC Level IV Certification
- NCCER Plumbing Level IV Certification
- NCCER Building Maintenance Level III Certification
- NCCER Carpentry Level IV Certification
- NCCER Solar Photovoltaic Level I Certification
- NCCER Wind Power Level I Certification
- NCCER Green Technology Level I Certification
- NCCER Weatherization Technician Level I Certification

Electrical Engineer (Designer) / California / 1997 – 2007

Jingpei designed health care facilities, commercial and industry buildings and data centers including:

- St. Joseph Hospital main office building (MOB), Eureka, CA
- North bay Medical Center: Medical Center Emergency Department, Vacaville, CA., Cardio-vascular surgery center, Fairfield, CA
- Lakeside Hospital, Tele-medical surgery suites, Lakeport, CA
- UC Davis Briggs Hall Chemical Laboratory Building
- Franchise Tax Board Administration building, Rancho Cordova, CA
- Kaiser Hospitals, San Francisco, Vacaville, Roseville, Elk Grove, CA
- Veteran's Hospital Radiology Department, Mather, CA
- Woodland Memorial Hospital, mental health department renovation, Woodland, CA
- Microsoft Data center, Redmond, Seattle, WA
- Lockheed Martin Power distribution system upgrade, Santa Clara, CA
- CDCR Prison Housing units, Delano; Salinas; Vacaville, CA
- Elk Grove Middle school, Elk Grove, CA
- Santa Clara Elementary School, Santa Clara, CA
- San Jose Elementary School, San Jose, CA
- AT&T Web hosting data center, Seattle, WA
- Level 3 Data center, Portland, OR
- Equinix data centers, New York, city, Chicago, IL
- GTE call center, various sites.
- Safeco Call Center, Seattle, WA
- Bank of America Branch offices, various sites.
- Wells Fargo Bank Branch offices, various sites.

PROFESSIONAL EXPERIENCE

Electrical Engineer Plans Examiner / Interwest Consulting Group / 2017 – Present

Jingpei provides electrical plan reviews for projects throughout California to verify compliance with applicable codes.

Augie Cerdan, FPE

FIRE PROTECTION ENGINEER

Augie brings over 28 years of experience in construction and fire plan review and inspection with a proven performance in analysis and regulatory compliance as a Fire Protection Engineer. Augie's extensive experiences as a Fire Protection Engineer, has provided him a skill set to examine and correct construction documents, establish and maintain effective working relationships, determine adherence to code requirements and provide rapid, uniform and accurate customer service.

PROFESSIONAL HISTORY

Fire Protection Engineer | Fire Plans Examiner | Fire Inspector / Interwest Consulting Group / 2018 - Present

Augie reviews residential and non-residential plans for compliance with California Building, Plumbing, Mechanical, Energy Standards, Fire Codes and California Green Building Standards; state and local building codes, policies, amendments, and ordinances.

Fire Protection Engineer / City of Folsom / 1999 - 2017

Augie has serviced the City of Folsom for the past 18 years as their Fire Protection Engineer his role included; examining and noting deficiencies of plans, calculations, and specifications associated with the review of site and building plans, fire suppression and alarm systems, tentative parcel maps, industrial processes, hazardous materials, and specifications for new buildings and building modifications to ensure compliance with Federal, State and local fire and life safety ordinances, laws and codes. Additional duties included; conducting functional tests and field inspections of construction sites; suppression, detection and alarm systems; means of egress; fire barriers and smoke management systems.

Augie also interpreted, analyzed and made recommendations and provided technical advice to staff, developers, architects, contractors and the public related to codes, ordinances and standards. He played a key role in providing construction permitting services as the Fire Department's representative for Community Development that resulted in a one-stop permit counter at City Hall. Additionally, he spearheaded the over-the-counter plan checking and permitting services for building permit and fire protection system applications at the public counter of the Community Development Department.

Fire Protection Engineer / City of Sunnyvale / 1990 - 1999

Augie serviced the City of Sunnyvale for 9 years as their Fire Protection Engineer his role included; examining and noting deficiencies of plans, calculations, and specifications associated with the review of site and building plans, fire suppression and alarm systems, tentative parcel maps, industrial processes, hazardous materials, and specifications for new buildings and building modifications to ensure compliance with Federal, State and local fire and life safety ordinances, laws and codes. Additional duties included; conducting functional tests and field inspections of construction sites; suppression, detection and alarm systems; means of egress; fire barriers and smoke management systems.



INTERWEST

Years of Experience: 28

Years w/ Interwest: 2

Education

- BS, Mechanical Engineering, University of California, Davis

Registrations/Certifications

- CA Registered Professional Fire Protection Engineer | FP1579

Connor Reiss

PLAN EXAMINER

Connor has had several years working as a plan's examiner. Connor ensures that any building plans meet the appropriate ordinances and codes.

PROJECT EXPERIENCE

Mechanical Plans Examiner / Interwest Consulting Group / 2021-present

While working at Interwest Consulting Group, Connor has responsibilities in making sure all building plans meet a standard depending on the ordinances and codes. Connor also reviews all building safety in also construction plans.

Mechanical Plans Examiner / EsGil- A SAFEbuilt Company / 2018 – 2021

- Conduct mechanical and plumbing plan reviews for incoming construction projects
- Create plan review submittals for clients outlining any code violations
- Answer questions for clients to eliminate any discrepancies

Construction Engineering Adjunct Professor / San Diego State University / 2018-present

While working as a professor, Connor teaches students about the designing, planning, construction and management of facilities.

Volunteer / Shiley-Marcos School of Engineering Humanitarian Trip / El Cercado, Dominican Republic / 2017-2017

Participated in a two-week USD sponsored trip designed to utilize the skills gained through the curriculum to create chlorination plants, solar water heaters, usable stoves, and bio-fuel alternatives for the native people



A SAFEbuilt COMPANY

Years of Experience: 5

Education

- B.S. Mechanical Engineering, San Diego, CA
- Preparatory School
- Colorado Springs, CO
- Selected for a 10-month post-high school military program consisting of rigorous academic and leadership training

John Milbrandt, ICC

BUILDING INSPECTOR

John has a vast experience as a building inspector. He is responsible for the overall guidance, direction and management of city building codes and ensures that all buildings meet relevant construction codes.

PROFESSIONAL EXPERIENCE

Building Inspector / Interwest Consulting Group Company / 2021-Present

John acts as a Building Inspector for our clients throughout Southern California, particularly in San Diego County, ensuring that all buildings meet industry, state and local codes.

Building Inspector / EsGil – A Safebuilt Company / 2017-2021

- Ensured building met all safety goals
- Performed inspections and construction plan reviews
- Develop and implement operating policies
- Investigate various citizen inquiries concerning building and safety violations

Self Employed / 2009-2012

Inspector II / City of Carlsbad / 2004-2009

John assisted in inspecting building projects and keeping records of construction, crafts people, trades, and materials testing in field tests.

Building Technician / City of Carlsbad / 1997-2002

John assisted with essential construction tasks and projects. He also calculated building costs, negotiated with suppliers, and prepared site plans.

Realty Broker / Spindrift / 1997-Present

John assisted customers with purchasing, renting, and selling properties.



A SAFEbuilt COMPANY

Years of Experience: 14

Education

- B.S Business Administration

Registrations/Certifications

- I.C.C Certified Dwelling Inspector
- I.C.C Certified Fire Inspector
- Cal EMA Safety Assessment Program Evaluator

Gordon Day, ICC

Senior Building Inspector

Gordon Day has 45 years of building industry experience and has worked in the building inspection department for 19 years. He was a former Building Project Manager for the City of Chula Vista and worked as an Electrical Code and Blue Print Reading Instructor at Southwester College for six years. Gordon worked as an Electrical Contractor for 35 years and as a Code Instructor for two years.

PROFESSIONAL HISTORY

Senior Building Inspector / EsGil – A SAFEbuilt Company / 2016 - 2020

Senior Building Inspector / Interwest Consulting Group / 2021 - Present

Gordon started his SAFEbuilt career as an EsGil employee in 2016. When EsGil merged with Interwest Consulting Group, he continued his role as Senior Building Inspector where he provides direction and supervision to inspection and permitting staff, interprets and enforces the adopted building codes in a consistent manner for each jurisdiction assigned, and documents inspection results so that the information is clear, concise, complete, and understandable.



A SAFEbuilt[®] COMPANY

Years of Experience: 45

Years w/ Interwest: 1

Registrations/Certifications

- ICC Plumbing Inspector
- ICC Plumbing Inspector
UPC
- ICC Mechanical Inspector
UMC
- ICC Combination Inspector
- ICC Mechanical Inspector
- ICC Building Inspector
- ICC Building Plans
Examiner
- ICC Structural Masonry
Special Inspector
- ICC Combination
Inspector Legacy
- ICC Electrical Inspector
- ICC Commercial
Combination Inspector

Ashleigh Herbert

PERMIT TECHNICIAN

Ashleigh has vast experience working as a permit tech. Some of her duties include assisting in processing plan check applications for construction plans for commercial, industrial, and residential projects, Calculating application and permit fees, as well as all preliminary permit reviews in codes, ordinances, and regulations.

PROFESSIONAL SKILLS

- Excel, MS Word, and Google Docs
- Recruiting, vetting, and selecting of new hires
- Freshbooks, generating invoices, quotes, AR, AP, and quarterly accruals
- Preparing RFI, RFP, RFQ (requests for information, proposal, and quote) documents
- Social media management
- EECF and HEAT for SDG&E (proprietary systems)
- WIX and Lightroom

PROFESSIONAL HISTORY

Interwest Consulting Group / Permit Tech / 2022- present

While working at Interwest Consulting Group as a permit tech, Ashleigh is responsible for processing plan checks for projects, calculating fees, and answering and inquiries from contractors. She also organizes all permits and records in preparation for reports.

Omni2Max Inc / Executive Assistant / La Mesa, CA / 2020 – 2020

While working at Omni2Max, Ashleigh managed and edited highly confidential emails and documents, created occupational advertisements and interviews with new hires, and lastly, maintained office operations.

Acknowledge City / Office Administrator / Carlsbad, CA / 2019 - 2020

While working as an office administrator, Ashleigh assisted in several departments including Human Resources, IT department, and the sales department. In this role Ashleigh was responsible for:

- Creating invoices, paid receipts, and quotes through Freshbooks and MS Word.
- Creating content for RFI, RFP and RFQ documents using MS Word and Excel.
- Corresponding with government officials regarding their E-Learning subscriptions.
- Responsible for highly confidential documents and contracts for local government.
- Fielding inbound calls, sorting the mail, shipping, and receiving.
- Data entry in Excel, Freshbooks, and maintaining the CRM (Pipedrive).
- Creating user trials using HTML coding for users to navigate through the LMS.
- Updated and maintained daily sales and profit/ loss reports using Excel and Freshbooks.
- Conducted phone interviews for new hires across all departments.



A SAFEbuilt COMPANY

Years of Experience: 15+

Education

- Escondido High School, Escondido, CA

- Maintained company executive calendars using Outlook, Google Calendar, Skedda, and Excel.
- Assisting the sales team with finalizing sales and by corresponding with new and existing clients.

Executive Assistant / Rancho Energy Services, Co / 2003-2019

While working as an office manager/ HR and executive assistant for Rancho Energy Ashleigh had many tasks including:

- Generating aging reports, general bookkeeping, AR/ AP, and generated invoices.
- Corresponded daily with SDG&E management and local city officials.
- Created and maintained spreadsheets using MS Word and Excel. As well as working in a proprietary program used for creating invoices.
- Created occupational ads, handled recruiting for new hires, conducted conflict resolution, and termination of employees and vendors.
- Maintained truck inventory (Including vehicle registration and maintenance for a fleet of construction trucks).
- Facilitated company lunches and conducted all special event planning.
- Created paid receipts, quotes, quarterly accruals, and product installation estimates.

Matt Simonetti, PE

CA REGISTERED PROFESSIONAL CIVIL ENGINEER

Matt has more than 23 years of civil engineering experience. He currently provides engineering plan review services to our clients throughout Southern California. Matt has managed entitlements and final plan and map reviews for various land development projects for several cities, including most recently the City of Moreno Valley. Matt possesses excellent communication skills, always providing a high level of customer service in a professional manner. He has experience with both municipal and private clients. Matt is a strategic thinker and an innovative problem-solver, making him a strong asset to all projects.

PROFESSIONAL HISTORY

CA Registered Professional Civil Engineer / Interwest Consulting Group / 2021 - Present

Matt currently serves as a CA Registered Professional Civil Engineer with Interwest Consulting Group and provides engineering services to our clients in California.

Interim Senior Civil Engineer / City of Moreno Valley / 2021 – 2021

Matt served as Interim Senior Civil Engineer for the City of Moreno Valley. Matt managed entitlements and final plan and map reviews for various land development projects for the City.

Senior Civil Engineer / City of Yorba Linda / 2013 – 2021

Matt served as Land Development and NPDES Division Manager for the City of Yorba Linda. He managed all entitlements and final plan/map reviews for various land development projects. Matt also served as the Engineering representative at Planning Commission public hearings. He was responsible for preparing budgets, policies, and procedures.

Associate Civil Engineer / City of Menifee / 2009 – 2012

Matt managed entitlements and final plan/map reviews for land development projects for the City of Menifee. He reviewed site plans and tentative subdivision maps for regulatory compliance. Matt also provided Project management, final plan/map reviews, encroachment permits, compliance investigations, and capital improvement projects. Matt was responsible for managing consultants, project construction, and inspections.

Project Manager / Hall & Foreman, Inc. / 2005 – 2009

Matt was responsible for Project Management of Team, Clients, Budgets, Schedule, and PS&E packages. He worked on both Land Development Residential and Commercial Projects. Matt's responsibilities included Rough/Precise Grading, Street, Sewer, Water, Erosion and Sediment Control, Storm Drain, WQMP, SWPPP, Tentative Maps, Specifications, and Cost Estimates.

Design Engineer / RBF Consulting / 2001 – 2005

Matt worked on Street Improvement Projects with extensive roadway design including horizontal and vertical alignments, curb return profiles, typical and design cross sections, and construction details. He was responsible for providing cost estimates and quantities, along with utility coordination and mapping.



A **SAFEbuilt** COMPANY

Years of Experience: 23

Education

- BS, Civil Engineering, The Henry Samueli School of Engineering

Registrations/Certifications

- CA Registered Professional Civil Engineer, 68340

Kamran Saber, PE, QSD/QSP

CA REGISTERED PROFESSIONAL CIVIL ENGINEER // PROJECT MANAGER

Kamran has over 31-years of experience in the design and management of major multi-disciplinary public works projects. His experience includes transportation design, structural design, utility engineering, hydraulic, hydrology, cost estimating, contract specifications, constructability analysis, peer reviews, development review, environmental process and reviews, report writing, RFP preparation, construction management and support services. Kamran has a broad background in CIP management, planning, design and construction on a wide variety of projects including land development, street improvement and rehabilitation, sewer and storm drain studies and design, grading and drainage. He also has extensive training and hands-on experience in project/resource management and Total Quality Management, and is a Certified Facilitator. Additionally, Kamran has extensive expertise in federally and state funded projects through his work managing over 100 federally funded projects throughout his career.

Kamran's professional history includes City Engineer experience at the Cities of Covina, Placentia, Villa Park, San Gabriel, and the Town of Yucca Valley. Below is just a selection of the many projects Kamran has worked on.

PROFESSIONAL HISTORY

Senior Project Manager / Interwest Consulting Group / 2016-Present

Kamran has served numerous clients in Riverside, LA, and Orange County, providing project management, plan review, development review and internal support in the Cities of Wildomar, Eastvale, Costa Mesa, Fountain Valley, Encinitas, and Maywood, just to name a few.

ROADWAYS AND MUNICIPAL PROJECT EXPERIENCE

Central Avenue Corridor Improvement / City of Compton, CA / 2015

Project Manager and Pavement Engineer | Project Manager and Pavement Engineer for the reconstruction of Central Avenue from 131st Street to Compton Boulevard to address roadway rehabilitation needs in an expedited manner. The project consisted of two segments: Segment 1 from 131st Street to Rosecrans Avenue and Segment 2 from Rosecrans Avenue to Compton Boulevard. An innovative low impact development (LID) approach was selected for the pavement rehabilitation consisting of 2-inch ARHM over 4-inch in-situ recycled asphalt (Cold Central Plant Recycled, CCPR) on top of 8-inch in-situ cement treated base, also known as Full Depth Reclamation (FDR). Ninety percent of the proposed structural section was recycled from the existing road materials with no material hauled out from the project.

San Gabriel Boulevard Rehabilitation, Mission Drive to Las Tunas Drive / City of San Gabriel, CA / 2010

Project Manager and Construction Manager | Project Manager and Construction Manager for the 1.5-mile rehabilitation of San Gabriel Boulevard in the heart of the City of San Gabriel. The project included rehabilitation of pavement using the cost saving method of Full Depth Reclamation (FDR) with the construction cost of approximately \$1.9M. Project included pavement rehabilitation and reconstruction, reconstruction of centerline to increase cross fall and to improve cross drainage, curb, gutter and sidewalk repair, addition of gutter plate where missing, addition of cross gutters where missing or nonfunctioning, addition and/or upgrading of curb ramp and



A **SAFEbuilt** COMPANY

Years of Experience: 31+

Years w/ Interwest: 6

Education

- MS, Civil Engineering, California State University, Sacramento, CA
- BS, Civil Engineering, Polytechnic Tehran

Registrations/Certifications

- CA Registered Civil Engineer | 47567
- Qualified SWPPP Developer/ Practitioner (QSD/QSP) | 24012

Professional Affiliations

- American Society of Civil Engineers, (ASCE)
- American Public Works Association, (APWA)
- Society of American Value Engineers, (SAVE)
- Society of American Military Engineers, (SAME)
- Railroad Association of Southern California, (RASC)

reconstruction of damaged driveway aprons. The project design included water quality green feature such as permeable concrete gutters.

Maple Avenue Roadway Rehabilitation Project / City of El Segundo, CA / 2012

Project Manager | Responsible for the preparation of plans, specifications, and estimate (PS&E) and management of the design staff, survey crews and sub consultants, Landscape Architect, and Geotechnical. Mr. Saber performed QA/QC, prepared project specifications and cost estimates, and coordinated the project with various City departments (Water, Planning, Maintenance, landscaping, and sewer). The main objectives of the project were rehabilitation of existing pavement, extensive drainage improvements, installation of landscaped median, sidewalks, and installation of flashing red lights at mid-block crossings, public outreach and ADA ramps. The design and construction were completed within schedule and budget.

West Roses Road Rehabilitation, Mission Drive to Del Mar Avenue / City of San Gabriel, CA / 2010

Project Manager | Project Manager for the preparation of plans, specifications, and estimate (PS&E) and construction management of 3,600 linear feet of collector roadway. Project included pavement rehabilitation, curb, gutter and sidewalk repair, addition of gutter plate where missing, addition of cross gutters, addition of curb ramps and reconstruction of damaged driveway.

Arterial Rehabilitation Projects and Annual Street Resurfacing Projects / City of Lake Forest, CA / 2007

Project Manager | Project Manager for the preparation of plans, specifications, and estimate (PS&E) for the City of Lake Forest's annual street resurfacing projects, as well as the design for Arterial Highway Rehabilitation Projects (AHRP) along Murlands Boulevard, El Toro Road, and Rancho Santa Margarita Parkway. These projects involved pavement resurfacing using rubberized asphalt, slurry sealing, adjusting manholes and monument preservation, restriping and the installation of loop detectors.

RAIL | TRANSIT PROJECT EXPERIENCE

Metrolink Station / City of Covina, CA / 2015

Project Manager | Civil Design Manager and Construction Manager responsible for the proposed station design improvements at the Metrolink Station in Covina, California. Proposed improvements included parking rehabilitation, lighting, signage, striping, landscape, irrigation, traffic signal and entrance improvement.

Bradford Avenue Pedestrian Bridge over BNSF Tracks, Alameda Corridor Transportation Authority (ACTA) / Placentia, CA / 2008

Project Manager | Project Manager for this federally funded project involved extensive negotiation and coordination with Railroad Company and adjacent KB Homes development. Project involved executing the signed Intermodal Container Transfer Facility (ICTF) Joint Powers Authority (JPA) with the Railroad Company for construction easements per Caltrans guidelines, securing right-of-way and easements from developer, and obtaining State and Federal approval (E-76) to proceed with construction.

Establishment of Quiet Zone Along BSNF Tracks / Placentia, CA / 2008

Project Manager | Project Manager responsible for working with BNSF and Federal Railroad Administration (FRA) to establish the Quiet Zone (QZ) in the City of Placentia. The project also involved construction of improvements at the six crossings per FRA requirements and standards, as well as installation of new advanced train warning and relay systems by BNSF.

GRADE SEPARATIONS PROJECT EXPERIENCE

Montebello/Union Pacific Railroad (UPRR) Corridor Grade Separation Feasibility Study Report / Montebello, CA / 2014

Task Manager | Task Manager responsible for developing a grade separated corridor along UPRR (Los Angeles Subdivision) and considering various alternatives including a complete trench, partial trench and individual grade separations at Montebello Boulevard, Greenwood Avenue, Maple Avenue and Vale Avenue. The project included developing conceptual plans in accordance with UPRR and AREMA standards as well as cost estimates. Close coordination with the City of Montebello, Alameda Corridor East Construction Authority, UPRR and CPUC was a critical part of the project which required timely concept approval.

SR-710 Gap Alternatives, Los Angeles Metropolitan Transportation Authority / Los Angeles, CA / 2014 - 2015

Task Manager | Task Manager (JMD Inc.) responsible for developing light rail transit, railroad and Transportation System Management/Transportation Demand Management (TSM/TDM) alternatives for the nearly five-mile-long freeway gap between Interstate 10 (Los Angeles/Alhambra) and Interstate 210 (Pasadena). Mr. Saber was responsible for developing conceptual light rail transit (LRT), grade separation, track, roadway and intersection alignments to address local needs and hot spots through the cities of Los Angeles, Alhambra, South Pasadena and Pasadena. LRT and track alignment plans were designed in accordance with LA Metro, as well as UPRR and AREMA standards, respectively. Cost estimating of each alternative was also provided including the development of an environmental document for the project. Mr. Saber was responsible for facilitating close coordination with the Cities, UPRR and CPUC to obtain reviews and conceptual approvals in a timely manner.

Jeffrey T. Kent, PE, GE

Principal Engineer



EDUCATION

M.S., Geotechnical Engineering, 2001,
University of California at Los Angeles

B.S., Civil and Environmental Engineering,
2000, University of California at Los
Angeles

REGISTRATIONS

GE 2817 (California)

PE 66143 (California)

PROFESSIONAL AFFILIATIONS

American Society of Civil Engineers

As a Principal Engineer, Mr. Kent coordinates and conducts geotechnical evaluations for commercial, educational, and public/municipal facilities, including schools, highways, railroads, pipelines, public and private buildings, and bridges; performs slope stability analyses, flexible and rigid pavement design, and underground pipeline design; and prepares and reviews geotechnical reports. He also provides geotechnical design parameters and recommendations for shallow and deep foundations, retaining structures, in-situ ground remediation and earthwork; reviews laboratory results and project plans and specifications; provides supervision and technical support to staff-level engineers and geologists; and performs project administration and management. Mr. Kent also develops the scope of work for materials testing and inspection projects; provides supervision and technical guidance to field and laboratory personnel; oversees field observation, testing, and inspection services; supervises laboratory testing; analyzes and reviews field and laboratory data; and authors and reviews materials testing and inspection reports.

EXPERIENCE

City of San Diego Storm Drain and Slope Repair, Via Esprillo, San Diego, California: Project Manager during a geotechnical evaluation for the City of San Diego slope washout and storm drain repair project. The site consisted of a descending slope located at the rear of 16464 Via Esprillo. A 42-inch and 48-inch storm drain, a portion of which consisted of corrugated metal pipe (CMP), descended to headwall outlets at the base of the slope. After years of deterioration and leakage of the CMP, erosion toward the toe of the slope occurred. Conditions at the slope included a large washed out area that was approximately 30 to 50 feet wide, 100 feet long, and extended the full 60 foot height of the slope. Several portions of the washout had been eroded to near vertical slopes. The project included the reconstruction of the slope and replacement of the storm drains. Services included review of background information; performance of a geologic reconnaissance of the site, including the observation and mapping of geologic conditions and the evaluation of possible geologic hazards which may impact the proposed project; performance of a subsurface evaluation consisting of drilling exploratory borings to evaluate the subsurface conditions; laboratory testing on selected soil samples; compilation and analyses of the data obtained; and preparation of a report.

City of San Diego 60-Inch Storm Drain and Slope Repair, 4141 Ruffin Road, San Diego, California: Project Engineer during a geotechnical evaluation for the 60-inch storm drain and slope repair project located at 4141 Ruffin Road. The site consisted of a descending slope located at the rear of 4141 Ruffin Road. A 60-inch storm drain, a portion of which consisted of corrugated metal pipe (CMP), descended to a headwall outlet at the base of the slope. Services included background review; a subsurface evaluation; laboratory testing; data compilation and analyses; and preparation of a report presenting our findings, conclusions, and recommendations regarding the geotechnical design and construction of the project. Field observation and in-place density testing services were provided during fill placement and trench backfill operations.

Chargers Practice Facility, 54-Inch Storm Drain and Retaining Wall Repair, San Diego, California: Project Manager for geotechnical consulting services during the design and construction phases for the Emergency Storm Drain Pipe Replacement

Jeffrey T. Kent

Principal Engineer

project at the Chargers Practice Facility. During a rain event, a sinkhole developed around a storm drain vault located at the western side of the practice facility. After further evaluation, the existing 54-inch diameter reinforced concrete pipe (RCP) was found to possess several voids within the pipe. Services included a subsurface exploration, laboratory testing, and preparation of a geotechnical report. Geotechnical observation and materials testing services included field density testing during storm drain trench and retaining wall backfill, site evaluation of temporary slopes and trench excavations, and laboratory testing of soils used by the contractor. Materials testing for the project included conformance testing of reinforcing steel and compressive strength testing of concrete.

Audubon Elementary School, San Diego, California: Project Engineer for a geotechnical evaluation of the distressed drainage ditch and existing slope conditions at the Audubon Elementary School. The project study area included an approximately 900 foot long slope with heights up to approximately 50 feet along the southern and eastern boundaries of the school campus. Distress to the project area included a cracked and undermined concrete drainage ditch as well as several shallow erosions and washouts. Services included a subsurface exploration and geotechnical laboratory testing. The information from these services was compiled and used to analyze the global and surficial stability of the existing slope. Recommendations for the reconstruction of the drainage ditch along with a moisture cutoff wall were presented in our geotechnical report as well as remedial grading recommendations for the erosions and washouts. Further recommendations were provided to mitigate the potential for future erosion of the slope.

City of San Diego Mobley Street Storm Drain Replacement, San Diego, California: Project Engineer during a geotechnical evaluation for the Mobley Street Storm Drain Replacement project, which involved the reconstruction of the washed out portions of the slope and replacement of the storm drainpipe. The existing storm drainpipe was removed and replaced with a new pipeline system. Services included background review; subsurface exploration with exploratory test pits; geotechnical laboratory testing; data compilation and analysis; and report preparation.

City of Carlsbad La Gran Via CMP Replacement, Carlsbad, California: Project Manager for La Gran Via CMP Replacement project. The project included the reconstruction of storm drain outlet that had corroded and resulting in the failure of an existing slope within an open space area. These services included geologic observation of removals, observation of backfill and fill placement, field density testing of the earthwork operations, laboratory testing of onsite and import soils, compressive strength testing of structural concrete, and preparation of a compaction report.

SDUSD Correia Junior High School Slope Washout, San Diego, California: Project Manager for a geotechnical evaluation during the slope repair at the Correia Junior High School. Due to the deterioration of an asphalt concrete drainage ditch at the top of the slope, water was allowed to overtop an existing slope along the southwestern boundary of the school campus. During rain events, surface water runoff was directed over the face of the slope resulting in an erosional washout. This washout damaged the existing irrigation lines within the slope and washed soil onto the adjoining athletic fields within a City of San Diego park. Services included background review; site reconnaissance to map the distressed slope area; subsurface exploration; and geotechnical laboratory testing; and preparation of a report with recommendations for the reconstruction of the slope using geogrid reinforced fill soils.

City of Chula Vista Olympic Parkway Slope Erosion, Chula Vista, California: Project Engineer for a geotechnical evaluation of the slope erosion that occurred on the southerly facing slope north of Olympic Parkway and west of Otay Ranch High School. The erosion was caused by a leak from a water irrigation line located within the slope. As a result of the leak, a portion of the slope slumped downhill and soil washed down into a concrete brow ditch near the base of the slope. Services included background review; geotechnical reconnaissance of the site; subsurface exploration that included the excavation, logging, and sampling of exploratory borings; geotechnical laboratory testing; data compilation and analysis; and preparation of a geotechnical report presenting our findings, conclusions, and recommendations for the repair of the slope erosion. Also performed geotechnical observation and testing services during the repair efforts including observation of earthwork removals, slope benching, and fill placement; field density testing during fill placement; and preparation of a compaction report summarizing our observations and test results.

Romeria Drainage and La Costa Avenue Slope Repair Construction Phase, Carlsbad, California: Project Manager during geotechnical observation and testing services for the Romeria Drainage and La Costa Avenue Slope Repair Construction project. The project involved placement of 3-inch minus rock materials layered with a geogrid materials to provide a stable subgrade for the new concrete channel; construction of an all-weather maintenance access road; and construction of a new fill slope, in which layers of geogrid were placed within the fill materials to add reinforcing.

Nissa Morton, PG, CEG

Senior Project Geologist



EDUCATION

M.S., Geological Sciences, 2011, San Diego State University

B.A., Geology, 2005, Pomona College

REGISTRATIONS/CERTIFICATIONS

CEG 2655 (California)

PG 8949 (California)

PROFESSIONAL AFFILIATIONS

Association of Environmental and Engineering Geologists

As a Senior Project Geologist for Ninyo & Moore, Ms. Morton conducts geotechnical evaluations, prepares geotechnical reports, coordinates and conducts field and laboratory investigations, and evaluates field compliance with earthwork specifications. Ms. Morton has provided these services for commercial buildings, schools, and airports, and various public works projects.

EXPERIENCE

El Camino Del Norte Flood Improvements, San Diego County, California: Project Geologist for a geotechnical and groundwater evaluation for a flood control improvement project in the Rancho Santa Fe community. Services included review of background geotechnical documents; coordination for subsurface investigation; logging and sampling of exploratory test borings; installation of monitoring wells and collection of groundwater data; and preparation of a final report.

City of San Diego, Old Otay Mesa Road Improvements, San Diego, California: Project Geologist for geotechnical observation, materials testing, and special inspection services for the Old Otay Mesa Road Improvements project that included the widening of Old Otay Mesa Road from its intersection with Hawken Drive to a distance of approximately 4,000-feet east along the roadway. To accommodate the widening, various types of non-standard retaining walls were constructed. These included several mechanically stabilized earth retaining walls constructed along the north side of the roadway and soil nail retaining walls (Walls A and B) constructed along the south side of the roadway. Services included geotechnical observation of the stability of temporary and permanent cut slopes, foundation subgrade for retaining walls, drilling and installation of soil nails, installation of rammed aggregate piers, and general grading observations.

Aliso Canyon Road Flood Improvements, San Diego County, California: Project Geologist during geotechnical design services for the Aliso Canyon Road Flood Improvements project, which included the installation of new reinforced concrete boxes beneath Aliso Canyon Road and El Camino Del Norte used as part of the storm drain system and to mitigate the potential of flooding in the area. Additionally, the roadways were raised a few feet and the pavements were reconstructed. Services included the acquisition of boring and encroachment permits from the County of San Diego, research of available geotechnical resources, performance of subsurface exploration consisting of soil borings, converting the borings to monitoring wells, groundwater depth measurement readings, geotechnical laboratory testing, data compilation, and preparation of a geotechnical report.

North Tecolote Canyon Access Design Project, San Diego, California: Project Geologist during a geotechnical evaluation for the City of San Diego North Tecolote Canyon Access Design project, which included improvements at six stream crossings, one manhole protection feature, and improvements to the existing approximately 1.3-mile trail within the northern portion of Tecolote Canyon Natural Park. The improvements also included construction of concrete pavers to stabilize several of the stream bottoms of vehicle bridges or culverts to support truck access for maintenance and repair of the sewer main. Services included background review; a field reconnaissance; coordination and mobilization for the subsurface exploration; drilling, logging, and sampling of three exploratory borings at the site with limited

Nissa Morton

Senior Project Geologist

access drill rigs to depths up to approximately 16 feet below existing grades; geotechnical laboratory testing; data compilation and engineering analysis; and preparation of a geotechnical report providing our findings, conclusions, and recommendations for the design and construction of the project.

Del Mar Fairgrounds Backstretch Improvements, Del Mar, California: Project Geologist during geotechnical services associated with construction of the Backstretch Improvements project at the Del Mar Racetrack portion of the Del Mar Fairgrounds. The project consisted of raising the height of the existing berm on the south side of Stevens Creek in order to protect the Backstretch stable areas at the racetrack. In addition to raising the berm approximately 5 feet in height, the project included construction of an approximately 150-foot-long and 3-foot-high retaining wall. Services were performed to assess the suitability of import material for the project based on criteria outlined in our geotechnical evaluation report. Services included field sampling, geotechnical laboratory testing, and compilation of the laboratory data and our previous geotechnical report.

Pilgrim Creek Vector Remediation and Rehabilitation, Oceanside, California: Project Geologist during a geotechnical evaluation for the Pilgrim Creek Vector Remediation and Rehabilitation project at the Oceanside Municipal Golf Course. Several areas of the creek channel were plugged with sediment and vegetation, particularly at golf cart crossings across the channel. The project consisted of grading sections of the creek channel and reconstructing nine existing creek crossings in order to improve drainage conditions. Services included background review; field reconnaissance; drilling, logging, and sampling of nine exploratory borings; laboratory testing; and preparation of a report presenting findings, conclusions, and recommendations regarding the design and construction of the project.

Chollas Triangle Park, San Diego, California: Project Geologist during geotechnical design services for the Chollas Triangle Park project, which involved permanently closing this section of Chollas Parkway to vehicular traffic and constructing an approximately 5.6-acre active park space and 2.1-acre passive open space. The active park space included multi-use sports courts, paved gathering areas, playground equipment, exercise equipment, off-leash dog areas, a comfort station, an outdoor amphitheater, decomposed granite paths, pedestrian bridges, shade structures, bike ramps, and on-street parking stalls. The passive open space also included landscaping and other low impact improvements adjacent to the Chollas Creek. Additional site improvements were to include flatwork, underground utilities, light poles, and storm water Best Management Practices (BMP) devices.

IBWC Feasibility Study for Sediment Basins in Tijuana River and Tributaries, San Diego, California: Project Geologist during a geotechnical evaluation for the International Boundary and Water Commission (IBWC) Feasibility Study for Sediment Basins in the Tijuana River and Tributaries in San Diego County, California. The site is located along and adjacent to a section of the Tijuana River generally between the Dairy Mart Road and Camino de La Plaza. The site is situated within the flood plain between the north and south river levees. This portion of the Tijuana River consists of an unlined river channel with generally undeveloped land adjacent to the channel. The project includes development of basins within the area to capture sediment, trash, debris, and transboundary flows from the Tijuana River. The three basin layouts were being considered including: Alternative A: A series of sediment basins to be constructed within the existing river channel; Alternative B: River water to be diverted from the existing river channel into sediment basins constructed within the agricultural land to the north; and Alternative C: Combination of Alternative A and Alternative B. The purpose of our evaluation was to explore the subsurface soil and geologic conditions at the site and provide preliminary geotechnical findings, conclusions, and recommendations pertaining to the feasibility of the proposed sediment basins.



John Draminski

EIT, CPESC, QSD/QSP

Professional Experience

D-MAX Engineering, Inc., 2014 to Present

Booz Allen Hamilton, 2014

Department of Environmental Quality, State of Michigan, 2012-2014

Education

Virginia Polytechnic Institute and State University, B.S., Civil Engineering, 2010

Certifications/Registrations

Engineer-in-Training (EIT) Certification #0420061662, Virginia, 2010

Certified Professional in Erosion and Sediment Control (CPESC) #9199, 2018

Qualified SWPPP Developer (QSD)/Qualified SWPPP Practitioner (QSP) #26970, 2018



Profile Summary

John Draminski is an Assistant Project Engineer with a Bachelor's degree in Civil Engineering with a concentration in Environment and Water Resources. Mr. Draminski has experience performing technical reviews of Water Quality Management Plans and hydrology studies, hydraulic analysis of open channels, creating hydrologic models, and developing construction and industrial Storm Water Pollution Prevention Plans (SWPPPs).

Relevant Experience

City of Chula Vista, Storm Water Services, Chula Vista, CA, Project Coordinator. Developed construction stormwater inspection program for the Stormwater Department. Conducted stormwater inspections at construction sites, eventually overseeing other inspector's work. Prepared inspection reports and worked closely with the responsible party to ensure Best Management Practices (BMPs) were implemented and aligned with the requirements described in the City of Chula Vista's Jurisdictional Runoff Management Program (JRMP) and the site's Erosion Control Plan. Coordinated with City staff regarding escalated enforcement actions required to achieve compliance.

City of National City, Storm Water Services, National City, CA, Task Lead. Oversaw storm water inspections of active construction sites, including verifying construction of permanent BMPs. Prepared construction SWPPPs for the City's CIPs and assisted City staff with the State's SMARTS system. Reviewed Storm Water Quality Management Plans (SWQMP), hydrology

reports, and grading plans. Represented the City at Regional Land Development Workgroup meetings and updated the City's BMP Design Manual. Worked with City staff and contractors to ensure proper construction of treatment control BMPs.

City of Lemon Grove, Storm Water Services, Lemon Grove, CA, Task Lead. Mr. Draminski has completed construction inspections for compliance with City of Lemon Grove's minimum BMPs and to verify permanent BMPs are built per plan. Updated the City's BMP Design Manual and reviews SWQMPs and erosion control plans. Conducted routine storm water compliance inspections of permanent BMPs.



John Quenzer

MS, CPSWQ, QSD/QSP

Professional Experience

D-MAX Engineering, Inc., 2004 to present

City of San Diego,
Environmental Services Division,
2001-2002

Education

Johns Hopkins University, M.S.,
Environmental Engineering and
Science, 2014

University of California, San
Diego, B.S., Environmental
Chemistry, 2002

Certifications/Registrations

Certified Professional in Storm
Water Quality (CPSWQ) #693,
2011

Qualified SWPPP Developer
(QSD)/Qualified SWPPP
Practitioner (QSP) #24039, 2015



Profile Summary

John Quenzer is a Principal Scientist who has been involved in a variety of water quality projects in San Diego County with over 18 years of experience. Mr. Quenzer possesses extensive experience in stormwater program management and interfacing with regulators.

Relevant Experience

City of San Diego, As-Needed Stormwater Services, San Diego, CA, Task Leader. Technical lead on Stormwater Standards Manual updates, and provides stormwater training to plan reviewers and CIP project managers in other departments. Led the City's industrial, commercial, and structural BMP inspection programs in the past.

City of National City, Storm Water Program, National City, CA, Project Manager. Mr. Quenzer has managed the National City Storm Water Services project since 2006. Has helped the City win over \$10 million in grants for projects along Paradise Creek. Work included preparing conceptual designs; hydrologic, hydraulic, and water quality modeling; wet weather BMP effectiveness monitoring; construction SWPPPs and inspections; and project reporting. Represented the City in construction program audits by the San Diego Water Board.

City of San Marcos, Storm Water Services, Santee, CA, Project Manager. Recently completed training for City construction inspectors and oversaw transition to web-based inspection form and database. Managing update of the City's BMP Design Manual.

City of Santee, Storm Water Services, Santee, CA, Project Manager. Manages stormwater program as an extension of City staff, including construction and existing development inspections, complaint response, reporting, and plan reviews. Developing a proposed compliance approach for dry weather Bacteria TMDL compliance, including conceptual designs for CIPs to eliminate dry weather flow.



Brittany Perkins

Professional Experience

D-MAX Engineering, Inc., 2020 to Present

Education

San Francisco State University,
B.S., Environmental
Conservation and Natural
Resource Management, 2016

Skills/Expertise

- Stormwater compliance inspections
- Construction BMP inspections
- Outfall monitoring
- Sampling
- Report preparation
- Data analysis



Profile Summary

Brittany Perkins is a Staff Scientist II with a background in storm water resource management. She has experience conducting storm water inspections at construction sites, businesses, and municipal facilities.

Relevant Experience

City of Lemon Grove, Lemon Grove Storm Water Support, Lemon Grove, CA. Conducted stormwater inspections within the City of Lemon Grove for construction sites to ensure minimum best management practices (BMPs) were implemented. Completed follow-up to resolve deficiencies. Inspected permanent BMPs to verify they were built per plan.

City of National City, Stormwater Services, National City, CA. Conducted construction inspections to ensure BMPs were implemented. Where necessary, managed follow-up correspondence and coordinated with City staff for any additional enforcement. Reviewed permanent BMP construction documentation submitted by contractors to verify SBMP was built per plan.

City of Santee, Construction Inspections, Santee, CA, Support Staff. Conducted stormwater inspections within the City of Santee for construction sites to ensure BMPs were implemented and aligned with the City's JRMP and the site's Erosion Control Plan.

Where necessary, performed follow-up inspections and coordinated enforcement with City staff to achieve compliance.

Adurra Group, Inc., Construction Inspections, Escondido, CA, Support Staff. Conducted stormwater construction inspections for Adurra Group, Inc. to ensure BMPs were implemented and aligned with the City of Escondido's JRMP. Where necessary, coordinated with the site supervisor to resolve any deficiencies and reviewed the Stormwater Pollution Prevention Plan (SWPPP) documentation.

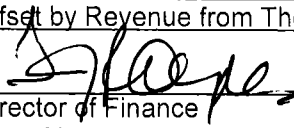
CERTIFICATE OF CITY/DIRECTOR OF FINANCE

Certification of Unappropriated Reserves

I HEREBY CERTIFY that the money required for the appropriation of funds for the purpose as docketed is available in the Treasury, or is anticipated to come into the Treasury, and is otherwise unappropriated.

Amount \$ \$225,000.00 Fund 2301-6430 (amount available \$367,959.06)

Purpose: Increase the Budget for Building Division Professional and Specialized Services Account by \$225,000.00 for FY 2022-23, for a Total of \$583,200.00 for the Fiscal Year Due to the Continued High Pace of Plan Review and Permit Activity. Building Division Professional Services are Directly Supported by Fees Collected for Building Plan Check, Permit, Inspection, and the Expenditure of the Increased Budgeted Funds will be Directly Offset by Revenue from These Fees.



Director of Finance
City of La Mesa

Date 10/11/2022

By Kerry Kusiak

Unappropriated Reserves Available Balance \$ 23,037,060.00

Certification of Unencumbered Balance

I HEREBY CERTIFY that the indebtedness and obligation as docketed can be incurred; that sufficient monies to meet the obligations are actually in the Treasury, or are anticipated to come into the Treasury to the credit of the appropriation from which the same are to be drawn; and that said monies now actually in the treasury, together with the monies anticipated to come into the Treasury, to the credit of said appropriation are otherwise unencumbered.

Amount Not to Exceed

Director of Finance
City of La Mesa

Date:

By:

Fund: Dept./Activity:

Purpose:

CERTIFICATE NO. 1808



REPORT to the MAYOR and MEMBERS of the CITY COUNCIL
From the CITY MANAGER

DATE: October 11, 2022

SUBJECT: RATIFICATION OF THE DESIGN REVIEW BOARD'S APPROVAL OF PROJECT 2021-43 (CENTER FOR NEUROSCIENCES) – A PROPOSED REMODEL AND 20,182 SQUARE FOOT ADDITION TO THE EXISTING SINGLE-STORY REHABILITATION CENTER TO CREATE A TWO-STORY CENTER FOR NEUROSCIENCES AT THE SHARP GROSSMONT HOSPITAL AT 5555 GROSSMONT CENTER DRIVE, APN 490-340-23-00 IN THE RB-G-D (RESIDENTIAL BUSINESS / GROSSMONT OVERLAY / URBAN DESIGN OVERLAY) ZONE

ISSUING DEPARTMENT: Community Development Department

SUMMARY:

Issues:

Does the proposed design meet the intent of the Urban Design Program policies and the Grossmont Specific Plan?

Recommendation:

Ratify the Design Review Board's approval of 2021-43 (**Attachment A**)

Fiscal Impact:

There would be no impact to the General Fund related to this project. City of La Mesa policy is to recover 100% of the cost of staff time through application processing fees.

City's Strategic Goals:

- Revitalize neighborhoods and corridors
- Safe community

Environmental Review:

In compliance with the California Environmental Quality Act (CEQA), the City has prepared an Initial Study/Mitigated Negative Declaration (IS/MND) for the proposed project which determined that the project does not have the potential to create significant adverse effect on the environment based upon project conditions that mitigate impacts to below a level of significance.

BACKGROUND:

The Sharp Grossmont Hospital campus is bounded by Grossmont Center Drive to the west, Murray Drive to the south, State Route 125 to the east, and the MTS Green and Orange lines and Grossmont Transit Center to the north. Surrounding development includes medical offices and the Grossmont Shopping Center to the west, residential mixed-use project to the north, and commercial development to the south. The project site, the existing rehabilitation center building, is situated toward the northwestern portion of the approximately 24-acre Sharp Grossmont Hospital campus, south of Center Drive, as shown on the vicinity map. Existing improvements of the project site includes the existing one-story rehabilitation facility, administrative offices, and a small park open space. The building is near the main entrance to the hospital campus and is accessed via the main driveway drop-off to the south or the adjacent parking structure to the west. The site slopes uphill toward the center of the site. Sidewalk, curb, gutter, and street trees along street frontages are present. Photos of the project site are provided in **Attachment D**.



Zoning for the project site is RB-G-D (Residential Business/ Grossmont Specific Plan Overlay/ Urban Design Overlay) zone and the planned land use designation is Public Use – Other Government Agencies. Residential Business zoning is applied for areas

that are transitioning to business development, and allows for business uses which are compatible with a residential environment. The Grossmont Specific Plan Overlay Zone allows for hospital uses and related offices.

The Urban Design Overlay zone prescribes design review by the Design Review Board, subject to City Council ratification. The Urban Design Program's Community Image Diagram designates the site as a landmark. Grossmont Center Drive is a Major Path, and Center Drive is a Minor Path. Also noted is the Grossmont Specific Plan area's designation as a Special Design District.

Project entitlement consists of site development plan review and special permit review by the Planning Commission, and design review by the Design Review Board, subject to City Council ratification. The Design Review Board reviewed and approved the project with conditions (**Attachment A**) at a public meeting held on September 12, 2022. The Planning Commission reviewed and approved the proposed site development plan and special permit application to allow the proposed building to exceed the maximum height of buildings in the RB zone on September 21, 2022. The Planning Commission adopted resolutions 1) approving the Initial Study and adopting the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program prepared for the project (**Attachment B**), and 2) approving the site development plan and special permit for the project (**Attachment C**).

DISCUSSION:

The Design Review Board reviewed the submitted project plans (**Attachment E**) in consideration of the City's Urban Design Program and Grossmont Specific Plan.

Project applicant Sharp Grossmont Hospital proposes to partially demolish the existing rehabilitation center and construct a one-story addition to the north side of the building, a two-story addition to the southwest corner of the building, and a tunnel for future connections for a total of 20,182 square-foot addition for the new Center for Neurosciences. The total building area would be 51,672 square feet post-project. The project would add 16 intensive care unit beds and 16 medical surgical beds and remove 12 existing medical surgical beds (resulting in a net increase of 20 beds). Additionally, 18 beds in the existing in-patient rehabilitation center would receive a cosmetic refresh. There is enough on-site parking to accommodate the proposed addition.

Grading will be carried out for the areas where the addition is proposed. Estimated earthwork quantities of 800 cubic yards of fill and 1,000 cubic yards of cut yield 200 cubic yards of export. The landscape plan provides a diverse variety of site trees as well as numerous shrubs and perennial plants. A total of 34 site trees are proposed. Raised landscape planters are proposed around the Center for Neurosciences, including a new "living wall" near the Center for Neurosciences entrance located at the south corner of

the building. Most of the existing trees around the existing rehabilitation center are proposed to be removed due to the new building footprint, but the existing lawn and canopy trees north of the building are proposed to remain. The intent of the landscaping is to create an atmosphere of peace and tranquility for patients and healthcare workers at the hospital.

The main entrance to the building is located on the south elevation, facing the driveway drop-off area to the south and the main entrance to the hospital campus. The lower level of the building contains all of the intensive care unit beds and medical surgical beds, as well all office space, a physical therapy center, and support functions including kitchen, cleaning, and storage. The second level of the building includes staff offices, lounges, and conference rooms.

Exterior architectural finishes include cement plaster, metal panels, with a small portion of the existing building proposed to remain stucco in white tones with gray accents. An aluminum curtainwall system and aluminum storefront windows are proposed for the addition located at the southwest portion of the building. Majority of the windows on the first floor of the building are proposed with fritted glass. Rooftop mechanical equipment is screened from view by the exterior parapet walls. Colors and materials for the buildings and walls are shown on **Attachment F**.

The Design Review Board concluded that the project is responsive to the existing site, and the scale of the improvements is compatible with the area. The building's exterior design incorporates the existing building while modernizing the entrance with a variety in the surface planes, forms, and texture and with design elements that are cohesive with the hospital's West Tower completed in 2010. By incorporating design elements from existing buildings on the campus, this helps create a more uniform look across the evolving public-facing campus. Overall, the project's design is consistent with the Urban Design Program, Grossmont Specific Plan, and the design policies in the Land Use and Urban Design Element of the General Plan.

CONCLUSION:

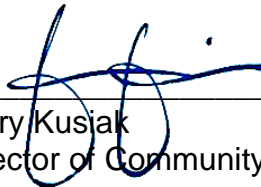
Staff recommends that the City Council ratify the Design Review Board's approval of Project 2021-43.

Reviewed by:



Greg Humora
City Manager

Respectfully submitted by:



Kerry Kusjak
Director of Community Development

Attachments:

- A. Design Review Board Certificate of Action Project 2021-43
- B. Resolution PC-2022-09 approving the Initial Study and adopting the Mitigated Negative Declaration
- C. Resolution PC-2022-10 approving the Special Permit and Site Development Plan
- D. Site photographs
- E. Project plans
- F. Color and materials board



CERTIFICATION OF DESIGN REVIEW BOARD ACTION

FILE: Project 2021-43 (Center for Neurosciences)

MEETING DATE: September 12, 2022

SUBJECT: Consideration of a remodel and 20,182 square foot addition to the existing single-story rehabilitation center to create a two-story Center for Neurosciences at the Sharp Grossmont Hospital at 5555 Grossmont Center Drive, APN 490-340-23-00 in the RB-G-D (Residential Business/ Grossmont Specific Plan Overlay/ Urban Design Overlay) zone

DETERMINATION: After reviewing the proposal, the Board made a motion to recommend approval of Project 2021-43 based on plans stamped received by the City on July 15, 2022, and a finding that the project is consistent with the City's Urban Design Program and Grossmont Specific Plan, subject to the following condition:

1. The applicant shall provide more canopy trees for additional shade features in the public plaza located south of the proposed building expansion.

The vote on the motion was as follows:

Aye: Board members Kusiak, Langdon, and Ruiz-Ostmeyer
Nay: None
Absent: Board member Feske and Taylor

ATTEST:

Kerry Kusiak
Director of Community Development

RESOLUTION NO. PC-2022-09

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LA MESA APPROVING THE INITIAL STUDY AND ADOPTING THE MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING AND REPORTING PROGRAM PREPARED FOR PROJECT 2021-43, A PROPOSED SITE DEVELOPMENT PLAN AND SPECIAL PERMIT APPLICATION FOR A REMODEL AND 20,182 SQUARE FOOT ADDITION TO THE EXISTING SINGLE-STORY REHABILITATION CENTER TO CREATE A TWO-STORY CENTER FOR NEUROSCIENCES AT THE SHARP GROSSMONT HOSPITAL AT 5555 GROSSMONT CENTER DRIVE, APN 490-340-23-00 IN THE RB-G-D (RESIDENTIAL BUSINESS/ GROSSMONT OVERLAY/ URBAN DESIGN OVERLAY) ZONE

WHEREAS, project applicant Sharp Grossmont Hospital has submitted an application for a site development plan and special permit (Project 2021-43) to construct a 20,182 square foot addition to the existing single-story rehabilitation center to create a two-story Center for Neurosciences at the Sharp Grossmont Hospital at 5555 Grossmont Center Drive, APN 490-340-23-00 in the RB-G-D (Residential Business/ Grossmont Overlay/ Urban Design Overlay) zone;

WHEREAS, in accordance with the requirements of the California Environmental Quality Act ("CEQA"), Public Resources Code section 21000, et seq., and its implementing guidelines ("CEQA Guidelines"), California Code of Regulations, title 14, section 15000, et seq., the City completed an Environmental Initial Study and prepared a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the Project;

WHEREAS, multiple technical studies were prepared, which are included as appendices as part of the Initial Study and were accepted by the City;

WHEREAS, the Initial Study identified potentially significant environmental effects associated with Biological Resources and Geology/Soils/Paleontological Resources;

WHEREAS, the Initial Study identified mitigations to address potential impacts related to paleontological resources and interior sound levels, which are included in a Mitigation Monitoring and Reporting Program (MMRP) to be adopted with the final environmental document;

WHEREAS, a draft Mitigated Negative Declaration (MND) was prepared and made available for public review from August 19, 2022, to September 19, 2022, including notice mailed to surrounding property owners, notice published in the Daily Transcript, posting on the City website, and posting at the State Clearinghouse;

WHEREAS, correspondence received during the review period was considered and responses provided; and

WHEREAS, the Planning Commission did receive and consider a staff report for the proposal.

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

1. That the applicable provisions of CEQA and the CEQA Guidelines have been duly observed in conjunction with said hearing and the considerations of this matter and all of the proceedings related thereto.

2. That the Mitigated Negative Declaration, Initial Study, and Mitigation Monitoring and Reporting Program (MMRP) were prepared in accordance with the applicable provisions of CEQA and the CEQA Guidelines.

3. That, based on the whole record, there is no substantial evidence that the project will have a significant effect on the environment due to mitigation measures to address impacts to Biological Resources and Geology/Soils/Paleontological Resources referenced in the Mitigation Monitoring and Reporting Program, which reduce potential impacts to below a level of significance and have been included as conditions of project approval.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF LA MESA AS FOLLOWS:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.

2. The foregoing findings of fact and determinations are supported by the staff report, minutes, plans, and exhibits, all of which are herein incorporated by reference.

3. The Planning Commission approves the Initial Study and adopts the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program (Exhibit A) prepared for Project 2021-43.


PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of La Mesa, California, held the 21st day of September, 2022, by the following vote, to wit:

AYES: Chair Torpey and Commissioners Alvarado, Cooper, and Coston

NOES:

ABSENT: Commissioner Jones

I, Kerry Kusiak, Secretary of the City of La Mesa Planning Commission, do hereby certify the foregoing to be a true and exact copy of Resolution PC-2022-09, duly passed and adopted by the Planning Commission.



Kerry Kusiak, Secretary
La Mesa Planning Commission

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM FOR PROJECT 2021-43 (CENTER FOR NEUROSCIENCES)

Mitigation Measure		Monitoring or Reporting Action	Monitoring or Reporting Entity	Timing	Enforcement Entity	Completed
GEOLOGY AND SOILS						
BIO-1	Grading, vegetation clearing, and/or noise-generating activities shall be scheduled outside the nesting bird season (approximately February 15-August 31), if feasible. If construction cannot be scheduled outside of the nesting bird season, a qualified wildlife biologist shall conduct preconstruction surveys of all potential nesting habitat within the project site. Preconstruction surveys for nesting raptors shall cover potential raptor nesting sites within 500 feet of the project site and within 100 feet of the project site for all other migratory birds, where accessible. Surveys shall be conducted no more than 3 days prior to construction activities, and the surveying biologist must be qualified to determine the status and stage of nesting without causing intrusive disturbance. If active nests are detected during the preconstruction surveys, a suitable buffer from construction activities (500 feet for raptors and 100 feet for all other species) shall be applied until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged or the nest has failed). A qualified biologist will check the nest status at least once per week, using the least invasive method feasible (e.g., observation with binoculars from a distance). These buffers may be reduced at the discretion of a qualified biologist with sufficient avian experience as long as the nesting birds continue to behave normally and do not show signs of stress cause by construction.	Submit documentation to City.	Applicant	Prior to issuance of a grading permit	Department	
GEOLOGY AND SOILS						
GEO-1	Fill Materials. The upper 1 to 2 feet of undocumented artificial fill materials are considered potentially compressible and generally unsuitable in their present state to support additional fill or structural loads. Localized fills up to approximately 5 to 6 feet may be encountered as well. Accordingly, these soils are to be removed and recompacted.	Submit documentation to City.	Applicant	Prior to issuance of a grading permit	Department	
GEO-2	Paleontological Monitoring. If it is determined that excavation would extend below the artificial fill, a qualified paleontologist shall be retained by the Applicant prior to excavations reaching 10 feet or greater in depth. The qualified paleontologist shall develop and execute a Paleontological Resources Monitoring and Mitigation Plan (PRMMP) and supervise a paleontological monitor who shall monitor all ground-disturbing activities associated with such excavations. The PRMMP would outline the procedures to follow with respect to paleontological resources (e.g., monitoring protocols, curation, data recovery of fossils, reporting). If fossils are found during such excavation, the paleontological monitor shall be authorized to halt ground-disturbing activities within 25 feet of the find in order to allow evaluation of the find and determination of appropriate treatment according to the PRMMP.	Submit documentation to City.	Applicant	Prior to issuance of a grading permit	Department	

RESOLUTION NO. PC 2022-10

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LA MESA APPROVING PROJECT 2021-43 (CENTER FOR NEUROSCIENCES) – CONSIDERATION OF A REMODEL AND 20,182 SQUARE FOOT ADDITION TO THE EXISTING SINGLE-STORY REHABILITATION CENTER TO CREATE A TWO-STORY CENTER FOR NEUROSCIENCES AT THE SHARP GROSSMONT HOSPITAL AT 5555 GROSSMONT CENTER DRIVE, APN 490-340-23-00 IN THE RB-G-D (RESIDENTIAL BUSINESS/ GROSSMONT OVERLAY/ URBAN DESIGN OVERLAY) ZONE

WHEREAS, project applicant Sharp Grossmont Hospital has submitted an application for a site development plan and special permit (Project 2021-43) to construct a 20,182 square foot addition to the existing single-story rehabilitation center to create a two-story Center for Neurosciences at the Sharp Grossmont Hospital at 5555 Grossmont Center Drive, APN 490-340-23-00 in the RB-G-D (Residential Business/ Grossmont Overlay/ Urban Design Overlay) zone;

WHEREAS, the proposed building would exceed the height requirement for a building in the RB zone as specified by La Mesa Municipal Code (LMMC) Section 24.05.030B;

WHEREAS; pursuant to LMMC Section 24.02.040, the Planning Commission may authorize a special permit to expand the limits of certain development standards, when such expanded limits are reasonable but need evaluation of impact on adjacent properties and uses;

WHEREAS, La Mesa Municipal Code (LMMC) Section 24.05.030B3a provides that the maximum height of buildings in Zones R3 and RB, and buildings for which a conditional use permit or site development plan is required may be increased by special permit;

WHEREAS, in compliance with the California Environmental Quality Act (CEQA), the City prepared and circulated for a 30-day public review comment period from August 19, 2022, to September 19, 2022, an Initial Study/Mitigated Negative Declaration (IS/MND) for the proposed Project, which concluded that with the implementation of mitigation measures identified in the Mitigation Monitoring and Reporting Program included and conditions of approval, the project would not have an adverse impact on the environment;

WHEREAS, the Planning Commission did receive and consider a staff report on the proposed project;

WHEREAS, the Planning Commission of the City of La Mesa did hold a duly noticed public hearing on September 21, 2022, and accepted public testimony in considering Project 2021-43; and

WHEREAS, on September 21, 2022, the Planning Commission adopted Resolution No PC 2022-09 approving the Initial Study and adopting the Mitigated Negative Declaration prepared for the project.

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

1. Based on the whole record before it and in its own independent judgment and analysis, that there is no substantial evidence that the project will have a significant effect on the environment with implementation of the mitigation measures identified in the Initial

Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program prepared for the project and included as conditions of approval herein.

2. Special Permit Findings (La Mesa Municipal Code Section 24.02.050):

- (A) The location and characteristics of the proposed buildings and/or structures, and the allowed uses of them, will not impact unfavorably upon adjacent properties.

The location and characteristics of the proposed additions and the allowed use of the structure would not impact unfavorably upon adjacent properties. The project site is within an urbanized area characterized predominantly by medical facilities. Adjacent development includes medical facilities to the north and west, the State Route 125 to the east, and commercial shopping centers to the south. The proposed development is located near the center of the campus, and is located between existing buildings that are taller, including the existing three-story patient care tower and the parking structure. Therefore, the proposed height of 34 feet and six inches for a building that is located towards the center of the Sharp Grossmont Hospital would not unfavorably impact adjacent properties.

- (B) Is the project consistent with the design objectives established as policy of the City Council?

The Design Review Board reviewed the project on September 12, 2022, and found that the project was consistent with the City Council adopted urban design policies, including the Urban Design Program, Grossmont Specific Plan, and the design policies in the Land Use and Urban Design Element of the General Plan.

3. The project is consistent with the Grossmont Specific Plan.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF LA MESA AS FOLLOWS:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.
2. The foregoing findings of fact and determinations are supported by the staff, report, plans, and exhibits, all of which are herein incorporated by reference.
3. The Planning Commission approves Project No. 2021-43 subject to the conditions of approval in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of La Mesa, California, held the 21st day of September 2022, by the following vote, to wit:

AYES: Chair Torpey and Commissioners Alvarado, Cooper, and Coston

NOES:

ABSENT: Commissioner Jones

I, Kerry Kusiak, Secretary of the City of La Mesa Planning Commission, do hereby certify the foregoing to be a true and exact copy of Resolution PC-2022-10, duly passed and adopted by the Planning Commission.



Kerry Kusiak, Secretary
La Mesa Planning Commission

Exhibit A
PC Resolution PC-2022-10
Project No. 2021-43 – Site Development Plan and Special Permit
Conditions of Approval

A. GENERAL CONDITIONS

1. The project is conditionally approved as set forth on the application and project drawings received electronically by the City on July 15, 2022, consisting of 46 sheets total, including CS-G-000, CS-G-001 – Overall Campus Plan, CS-G-002 – Enlarged Campus & Compliance Plan, CS-A-010 – Demolition Site Plan, CS-A-011 – Overall Renovation Site Plan, CS-A-100 – Demo First Level Floor Plan, CS-A-101 – Level 1 Renovation Floor Plan, CS-A-102 – Level 2 Renovation Floor Plan, CS-A-130 – Overall Renovation Roof Plan, CS-A-201 Exterior Elevations, CS-A-202 – Exterior Renderings, CS-A-300 – Building Sections, C-1 – Site Plan, C-2 – Grading Plan, L-100 – Overall Landscape Concept Plan, L-110 – Landscape Enlargements Concept Plan, L-120 – Landscape Enlargements Concept Plan, L-130 – Irrigation Index Plan, L-140 – Landscape Concept Details, L-150 – Existing Tree & Landscape Demo Plan, L-160 – Partial Plant Palette, E1 – Site Lighting Plan, all designated as approved by the Planning Commission on September 21, 2022, and shall not be altered without express authorization by the Community Development Department.
2. This approval shall not waive compliance with any section of the La Mesa Municipal Code and all other applicable City regulations in effect at the time of Building Permit issuance unless specifically waived herein.
3. The applicant is responsible for coordinating civil, landscape, and architectural plans and supplemental materials at building permit submittal to ensure that all project plans and materials are internally consistent and consistent with each other. Inconsistent construction documents will not be accepted.
4. This constitutes an approval of the discretionary entitlement only. Additional permits, including but not limited to building and grading permits, may be required by the Community Development Department or other City departments prior to commencement of construction and/or use. It is the property owner and applicant's responsibility to obtain all necessary permits required for the type of project proposed.
5. Prior to any use or issuance of final occupancy of the project site pursuant to this approval, all conditions of approval contained herein shall be completed or secured to the satisfaction of the Community Development Department.

B. THE FOLLOWING CONDITIONS MUST BE SATISFIED PRIOR TO THE ISSUANCE OF BUILDING AND GRADING PERMITS:

Engineering

1. The applicant's engineer shall ensure that the design and construction of all improvements in the public right of way shall be in accordance with standard plans and specifications of the City of La Mesa, and subject to the approval of the City Engineer.

2. An Encroachment Removal and Maintenance Agreement (ERMA) shall be entered into with the City for the private facilities proposed to be constructed in the Center Drive public right-of-way; sewer and water tanks and protective wall.
3. The applicant shall submit all plans and supporting documents concurrently for plan check and approval as required for all private storm drain, street, and any public sidewalk improvements. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer. All street dedications, alignments, widths, and geometrics shall be as approved by the City Engineer.
4. A precise grading, drainage and erosion control plan shall be prepared by a Registered Civil Engineer in accordance with the City of La Mesa Grading Ordinance Title 14.05 showing all buildings, access roads, parking, driveways, landscaping, and drainage. The grading and erosion control plans shall be submitted for plan check and approval of the City Engineer and Planning Division prior to approval of the Grading and Building Permits.
5. The method of disposing of surface water from the site shall be submitted and approved to assure that the site will drain to the street or to a natural watercourse. New drainage facilities, and private maintenance agreements or covenants may be required.
6. A hydrology report prepared by a registered Civil Engineer shall be furnished to establish the adequacy of the drainage system and the base flood elevation of the 100-year storm. Report must support the design and sizing of any water quality BMPs to treat the 85th percentile storm in perpetuity.
 - a. Hydrologic and Hydraulic analyses shall be based on the County of San Diego Hydrology and Drainage Design Manuals, most current editions.
7.
 - a. Report must clearly address pre-development and post development offsite discharge, and erosion potential. Any post-development increases in offsite discharge and erosion potential must be minimized, justified and mitigated to the satisfaction of the City Engineer.
8. Site operations shall comply with City of La Mesa Municipal Code Chapter 7.18 Storm Water Management and Discharge Control Program. A completed City of La Mesa storm water management permit application shall accompany the grading plan submittal.
9. The applicant shall comply with Storm Water Pollution Control Ordinance (City of La Mesa Municipal Code Chapter 7.18) and the State's current General NPDES Storm Water Permit. If required, the applicant shall show evidence that a Notice of Intent (NOI) has been applied for and fees paid to the State Water Resources Control board prior to issuance of a grading permit. A Water Quality Technical Report (WQTR) shall accompany the grading plan submittal.
10. This project shall comply with the City of La Mesa hydromodification management requirements. For more information please refer to the City of La Mesa website at <http://www.cityoflamesa.com/stormwater>, on the Development Requirements tab.

11. The development plan(s) shall clearly show compliance with the criteria of the City of La Mesa Storm Water Standards Manual for Priority Development Projects. Each component requiring maintenance shall be perpetually maintained by the property owner and located on private property, codified in a Storm Water Covenant. These include the following:
 - a. A post-construction Water Quality Technical Report and recorded maintenance agreement pursuant to Title 7.18 of the La Mesa Municipal Code shall be required. Compliance requires post-development BMPs. Each (BMP) component requiring maintenance shall be, perpetually maintained by the property owner and located on the private property.
 - b. Drain impermeable rooftops, sidewalks, walkways, and patios through adjacent landscaping or other pervious surfaces to maximize infiltration and provide vegetative filtration.
12. Post Construction BMPs
 - a. Tree box/modular wetlands are only allowed if bio-retention style IMPs are proved to be infeasible. Vault/Separator style units are not allowed.
 - b. Each drainage management area that discharges into the public system outlet or street shall have storm water quality controls, and shall be maintained by the property owner and located on the private property
 - c. A post-construction Water Quality Management Plan and recorded maintenance agreement pursuant to section 7.18 of the La Mesa Municipal Code shall be required. Perpetual maintenance requirements should be considered when selecting appropriate BMPs.
 - d. Trash enclosures shall be covered to prevent rainwater intrusion or otherwise designed to prevent offsite migration of contaminants.
13. Prior to grading of any part of the project, a comprehensive soils and geologic investigation shall be conducted of the geologic formations, soils, and slopes of the site. A soils investigation report verifying that the site is suitable for the proposed development shall be prepared by a licensed civil or geotechnical engineer. All necessary measures shall be taken and implemented to ensure slope stability, erosion control, and soil integrity.
14. The applicant/developer shall provide adequate erosion control devices at the completion of each phase of grading. This shall include landscaping and temporary irrigation systems on exposed slopes. Such temporary measures shall be subject to the approval of the City Engineer.
15. The applicant shall show the following information on the site plan and/or add a note to the plans:

16. The applicant shall pay the current Sanitary Sewer Connection Fee as determined by the City's current fee structure.
 - a. The sanitary sewer main, sewer service lateral and property line clean out shall be identified. A clean out shall be installed if one does not exist.
 - b. The rim elevation of the nearest upstream sewer manhole on the sewer main and the lowest finish floor or lowest waste water fixture unit shall be identified. If the lowest finish floor elevation or lowest waste water fixture unit is less than or equal to the top of the manhole elevation PLUS two feet, then a backwater valve shall be installed.
17. The applicant shall obtain an Encroachment Permit and Traffic Control Permit prior to beginning any proposed work within the City right of way. Traffic control plans for streets which will be opened to public travel during construction shall be in accordance with construction signing, marking and other protection as required by the State Department of Transportation (CalTrans) Traffic Manual
18. Surety (security) for improvements and/or grading shall be posted with the City of La Mesa prior to improvement and/or grading permit approval to guarantee the construction of all the required street improvements, drainage, grading, erosion control, landscaping, irrigation, and sewer. The security shall include all onsite and offsite grading and improvements. The amount of security shall be determined by the City Engineer based upon an estimate furnished to the City taken from approved plans submitted by the engineer of work. The engineer's cost estimate should include an estimate of utility relocation, if applicable.
19. Water improvements are separately approved by and bonded with the Helix Water District prior to approval of the grading plan. Please submit with Helix Water District concurrently to avoid project delays.

Planning

20. The applicant shall submit final landscape and irrigation plans with application fee or deposit prepared by a registered landscape architect in accordance with City standards and the State of California Model Water Efficient Landscape Ordinance, for review and approval in substantial conformance with the approved exhibits and conditions of approval for Project No. 2021-43.
21. To protect and avoid impacts to potential nesting birds, site brushing, grading and/or removal of vegetation within 300 feet of any potential migratory bird nesting location shall not be permitted during the migratory bird nesting season of February 1 – September 15 unless nesting bird surveys have first been completed and provided to the Community Development Department to ensure compliance with the Migratory Bird Treaty Act and California Department of Fish and Game Code Section 3503, which protect nesting birds. Nesting bird surveys shall be conducted within 72 hours of commencement of site brushing, grading, and/or removal of vegetation. A note shall be added to the grading plans documenting this requirement.

22. A note shall be placed on the building plans stating that should any archeological (cultural) or paleontological resources or human remains be discovered during construction-phase ground-disturbing activities, all work in the immediate vicinity must stop and the project applicant shall notify the City of La Mesa immediately. A qualified professional shall be retained to evaluate the finds and recommend appropriate action. For human remains, the applicant shall notify the County Coroner. For human remains determined to be of Native American origin, the procedures outlined in CEQA Section 15064.5 (d) and (e) shall be followed. The applicant shall ensure, to the satisfaction of the City and the Native American Heritage Foundation, if applicable, that appropriate measures are undertaken prior to resuming any project activities that may affect such resources.

Building

23. Plans must be complete and stamped by a licensed professional before the Building Division will accept them into the plan review and permitting process.
24. The project shall comply with all applicable disabled accessibility regulations as contained in Chapters 11A, Title 24 California Building Code.

Fire

25. Building Plans shall comply with currently adopted California Fire Code and all applicable City ordinances.
26. Egress and egress signage shall be in accordance with Chapter 10 of the current California Fire and Building Codes.
27. All fire apparatus access roadways must be maintained unobstructed and drivable by fire apparatus throughout the construction process. Fire Department access and water supply shall be installed as directed and shall be inspected and approved prior to delivery of combustible materials to the site. Access roadways shall be capable of holding an imposed load of 75,000 pounds including during adverse weather conditions.

C. THE FOLLOWING CONDITIONS MUST BE SATISFIED PRIOR TO FINAL OCCUPANCY:

Engineering

1. The applicant shall place any proposed sewer pipe (public or private) outside the surface storm water drainage path in order to avoid any inflow into the sewer manholes. In cases where this requirement cannot be satisfied, the developer shall provide appropriate inflow dishes in the affected manholes.
2. The applicant shall remove and replace existing curb and sidewalk if it is found to be cracked, broken, displaced or not in compliance with current ADA standards. Existing driveways to be removed shall be replaced with full height curb and gutter. The city Inspector will identify the limits of removal and replacement. Any existing pedestrian ramps along your frontage will be brought up to current ADA requirements, as necessary.

3. All street and drainage improvements shall be completed and accepted by the engineering inspector prior to occupancy.

Building

4. The applicant shall obtain approvals from all departments for all issued permits: building, fire, planning, grading, SD County ACPD, SD County HazMat, Encroachment, or other permits for the proposed improvements prior to the issuance of a certificate of occupancy.

D. THE FOLLOWING CONDITIONS MUST BE SATISFIED PRIOR TO THE ACCEPTANCE OF IMPROVEMENTS AND FILING OF THE NOTICE OF COMPLETION:

Engineering

1. Landscaping for trees, shrubs, walls, fences, cut/fill slopes or other structures at or near driveway and street intersections shall conform to the intersectional sight distance criteria as provided by the California Department of Transportation (CalTrans) Highway Design Manual. Any obstructions which exceed a height of thirty-six (36) inches shall not be permitted within a distance of five (5) feet from the property line at the street.
2. Certification of the as-built elevations of the structures shall be furnished to the City Engineer prior to release of bonds.
3. The exact limits of pavement and sidewalks shall be approved by the City Engineer. Street structural sections shall have a gravel equivalent of a minimum of 4" AC over 8" CL-2AB with a T.I. of 6.0. Geotechnical tests of the existing pavement are subject to approval of the City Engineer in the field during project inspection. Existing public improvements will be repaired to good condition and proper alignment, as may be required for proper tie-in.
4. The applicant shall complete grading in one operation. All Best BMPs and improvements shown on grading and site development plans shall be installed.

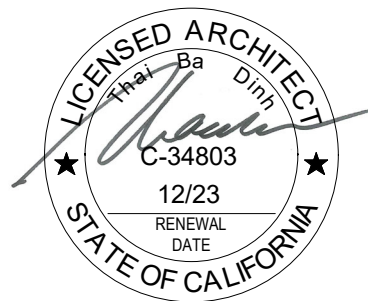
Planning

5. The developer, contractor or landscape architect shall provide a letter to the Community Development Department stating that all landscaping, irrigation, drainage, and hardscape was installed according to City standards. A Certificate of Completion for landscape improvements shall be submitted, along with an irrigation schedule and soils management report as required by City standards and the State of California Model Water Efficient Landscape Ordinance.









PROJECT DIRECTORY	ABBREVIATIONS									
<p>OWNER: SHARP HEALTHCARE 8695 SPECTRUM CENTER BOULEVARD SAN DIEGO, CALIFORNIA 92123</p> <p>CONTRACTOR: LAYTON CONSTRUCTION COMPANY, INC. 8691 RESEARCH DRIVE, SUITE 100 IRVINE, CALIFORNIA 92618</p> <p>ARCHITECT: MASCARI WARNER DINH ARCHITECTS 1717 KETTNER BLVD, SUITE 100 SAN DIEGO, CALIFORNIA 92131</p> <p>CIVIL: LATITUDE 33 PLANNING AND ENGINEERING 9968 HILBERT STREET, 2ND FLOOR SAN DIEGO, CALIFORNIA 92131</p> <p>LANDSCAPE: WEILAND DESIGN GROUP, INC. 28924 OLD TOWN FRONT STREET, SUITE 202 TEMECULA, CALIFORNIA 92590</p> <p>STRUCTURAL: WISEMAN + ROHY STRUCTURAL ENGINEERS 9915 MIRA MESA BOULEVARD, SUITE 200 SAN DIEGO, CALIFORNIA 92131</p> <p>MECHANICAL / PLUMBING ENGINEER: DUFOE CONSULTING ENGINEERS 10680 TREENA STREET #163 SAN DIEGO, CALIFORNIA 92131</p> <p>MECHANICAL / PLUMBING CONTRACTOR: CONTROL AIR ENTERPRISES, LLC 1390 ARMOLITE DRIVE SAN MARCOS, CALIFORNIA 92069</p> <p>ELECTRICAL/LOW VOLTAGE ENGINEER: TANNER ENGINEERING 5250 JACKSON DRIVE, SUITE 200 LA MESA, CALIFORNIA 91942</p> <p>ELECTRICAL / LOW VOLTAGE CONTRACTOR: NATIONAL ELECTRIC WORKS 4440 RAINIER AVENUE, SUITE 100 SAN DIEGO, CALIFORNIA 92120</p> <p>FIRE ALARM: JOHNSON CONTROLS 3568 RUFFIN ROAD SAN DIEGO, CALIFORNIA 92123</p> <p>FIRE SPRINKLER: A AND D FIRE 7130 CONVOY STREET SAN DIEGO, CALIFORNIA 92111</p>	ABBREV.	ABBREVIATIONS	FIN.	FINISH	(N)	NEW	S.M.D.	SEE MECHANICAL DRAWINGS		
	ACOUS.	ACOUSTICAL	FA	FIRE ALARM	N.	NORTH	SMS	SHEET METAL SCREW		
	ACT	ACOUSTICAL CEILING TILE	FD	FLOOR DRAIN	N/A	NOT APPLICABLE; NOT AVAILABLE	S.O.D.	STANDOFF DISTANCE		
	A.D.	AREA DRAIN/AUTOMATIC DOOR	FE	FIRE EXTINGUISHER	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	S.P.D.	SEE PLUMBING DRAWINGS		
	A.F.F.	ABOVE FINISH FLOOR	FF	FIRE EXTINGUISHER CABINET	N.I.C	NOT IN CONTRACT	SPECS.	SPECIFICATIONS		
	ALT.	ALTERNATE	F.F.E.	FURNISHINGS, FIXTURE, AND EQUIPMENT	NO. / #	NUMBER	SPKR.	SPRINKLER		
	ALUM.	ALUMINUM	F.F.	FINISH FLOOR	N.R.	NON-RATED	SQ.	SQUARE		
	APPROX.	APPROXIMATE	FL	FLOOR	NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION	S.S.	STAINLESS STEEL		
	ARCH.	ARCHITECTURAL	FIXT.	FIXTURE	O/	OVER	S.S.D.	SEE STRUCTURAL DRAWINGS		
	AWP	ACOUSTICAL WALL PANEL	F.R.	FIRE RATED	O.C.	ON CENTER	STD.	STANDARD		
	BD.	BOARD	FRT	FIRE RETARDANT TREATED	O.F/CI	OWNER FURNISHED CONTRACTOR INSTALLED	STS	SELF TAPPING SCREW		
	BLDG.	BUILDING	FS	FINISH SURFACE / FIRE SPRINKLER	O.F/OI	OWNER FURNISHED OWNER INSTALLED	STL	STEEL		
	BOT.	BOTTOM	FT.	FOOT OR FEET	OPNG.	OWNER FURNISHED VENDOR INSTALLED	STOR.	STORAGE		
	BTWN.	BETWEEN	FURR.	FURRING	OSHA	OPENING	STRUCT.	STRUCTURAL		
	C.	CARPET			OSHPD	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION	T & B	TOP & BOTTOM		
	C.A.	CLEAR ANODIZED	GA.	GAUGE			TBD	TO BE DETERMINED		
	CAN	CODE APPLICATION NOTICE	GALV.	GALVANIZED			TEL.	TELEPHONE		
	CBC	CALIFORNIA BUILDING CODE	GLS.	GLASS			TEMP.	TEMPERED		
	CBSC	CALIFORNIA BUILDING STANDARDS CODE	GLZ.	GLAZING			THK.	THICK		
		CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED	GSM	GALVANIZED SHEET METAL			THRES.	THRESHOLD		
	CF/CI	CONTRACTOR INSTALLED	GYP.	GYPSUM BOARD	PL.	PLATE	TJC	THE JOINT COMMISSION		
	C.G.	CORNER GUARD	HDR.	HEADER	P. LAM.	PLASTIC LAMINATE	T.O	TOP OF		
	C.L.	CENTER LINE	H.WD.	HARDWOOD	PLYWD.	PLYWOOD	T.O.C.	TOP OF CONCRETE		
	CL.G.	CEILING	HDW	HARDWARE	R.	RADIUS/RISER	T.O.P.	TOP OF PLYWOOD		
	CLR.	CLEAR	H.M.	HOLLOW METAL	R.A.	RETURN AIR	T.O.PL.	TOP OF PLATE		
	COL.	COLUMN	HORIZ.	HORIZONTAL	R.B.	RUBBER BASE	TYP.	TYPICAL		
	CONC.	CONCRETE	HT.	HEIGHT	RCP	REFLECTED CEILING PLAN	U.L.	UNDERWRITERS' LABORATORY		
	CONST.	CONSTRUCTION	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	REINF.	REINFORCEMENT / REINFORCING	UNIV.	UNIVERSITY		
	CORR.	CORRIDOR			REQ'D	REQUIRED	U.O.N.	UNLESS OTHERWISE NOTED		
			ICC	INTERNATIONAL CODE COUNCIL - EVALUATION SERVICE	RENO.	RENOVATION	V	VOLTS		
	DEMO.	DEMOLITION			REV.	REVISION	VCT	VINYL COMPOSITION TILE		
	DEPT.	DEPARTMENT	IN.	INCHES	RM.	ROOM	VFVI	VENDOR FURNISHED VENDOR INSTALLED		
	DET.	DETAIL	INFO.	INFORMATION	R.O.	ROUGH OPENING	V.I.F.	VERIFY IN FIELD		
	DIA.	DIAMETER	INS.	INSULATION	S.A.	SUPPLY AIR	W	WATTS		
	DIAG.	DIAGONAL	INT.	INTERIOR	S.A.T.	SUSPENDED ACOUSTICAL TILE	W/	WITH		
	DIM.	DIMENSION	IOR	INSPECTOR OF RECORD	S.B.	SMOKE BARRIER	WG	WALL GUARD		
	DN.	DOWN			S.C.	SOLID CORE	W/O	WITHOUT		
	D.S.	DOWNSPOUT	LAM.	LAMINATED	S.C.D.	SEE CIVIL DRAWINGS	WO.	WOOD		
	DTL.	DETAIL	LAV.	LAVATORY	SCHED.	SCHEDULE	W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA		
	DWG(S).	DRAWING(S)	LBS.	POUNDS	SEC.	SECTION	W.O.	WHERE OCCURS		
	(E)	EXISTING	LG	LAMINATED GLASS	S.E.D.	SEE ELECTRICAL DRAWINGS	W.P.	WEATHERPROOF		
	EA.	EACH	LTG.	LIGHTING	S.F.P.D.	SEE FIRE PROTECTION DRAWINGS	W.R.	WATER RESISTANT		
	EJ.	EXPANSION JOINT			SHT.	SHEET	WT.	WEIGHT		
	ELEC.	ELECTRICAL	MAT'L	MATERIAL	SIM.	SIMILAR				
	ELEV.	ELEVATOR	MAX.	MAXIMUM	S.M.	SHEET METAL	0	DIAMETER		
	EOR	ENGINEER OF RECORD	MECH.	MECHANICAL	S.M.	SHEET METAL & AIR CONDITIONING	#	POUND OR NUMBER		
	EPA	U.S. ENVIRONMENTAL PROTECTION AGENCY	MFP	MANUFACTURER	SMACNA	CONTRACTORS NATIONAL ASSOCIATION	&	CENTER LINE		
			MISC	MISCELLANEOUS			@	AND		
	EQ.	EQUAL	MIN	MINIMUM				AT		
	EQUIP.	EQUIPMENT	MTD.	MOUNTED						
	ETC.	ETCETERA	MTL.	METAL						
	EXP'D.	EXPOSED								
	EXT.	EXTERIOR								

VICINITY MAP	SHEET INDEX
	01-GENERAL CS- G-000 COVER PAGE CS- G-001 OVERALL CAMPUS PLAN CS- G-002 ENLARGED CAMPUS PLAN
	04-ARCHITECTURE CS- A-010 SITE DEMOLITION PLAN CS- A-011 SITE RENOVATION PLAN CS- A-100 EXISTING FIRST LEVEL FLOOR PLAN CS- A-101 FIRST LEVEL FLOOR PLAN CS- A-102 SECOND LEVEL FLOOR PLAN CS- A-130 OVERALL RENOVATION ROOF PLAN CS- A-201 EXTERIOR ELEVATIONS CS- A-202 EXTERIOR RENDERINGS CS- A-300 BUILDING SECTIONS
	02-CIVIL CS- C-1 SITE PLAN CS- C-2 GRADING PLAN
	03-LANDSCAPE CS- L-100 OVERALL LANDSCAPE CONCEPT PLAN CS- L-110 LANDSCAPE ENLARGEMENTS CONCEPT PLAN CS- L-120 LANDSCAPE ENLARGEMENTS CONCEPT PLAN CS- L-130 LANDSCAPE CONCEPT DETAILS CS- L-140 EXISTING TREE AND LANDSCAPE DEMOLITION PLAN CS- L-150 PROPOSED PLANT PALETTE CS- L-160 PARTIAL PLANT PALETTE
	05-ELECTRICAL CS- E-1 SITE LIGHTING PLAN Grand total: 22

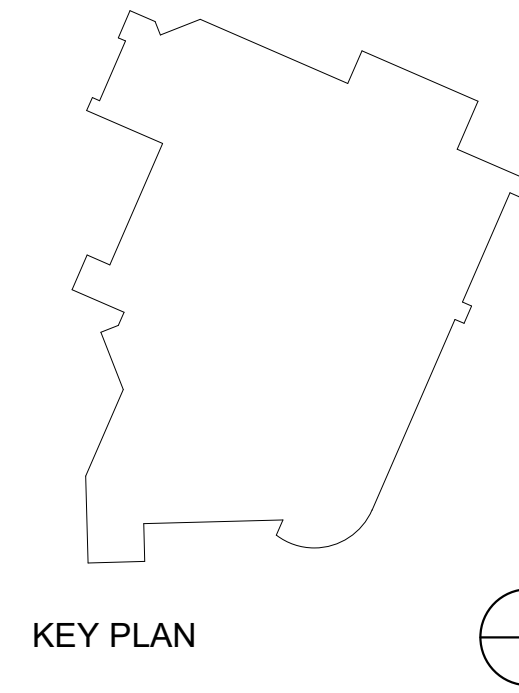
SCOPE
ADDING A TWO-STORY ADDITION TO THE EXISTING 1-STORY REHABILITATION CENTER THAT WILL ADD 16 NEURO ICU BEDS AND 16 MEDICAL SURGICAL PATIENT BEDS AND REMODEL 18 EXISTING IN-PATIENT REHABILITATION BEDS.
THERE IS A NET INCREASE OF 20 NEW PATIENT BEDS.

PROJECT DATA
ZONE RB-G-D
ADDRESS: 5555 GROSSMONT CENTER DRIVE, LA MESA, CA 91942
APN: 490-340-23-00
LEGAL DESCRIPTION: PARCEL 1 OF PARCEL MAP 21035 IN THE CITY OF LA MESA, COUNTY OF SAN DIEGO, STATEOF CALIFORNIA
SETBACKS: FRONT 15' SIDE 5' (5' PER STORY PLUS 4' FOR WALLS EXCEEDING 100'-0" LENGTH) REAR 5' (5' PER STORY PLUS 4' FOR WALLS EXCEEDING 100'-0" LENGTH)
STRUCTURE HEIGHT 30'
PROJECT DESCRIPTION: ADDING A TWO-STORY ADDITION TO THE EXISTING 1-STORY REHABILITATION CENTER THAT WILL ADD 16 NEURO ICU BEDS AND 16 MEDICAL SURGICAL PATIENT BEDS, AND REMODELING 18 EXISTING IN-PATIENT REHABILITATION BEDS. (A NET INCREASE OF 20 NEW PATIENT BEDS).
OCCUPANT LOAD: LOAD FACTORS: INPATIENT TREATMENT: 240/SF OUTPATIENT TREATMENT: 100/SF SLEEPING AREAS: 120/SF BUILDING OCCUPANT LOAD: FIRST FLOOR: 210 OCCUPANTS SECOND FLOOR (OFFICES) 74 OCCUPANTS TOTAL: 384 OCCUPANTS

BUILDING AREAS: EXISTING BUILDING AREA: 37,581 SQUARE FEET DEMOLITION AREA: 6,091 SQUARE FEET EXISTING BUILDING AREA AFTER DEMOLITION: 31,490 SQUARE FEET TYPE VA (1 STORY)	PROPOSED ADDITIONS: 1,618 S.F. TYPE VA (1 STORY) 17,772 S.F. YPE IIA (2 STORY) 9,084 S.F. FIRST FLOOR 8,688 S.F. SECOND FLOOR 4,792 S.F. TUNNEL FOR FUTURE LINK 20,182 S.F.
TOTAL ADDITION AREA: 20,182 S.F.	TOTAL BUILDING AREA – EXISTING + ADDITION: 51,672 SQUARE FEET
PROPOSED HEIGHT: TOP OF ROOF PARAPET: 36'-6"	HOSPITAL LICENSE – BED COUNT SUMMARY LICENSED CAPACITY 524 BEDS GENERAL ACUTE CARE 448 BEDS INTENSIVE CARE 70 BEDS REHABILITATION 30 BEDS INTENSIVE CARE NEWBORN 24 BEDS PERINATAL 24 BEDS CORONARY CARE 5 BEDS UNSPECIFIED GENERAL ACUTE CARE 295 BEDS ACUTE PSYCHIATRIC 46 BEDS SKILLED NURSING 30 BEDS

DEFERRED SUBMITTALS		SYMBOLS					
<div>1. FIRE SPRINKLERS</div> <div>2. FIRE ALRM</div>	1 / A101		SHEET NUMBER	Name Elevation		ELEVATION IN SECTION OR ELEVATION POINT OF REFERENCE	
			BUILDING SECTION	Name Elevation		ELEVATION IN PLAN POINT OF REFERENCE	
			BUILDING ELEVATION	1 / A101 1 / A102		MATCHLINE	
			WALL SECTION	Room name 101		ROOM NAME ROOM NUMBER	
			DETAIL (SECTION)			WALL TYPES	
			DETAIL (PLAN)			NOTE LEADER LINE	
			COLUMN GRID LINE (EXISTING)			REFERENCE NORTH ARROW	
			COLUMN GRID LINE (NEW)			NORTH ARROW	

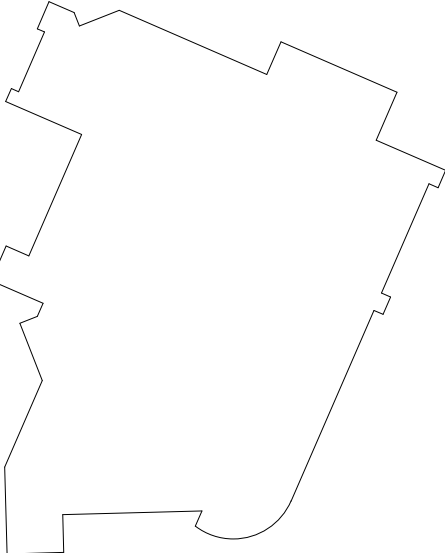
PARKING SUMMARY
CITY OF LA MESA PARKING CODE CHAPTER 24.04 OF CITY OF LA MESA CODE OF ORDINANCES, APRIL 2019
EXISTING PARKING OFF STREET PARKING 3,152 SPACES ON STREET PARKING 80 SPACES TOTAL PROVIDED 3,232 SPACES
REQUIRED (OFF STREET) PARKING 2,268 SPACES SURPLUS PARKING 964 SPACES
NEW PARKING 24.04.050 OFF STREET PARKING REQUIREMENTS: 2 SPACES PER BED 20 NET NEW BEDS 40 ADDITIONAL PARKING SPACES REQUIRED OFF STREET PARKING 3,232 SPACES REQUIRED (OFF STREET) PARKING 2,308 SPACES NEW SURPLUS PARKING 924 SPACES



ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	11/18/22
BACKCHECK 2	3/24/22
BACKCHECK 3	6/07/22
BACKCHECK 4	7/17/22

34'-0" SIDE YARD SETBACKS PER CODE REQUIREMENT:
SIDE (5' PER STORY PLUS 4' FOR WALLS EXCEEDING 100'-0" LENGTH)
6 STORY (TALLEST STRUCTURE ON LOT) X 5' PER STORY= 30' + 4' FOR
WALLS EXCEEDING 100' = 34'

34'-0" REAR YARD SETBACKS PER CODE REQUIREMENT:
REAR (5' PER STORY PLUS 4' FOR WALLS EXCEEDING 100'-0" LENGTH)
6 STORY (TALLEST STRUCTURE ON LOT) X 5' PER STORY= 30' + 4' FOR
WALLS EXCEEDING 100' = 34'



KEY PLAN



5555 GROSSMONT CENTER DR.
LA MESA, CA 91942

NEUROSCIENCES CENTER

TITLE OVERALL CAMPUS PLAN

PROJECT NO. 2021001.10

ISSUE	DATE
BACKCHECK 3	6/07/22

ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	11/18/21
BACKCHECK 2	03/24/22
BACKCHECK 3	6/07/22

BLDG-05368 - PHYSICAL
REHABILITATION ELECTRICAL
TRANSFORMER
VAULT BLDG 07A

CONSTRUCTION TYPE: VA
CLASSIFICATION: OSHPD 1 (IN
SERVICE)
(SPC: 4S / NPC: 2)

BLDG-02104 - PHYSICAL
REHABILITATION UNIT, BLDG. 07

CONSTRUCTION TYPE: VA
CLASSIFICATION: OSHPD 1 (IN
SERVICE)
(SPC: 4 / NPC: 2)

BLDG-02099 - WEST WING - WEST,
BLDG. 02A

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN
SERVICE)
(SPC: 2 / NPC: 2)

BLDG-02622 - MAIN ENTRY, BLDG. 09

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN
SERVICE)
(SPC: 4 / NPC: 2)

BLDG-03767 - WEST WING - EAST,
BLDG. 02B

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN
SERVICE)
(SPC: 2 / NPC: 2)

BLDG-02101 - SOUTH WING, BLDG. 04

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN
SERVICE)
(SPC: 2 / NPC: 2)

BLDG-05678 - UTILITY TUNNEL, BLDG.
16

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN
SERVICE)
(SPC: 2 / NPC: 2)

BLDG-05336 - ED/CCU AND ACNU
BLDG., BLDG. 12

CONSTRUCTION TYPE: TYPE I A, FULLY
SPRINKLERED
CLASSIFICATION: OSHPD 1 (IN
SERVICE)
(SPC: 5 / NPC: 2)

BLDG-05312-MENTAL HEALTH BUILDING, BLDG 11

CONSTRUCTION TYPE: N/A, SPRINKLERED
CLASSIFICATION: OSHPD 5 (ACUTE CARE PSYCH ONLY)
SPC: N/A, NPC: N/A

BLDG-03678 - OLD ADMINISTRATION BUILDING, BLDG. 10

CONSTRUCTION TYPE: N/A, SPRINKLERED
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 2 / NPC: 2)

BLDG-03768 - WEST WING / NORTH, BLDG. 02C

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 2 / NPC: 2)

BLDG-03683 - WOMENS HEALTH CENTER, BLDG. 08

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 3 / NPC: 2)

BLDG-02100 - NORTH WING, BLDG. 03

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 2 / NPC: 2)

BLDG-02105 - MEETING ROOM ADDITION, BLDG. 06A

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 3 / NPC: 2)

BLDG-03685 - EAST WING ADDITION, BLDG. 06A

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 4 / NPC: 2)

BLDG-02103 - EAST WING, BLDG. 06

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 4 / NPC: 2)

BLDG-02829 - HEART AND VASCULAR CENTER, BLDG. 13

CONSTRUCTION TYPE: TYPE I A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 5 / NPC: 4)

BLDG-02830 - NEW CENTRAL PLANT, BLDG. 14

CONSTRUCTION TYPE: II B, FULLY SPRINKLERED
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 5 / NPC: 4)

(E) REFUSE ENCLOSURES TO REMAIN

BLDG-05764 - EMERGENCY GENERATOR 1, BLDG. 14A

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (NOT A BLDG. STRUCTURE)
(SPC: N/A / NPC: N/A)

BLDG-05765 - EMERGENCY GENERATOR 2, BLDG. 14B

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (NOT A BLDG. STRUCTURE)
(SPC: N/A / NPC: N/A)

BLDG-02102 - CENTRAL PLANT AND COOLING PLANT
EXPANSION, BLDG. 5

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 4 / NPC: 2)

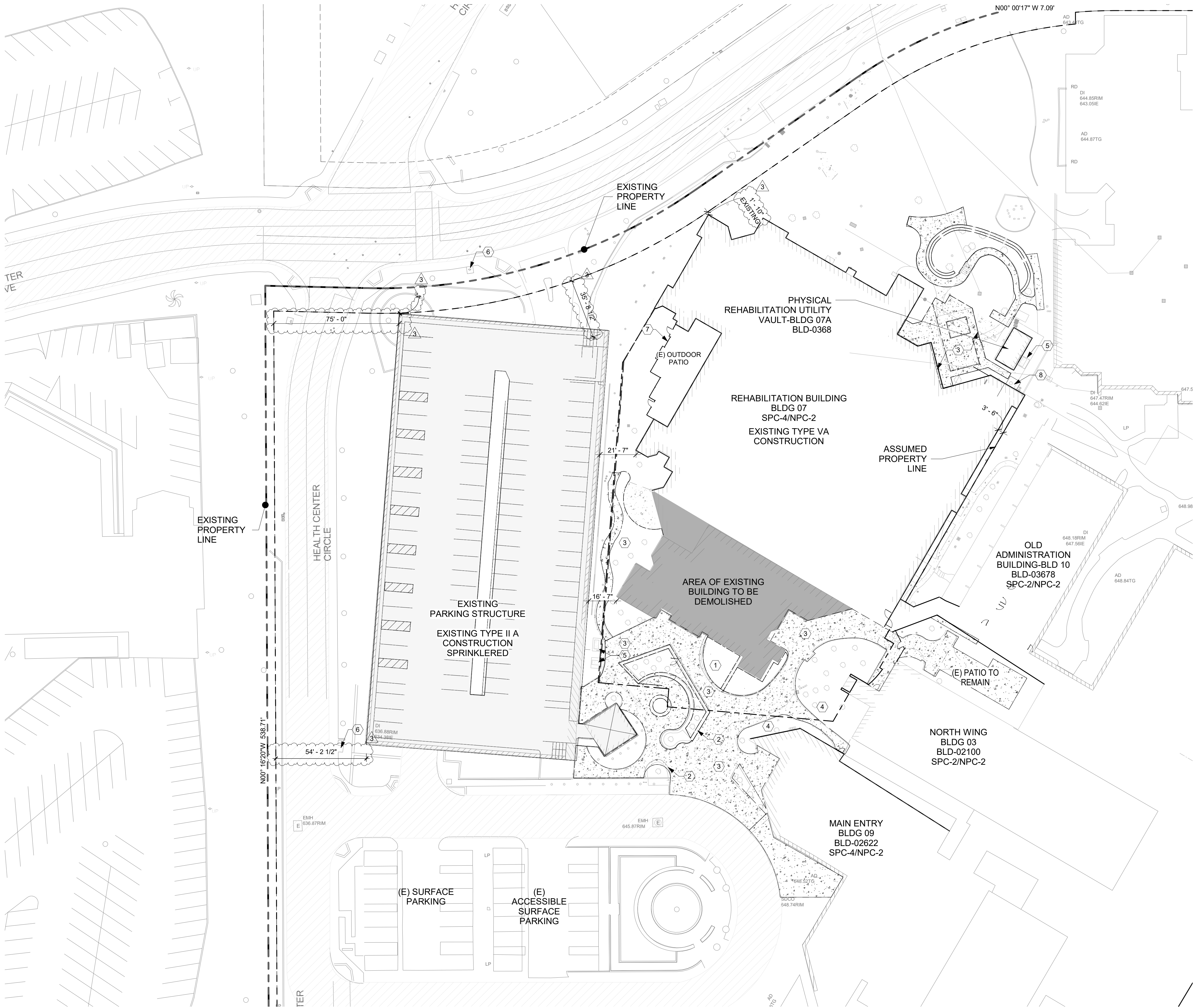
BLDG-05510 - MRI/ ANGIO ADDITION, BLDG. 15

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 4 / NPC: 2)

BLDG-02098 - EMERGENCY GENERATOR BUILDING,
BLDG. 1

CONSTRUCTION TYPE: N/A
CLASSIFICATION: OSHPD 1 (IN SERVICE)
(SPC: 4 / NPC: 2)

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SITE PLAN LEGEND

- PROPERTY LINE
- [Outline] EXISTING BUILDING TO REMAIN
- [Shaded] DEMOLISHED

GENERAL NOTES

1. SEE CIVIL SHEET C-2 FOR GRADING AND ADDITIONAL SITE RENOVATION.

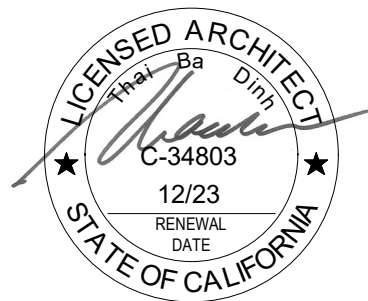
KEYNOTES

- 1 EXISTING GARDEN TO BE REMOVED AND RELOCATED
- 2 EXISTING PLANTER TO BE DEMOLISHED
- 3 EXISTING SIDEWALK TO BE DEMOLISHED
- 4 EXISTING LAWN AREA TE BE REMOVED
- 5 EXISTING ELECTRICAL VAULTS TO REMAIN
- 6 EXISTING FIRE HYDRANT TO REMAIN
- 7 EXISTING OUTDOOR FENCE TO REMAIN
- 8 EXISTING ABONDANED STEAM-LINE MANHOLE TO BE REMOVED



MASCARI WARNER DINH
Architects

1717 Kettner Blvd., Suite 100
San Diego, California 92101
619.814.0080 Fax 619.814.0081



KEY PLAN



5555 GROSSMONT CENTER DR.
LA MESA, CA 91942

NEUROSCIENCES CENTER

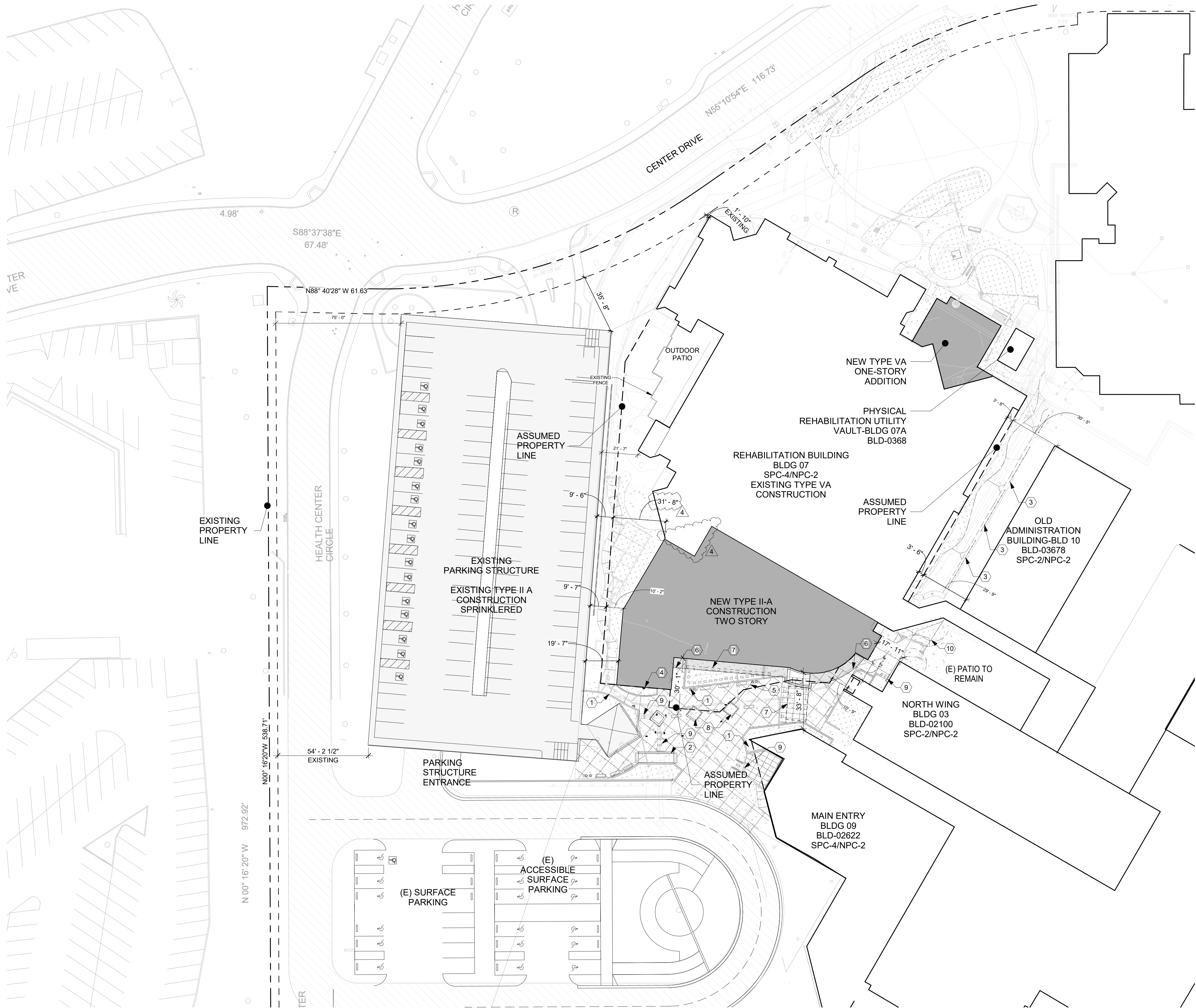
TITLE SITE DEMOLITION PLAN

PROJECT NO. 2021001.10

ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	11/18/21
BACKCHECK 3	6/07/22

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SITE PLAN LEGEND

- PROPERTY LINE
- EXISTING BUILDING TO REMAIN
- FIRE LANE
- NEW ADDITION

GENERAL NOTES

1. SEE CIVIL SHEET C-2 FOR GRADING AND ADDITIONAL SITE RENOVATION.

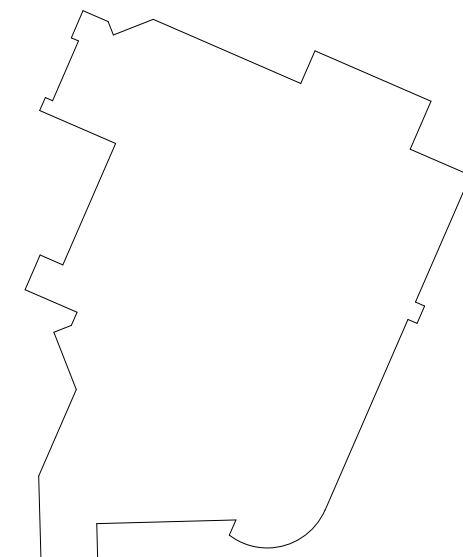
KEYNOTES

- (N) 3'-0" MAX TALL PLANTER WALL, FOR DETAILS REFER TO LANDSCAPE DRAWINGS
- (N) ACCESSIBLE RAMPS
- (N) 6' PRIVACY FENCE PER LANDSCAPE
- (N) GREEN VEGETATION WALL, FOR DETAILS REFER TO LANDSCAPE DRAWINGS
- (N) OUTDOOR SEATING BENCHES, REFER TO LANDSCAPE DRAWINGS FOR DETAILS
- (N) EXTERIOR HORIZONTAL "EYE-BROW" & "HALO", FOR MATERIAL PLEASE REFER TO EXTERIOR ELEVATIONS
- (N) BUILDING SIGNAGE PLEASE REFER TO EXTERIOR ELEVATIONS FOR MATERIAL & SIZE
- (N) LOW PLANTER FOR DETAILS REFER TO LANDSCAPE DRAWINGS
- (N) EXTERIOR STAIRS FOR DETAILS AND FINISH REFER TO LANDSCAPE DRAWINGS
- (E) FENCE TO BE REMOVED AND REINSTALLED UPON COMPLETION OF CONSTRUCTION



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KEY PLAN



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LA MESA, CA 91942

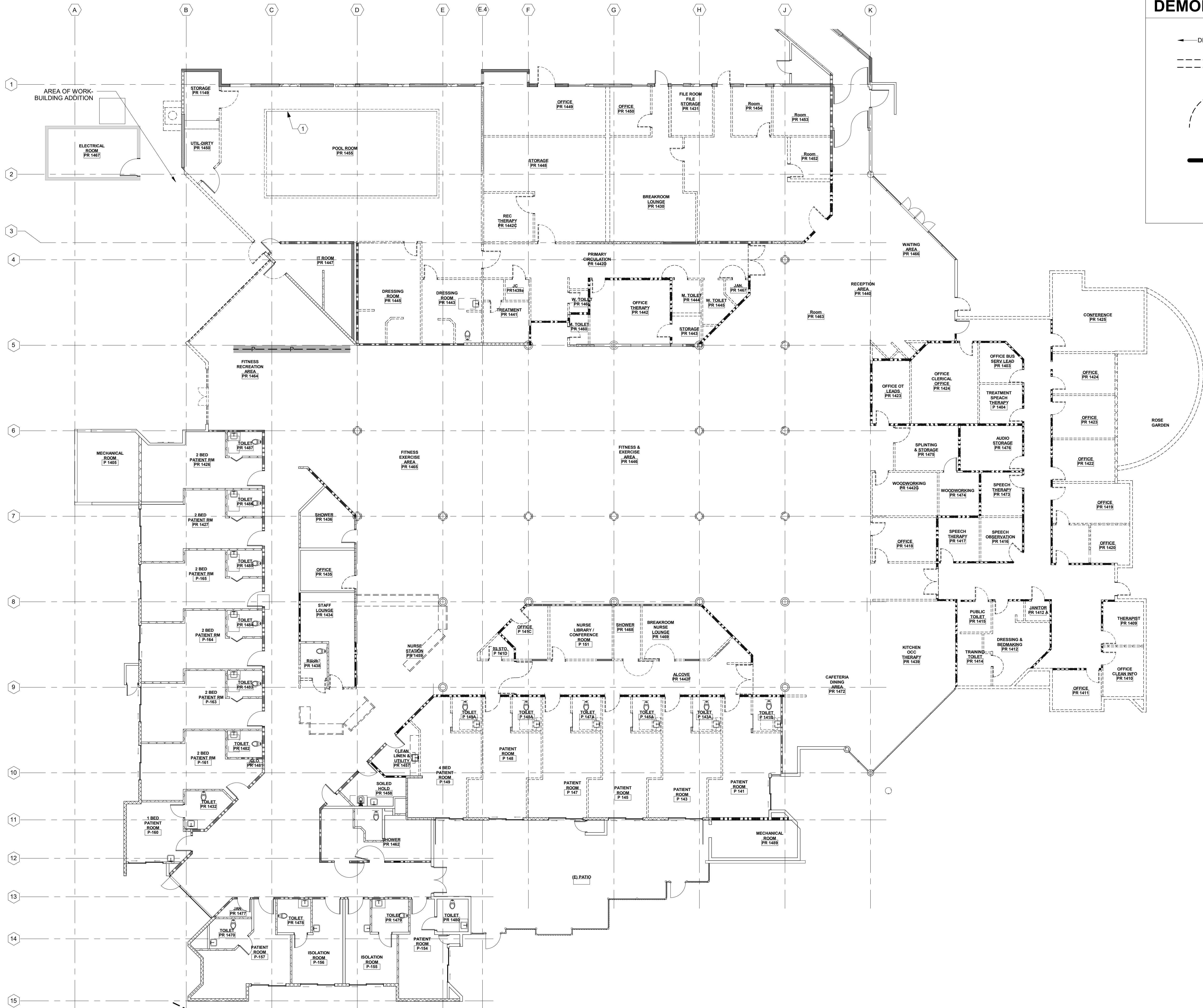
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TITLE SITE RENOVATION PLAN

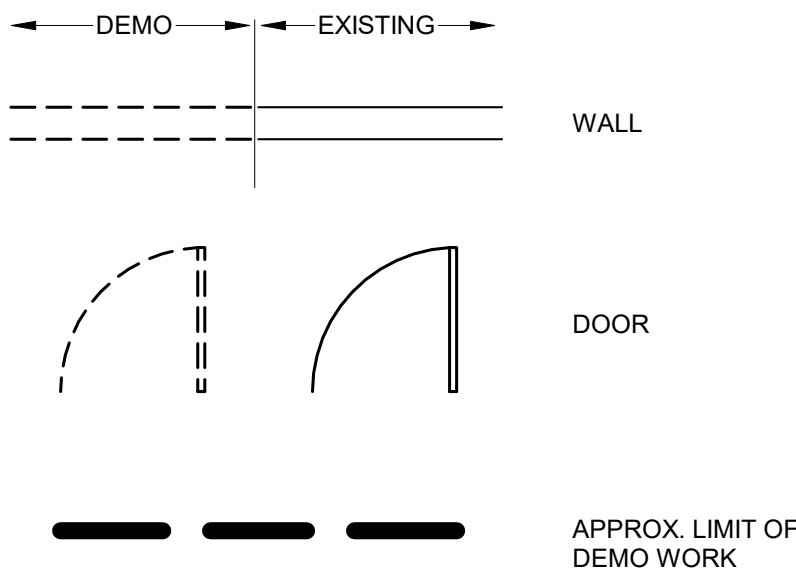
PROJECT NO. 2021001.10

ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	11/18/22
BACKCHECK 3	6/07/22
BACKCHECK 4	7/17/22

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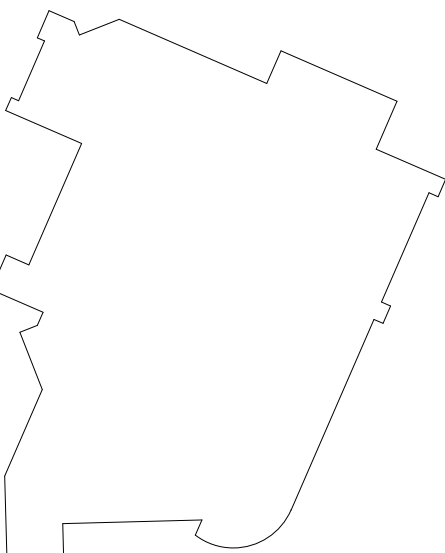
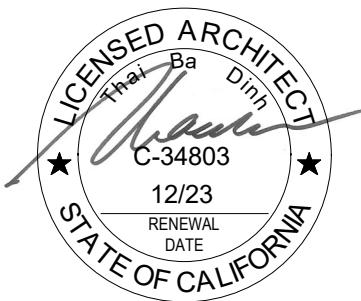


DEMOLITION LEGEND

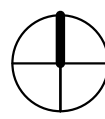


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KEY PLAN



5555 GROSSMONT CENTER DR.
LA MESA, CA 91942

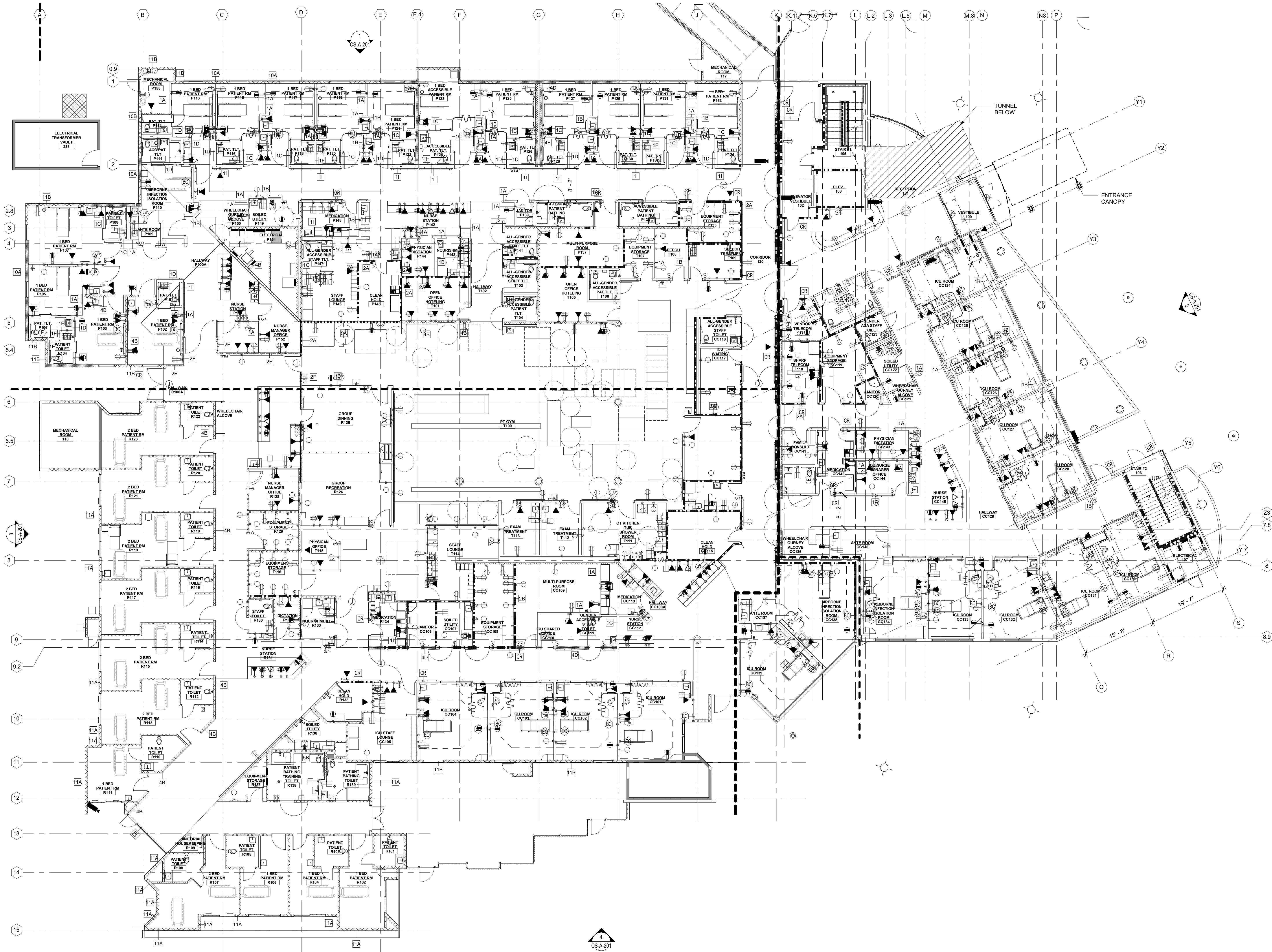
NEUROSCIENCES CENTER

TITLE EXISTING FIRST LEVEL FLOOR PLAN
PROJECT NO. 2021001.10

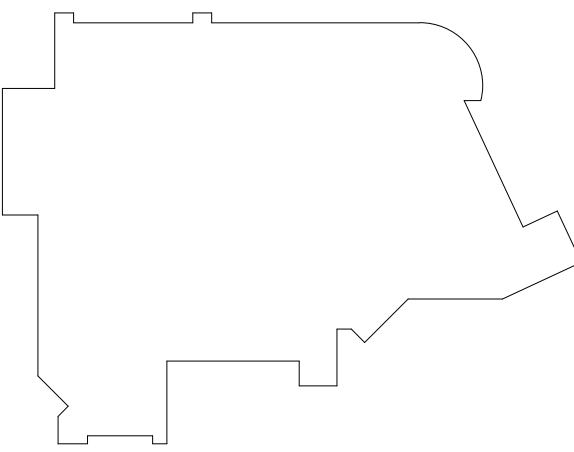
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BACKCHECK 1	02/11/22

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KEY PLAN



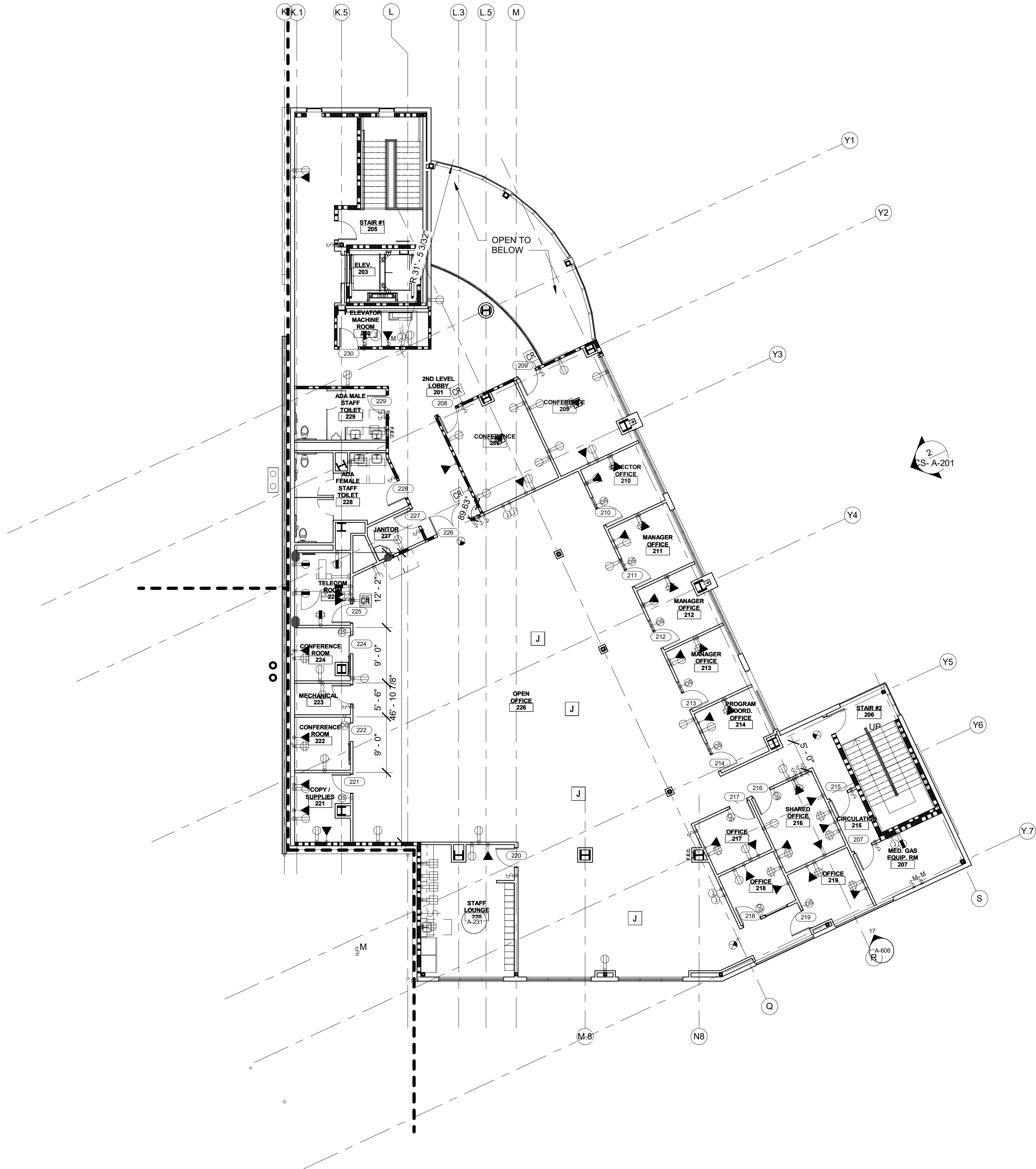
5555 GROSSMONT CENTER DR.
LA MESA, CA 91942

NEUROSCIENCES CENTER

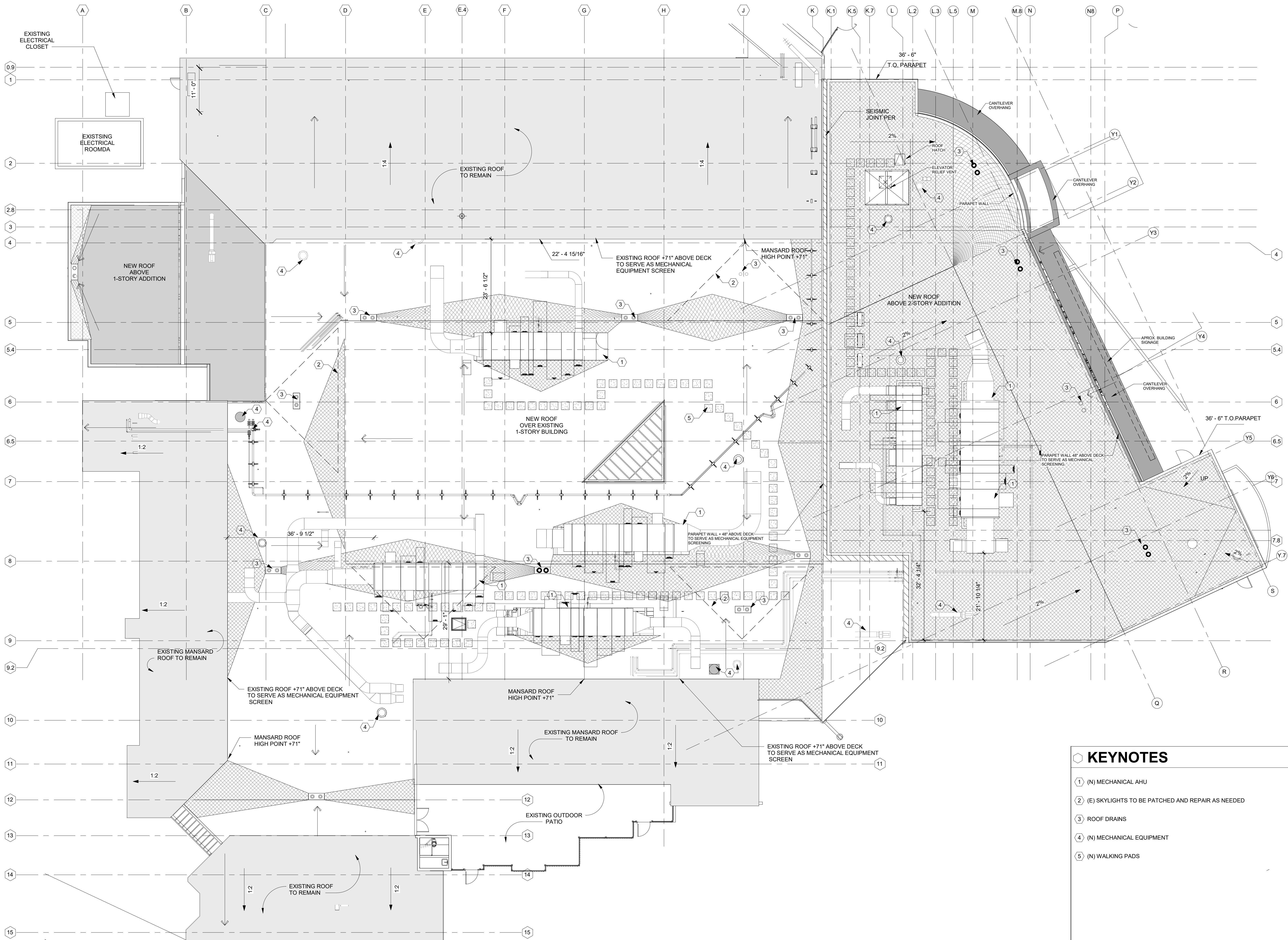
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PLAN
PROJECT NO. 2021001.10

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BACKCHECK 1	02/11/22

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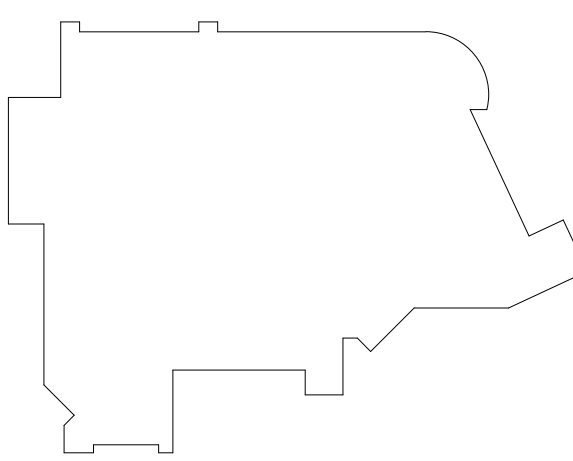


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KEYNOTES

- (N) MECHANICAL AHU
- (E) SKYLIGHTS TO BE PATCHED AND REPAIR AS NEEDED
- ROOF DRAINS
- (N) MECHANICAL EQUIPMENT
- (N) WALKING PADS



KEY PLAN

ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	11/18/21

ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	11/18/22
BACKCHECK 2	3/24/22

ELEVATION LEGEND

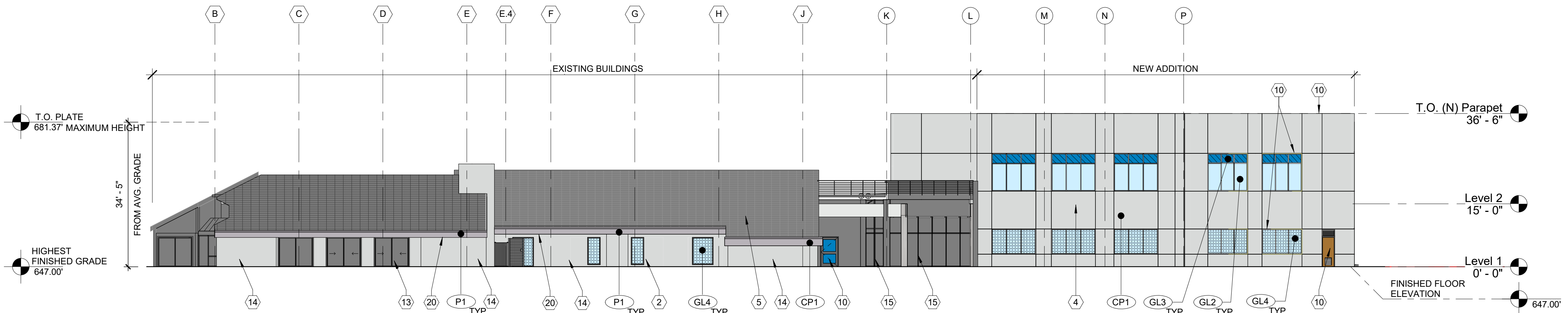
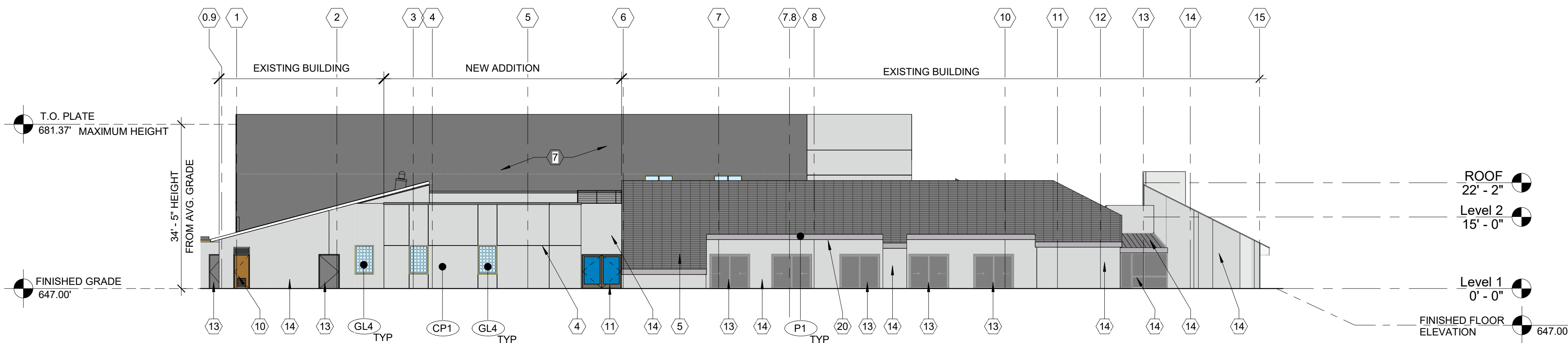
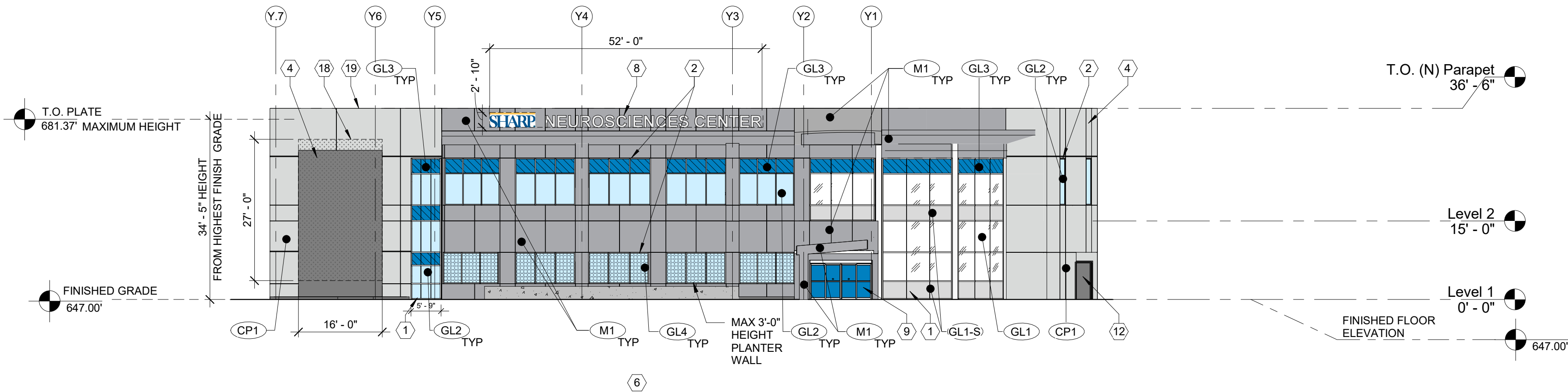
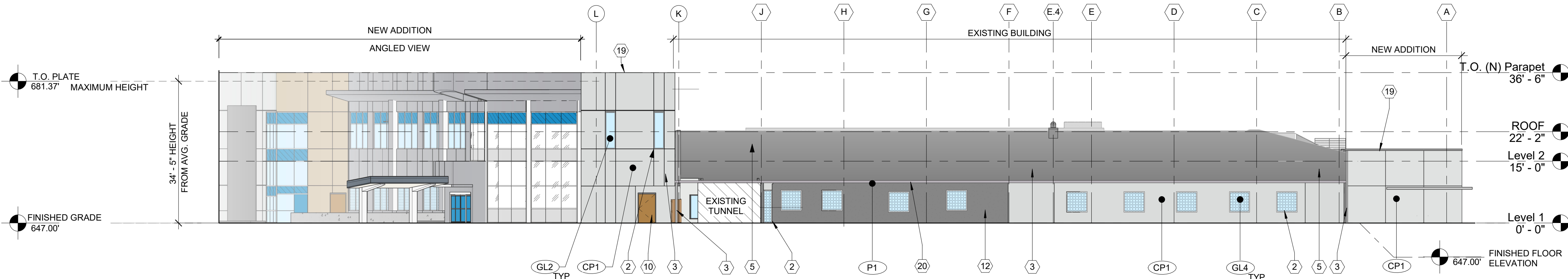
- M1 INSULATED METAL PANEL
GRAY SPARKLE # UC125548
- CP1 EXTERIOR CEMENT PLASTER
STO COLOR # 16002
- P1 EXTERIOR PAINT
ROOF FASCIA AND GUTTER
GRAYISH # SW6001
- GL1 CLEAR - INSULATED LOW-E GLASS
- GL1-S GRAY SPANDREL - INSULATED
LOW-E GLASS
- GL2 AZURIA GLASS
- GL-3 SOLARBLUE GLASS - SPANDREL GLASS
- GL-4 FRIT GLASS
- EXTERIOR GRAY COLORED EXPANSION JOINT
- CONTROL JOINT

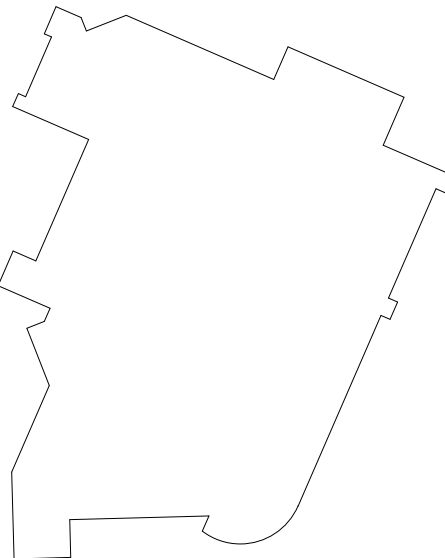
KEYNOTES

- ALUMINUM CURTAIN WALL SYSTEM. FINISH COLOR: GRAY SPARKLE # UC125548
- ALUMINUM STOREFRONT WINDOW, FACTORY FINISH CLEAR ANODOIZE
- EXPANSION JOINT
- CONTROL JOINT
- EXISTING ROOF TO REMAIN
- 3'-0" (MAX) TALL CONCRETE PLANTER WALL. REFER TO LANDSCAPE DWGS.
- EXISTING ADDITION BEYOND
- EXTERIOR SIGN (122 S.F.): INTERNALLY ILLUMINATED (WHITE LED) CHANNEL LETTERS WITH ALUMINUM RETURNS PAINTED TO MATCH EXTERIOR METAL PANELS AT BUILDING FACE. LETTER FACES TO BE WHITE ACRYLIC WITH SURFACE APPLIED TRANSLUCENT/PERFORATED VINYL COLOR OVERLAYS.
'SHARP' SIGN: INTERNALLY ILLUMINATED (WHITE LED) CHANNEL LETTERS. LETTER PLEX FACES TO BE WHITE ACRYLIC WITH SURFACE APPLIED TRANSLUCENT VINYL WITH WHITE TRIM CAP AND RETURNS. RETURNS PAINTED TO MATCH VINYL FACE. FACE COLOR: 230-97 DELF BLUE WITH WHITE INLINE.
-TOP BAR: FACE TO BE 230-25 'SUNFLOWER' WITH YELLOW TRIM CAP AND RETURNS TO MATCH.
- MAIN ENTRY. AUTOMATIC SLIDING GLASS DOUBLE DOORS. CLEAR GLASS PANELS WITH ALUMINUM FRAME AND FACTORY FINISH CLEAR ANODOZIED
- HOLLOW METAL DOOR WITH ALUMINUM DOOR FRAME, FACTORY FINISH CLEAR ANODOIZE.
- GLASS DOUBLE DOOR WITH ALUMINUM DOOR FRAME, FACTORY FINISH CLEAR ANODOIZE
- EXISTING EXTERIOR WALL TO BE PATCHED REPAIRED AND REPAINTED WITH STO COLOR # 16002
- EXISTING HOLLOW METAL SLIDERS TO REMAIN.
- EXISTING EXTERIOR STUCCO TO BE REPAINTED TO STO COLOR # 16002
- EXISTING EXTERIOR BRONZE COLOR STORE-FRONT SYSTEM TO REMAIN
- EXISTING EXTERIOR BRONZE COLOR SLOPED STORE-FRONT SYSTEM AT WEST ENTRANCE TO REMAIN
- NOT USED.
- 'LIVING WALL' WITH GREEN-SCREEN STRUCTURE
- ALUMINUM COPING. FINISH TO MATCH STOREFRONT FRAMES
- EXISTING ROOF FASCIA AND GUTTER TO BE REPAINTED

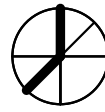
GENERAL NOTES

PARAPET WALL HEIGHT IS TALL ENOUGH TO SERVE AS ROOF SCREEN. MECHANICAL EQUIPMENT IS NOT VISIBLE FROM GRADE





KEY PLAN



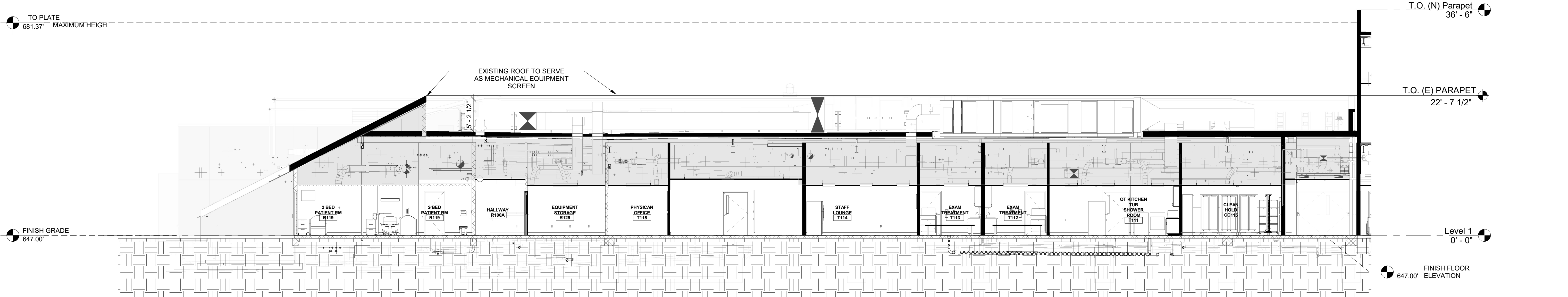
5555 GROSSMONT CENTER DR.
LA MESA, CA 91942

NEUROSCIENCES CENTER

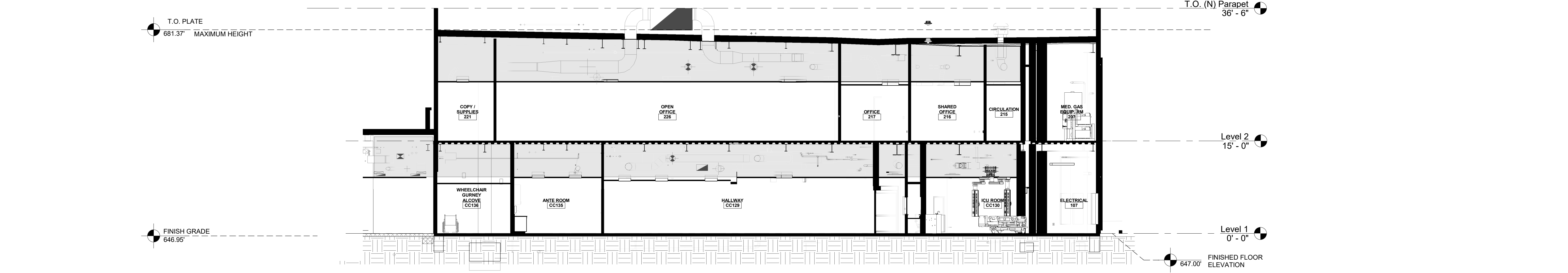
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PROJECT NO. 2021001.10

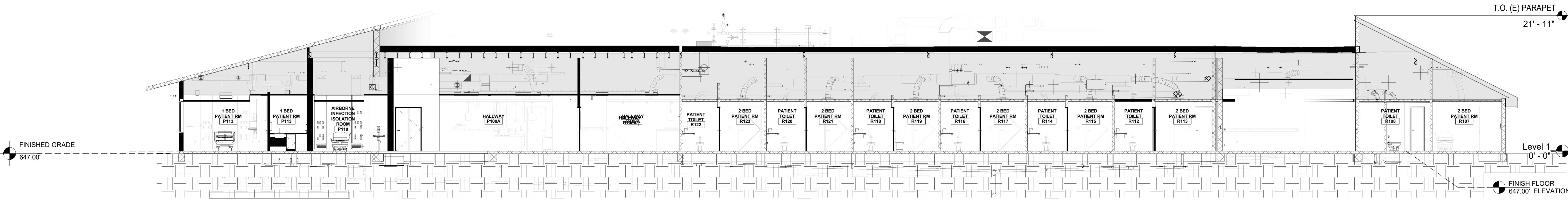
ISSUE	DATE
1ST SUBMITTAL	11/12/21
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EAST / WEST SECTION A
SCALE : 1/8" = 1'-0"



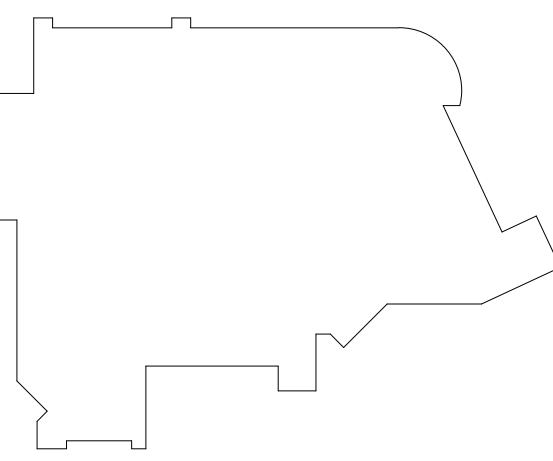
EAST / WEST SECTION B
SCALE : 1/8" = 1'-0"



NORTH / SOUTH SECTION
SCALE : 1/8" = 1'-0"



MASCARI WARNER DINH
Architects
1717 Kettner Blvd., Suite 100
San Diego, California 92101
619.814.0080 Fax 619.814.0081



KEY PLAN



5555 GROSSMONT CENTER DR.
LA MESA, CA 91942

NEUROSCIENCES CENTER

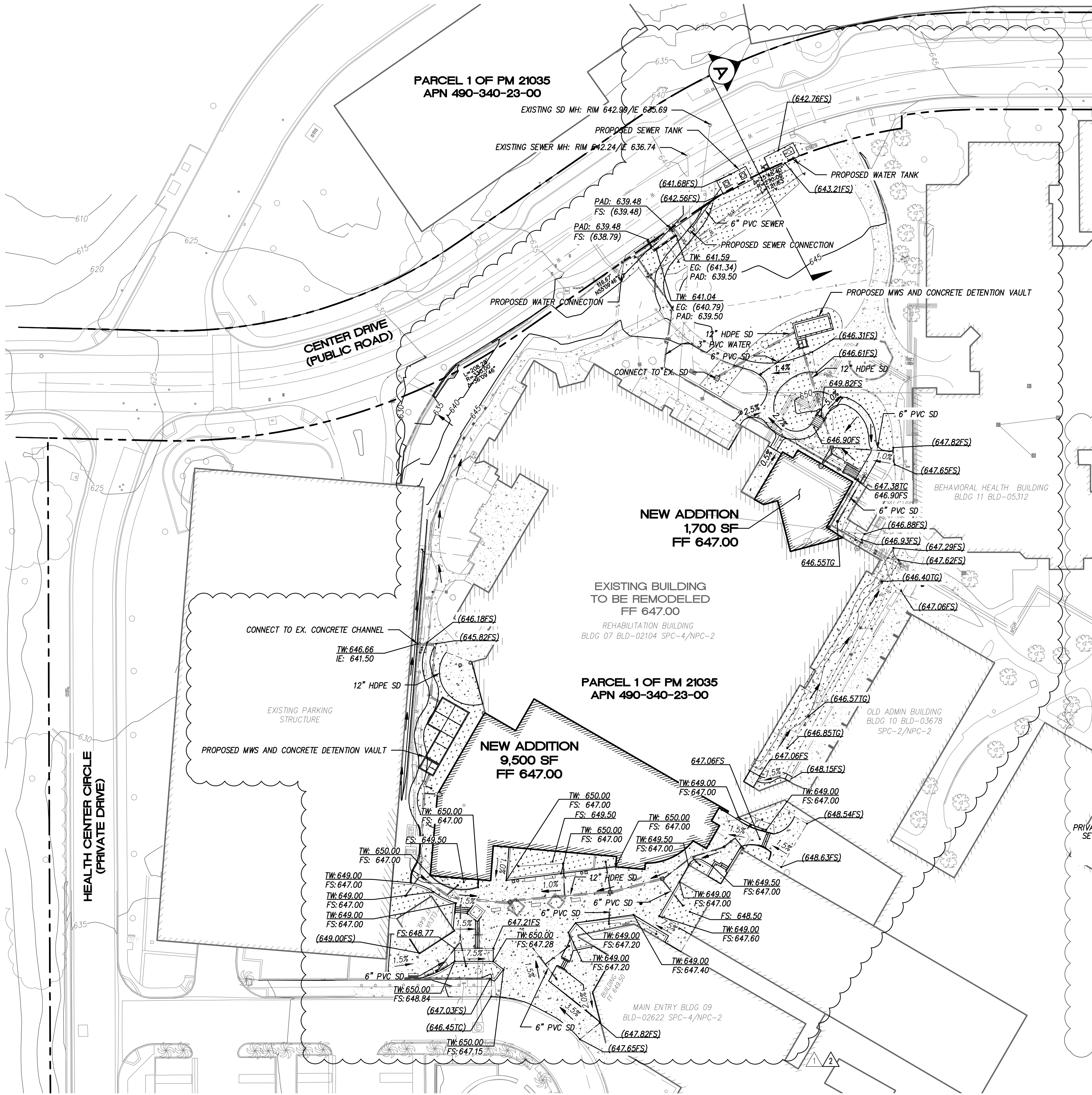
TITLE BUILDING SECTIONS

PROJECT NO. 2021001.10

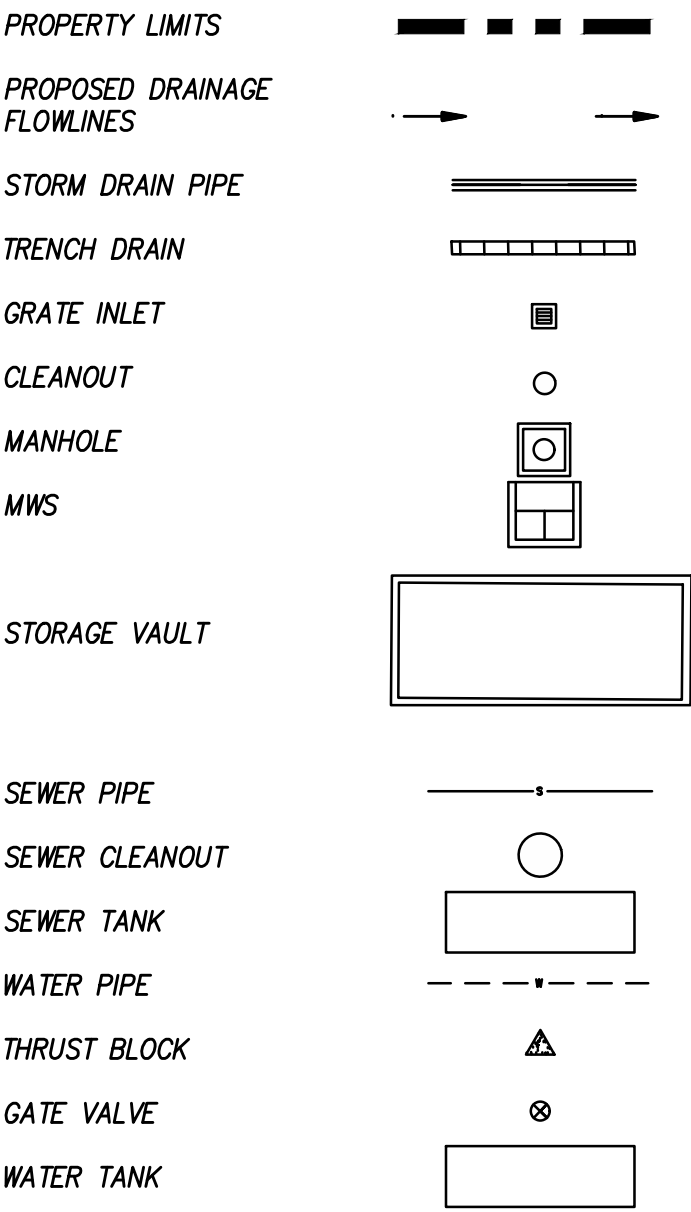
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BACKCHECK 2	03/24/22

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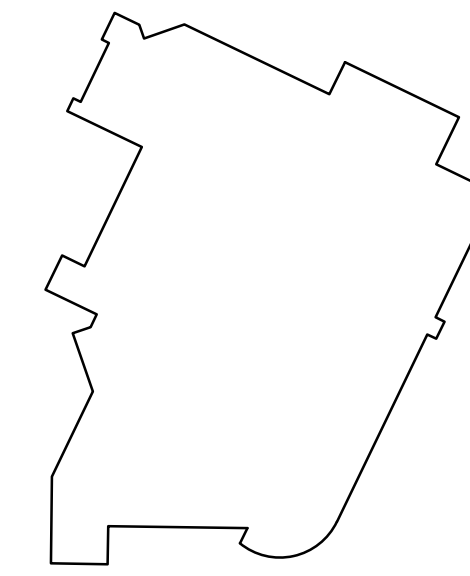
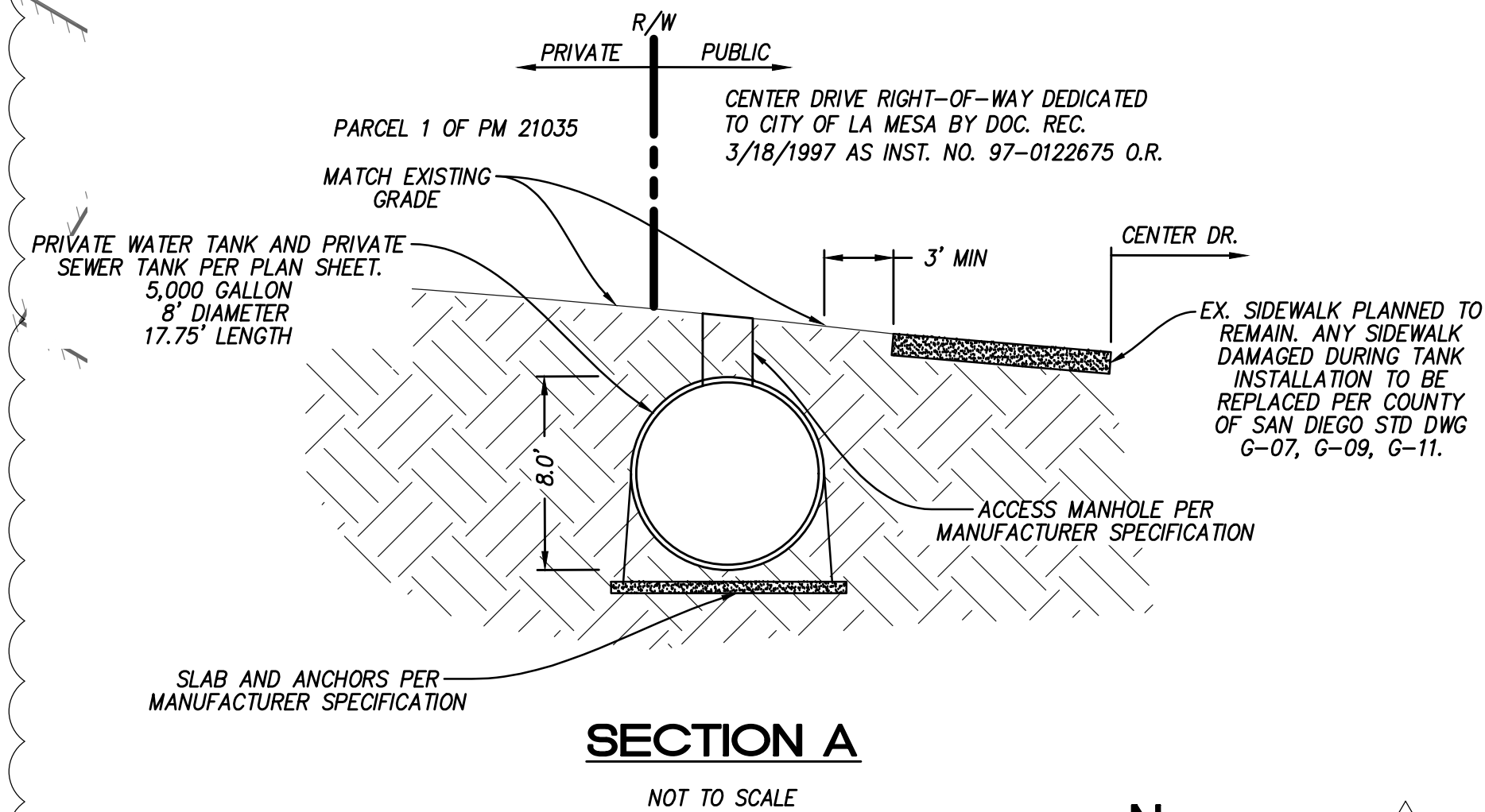


LEGEND



EARTHWORK VALUES

- DISTURBED AREA: 0.75 AC
CUT: 1,000 CY
FILL: 800 CY
NET EXPORT: 200 CY
- NOTE:
1. THE ESTIMATED QUANTITIES ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
 2. ESTIMATED EARTHWORK IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
 3. THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
 4. ESTIMATED EARTHWORK QUANTITIES ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.



KEY PLAN

ISSUE	DATE
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BACKCHECK 1	02/11/22
BACKCHECK 2	03/24/22

- LANDSCAPE NOTES:**
1. AT LEAST (1) TREE SHALL BE PROVIDED FOR EVERY 500 SQ. FT. OF LANDSCAPE AREA.
 2. A 2" MULCH LAYER SHALL BE USED IN ALL TREE AND SHRUB PLANTING AREAS. NON-LIVING GROUNDCOVER SHALL NOT COVER MORE THAN 50% OF ANY LANDSCAPE AREA.
 3. PROPOSED TURF AREAS DO NOT EXCEED MORE THAN 30% OF THE PROJECT AREA, OR ARE LESS THAN 10' WIDE AND ON SLOPES 3:1 OR LESS.

WATER CONSERVATION NOTE:
ALL COMMON LANDSCAPE AREAS HAVE BEEN DESIGNED TO MAXIMIZE WATER USE EFFICIENCY THROUGH THE LIMITATION OF TURF TO ACTIVE USE AREAS. THE USE OF DROUGHT TOLERANT AND NATIVE PLANTS AND THE USE OF AN AUTOMATIC IRRIGATION SYSTEM WHICH UTILIZES AN AUTOMATIC RAIN SHUTOFF DEVICE AND ET SENSOR.

WATER EFFICIENT LANDSCAPE STATEMENT:
I am familiar with the requirement for landscape and irrigation plans contained in the City of La Mesa Water Efficient Landscape Regulations (LMMC chapter 14.29). I have prepared this plan in compliance with those regulations. I certify that the plan implements those regulations to provide efficient use of water.

Signature of Landscape Architect License Number 5508 Date 02/04/22

NOTE:
I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan.

LANDSCAPE CONCEPT STATEMENT:

LANDSCAPES ARE ESSENTIAL TO THE QUALITY-OF-LIFE AT SHARP GROSSMONT HOSPITAL NEUROSCIENCES CENTER. THESE LANDSCAPES PROVIDE AREAS FOR RECREATION AND PHYSICAL THERAPY, ENHANCE THE ENVIRONMENT, CLEAN THE AIR AND WATER, PREVENT EROSION, OFFER PROTECTION AND SCREENING AND HELP REPLACE ECOSYSTEMS LOST TO INAPPROPRIATE TYPES OF DEVELOPMENT. THE GOAL IS TO CREATE A DESIRE TO MAINTAIN ENVIRONMENTAL QUALITY THAT IS DEPENDENT ON AN ADEQUATE SUPPLY OF WATER FOR BENEFICIAL USES SUCH AS COMMUNITY GARDEN'S, THE HOSPITAL'S MANY SERENE PLACES FOR CONTEMPLATIVE STUDY AND THERAPY AND APPROPRIATE USES OF WATER FOR THE MEMORIAL ROSE GARDENS. THE VARIOUS TYPES OF LANDSCAPES CAN CREATE AN ATMOSPHERE OF PEACE AND TRANQUILITY FOR PATIENTS AND THOSE WHO SPEND THEIR LIVE'S NUTURING OTHERS.

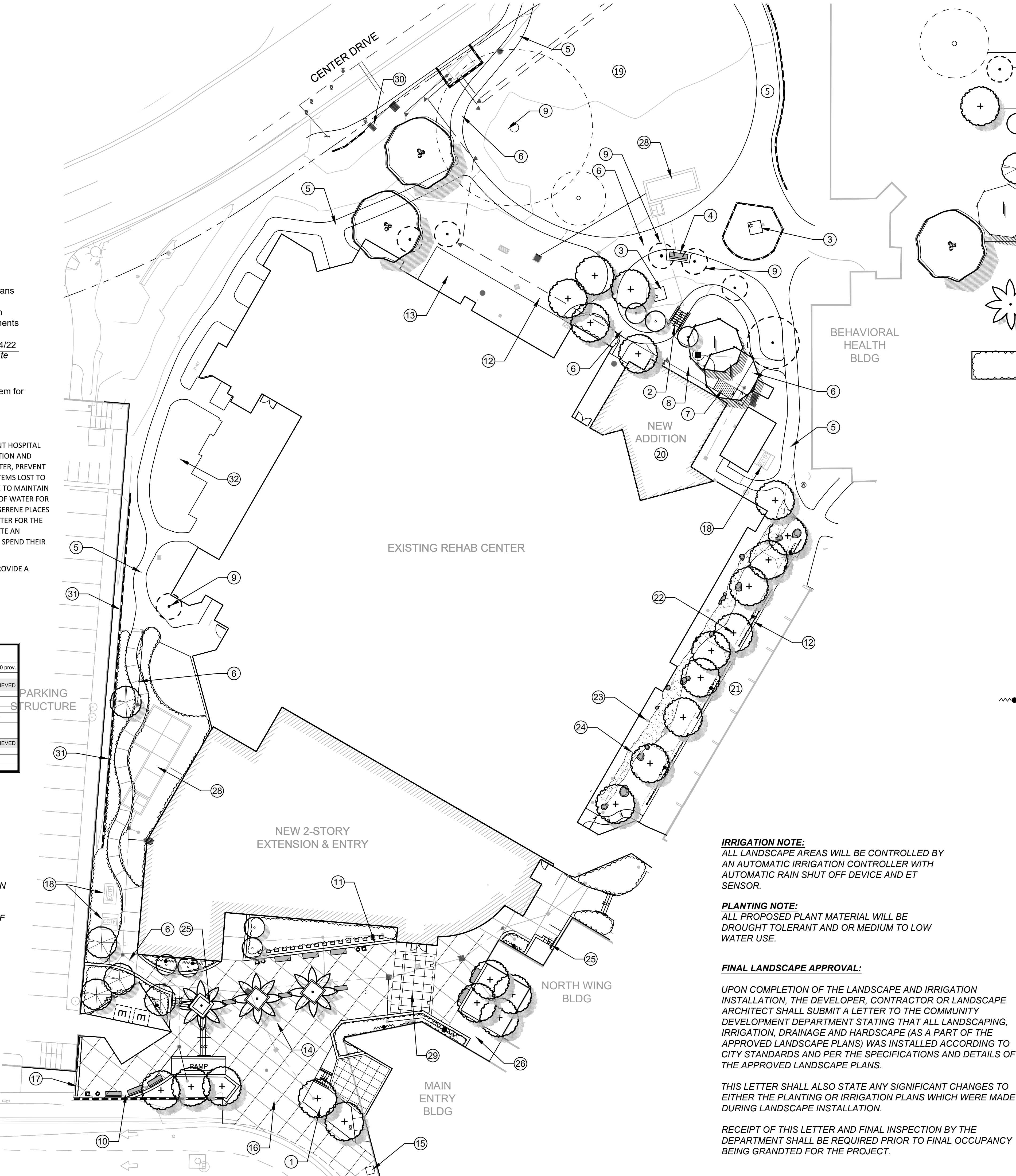
ADDITIONALLY, THE CAMPUS LANDSCAPE SETTING, BOTH NEW AND OLD, PROVIDE A TREMENDOUS QUALITY OF LIFE FOR PATIENTS, STAFF AND FAMILY ALIKE.

**CITY OF LA MESA
LANDSCAPE CALCULATION**

UNITS	
TOTAL LANDSCAPE SQUARE FOOTAGE:	SQ. FT. 15,010 prov.
REQUIRED	ACHIEVED
ONE TREE FOR 500 SQ. FT. LANDSCAPING REQUIREMENT:	EA 30 34
20% TREES SHALL BE 24"BOX SIZE OR LARGER:	EA 7 19
MAXIMUM ALLOWED	ACHIEVED
TURF AREA (COMMERCIAL/INDUSTRIAL) 10% OF TOTAL SITE:	SQ. FT. All Existing

EROSION CONTROL MEASURES:

BMP - "EROSION CONTROL PLAN" IS A PLAN PREPARED UNDER THE DIRECTION OF AND SIGNED BY A CIVIL ENGINEER COMPETENT IN THE PREPARATION OF SUCH PLANS AND KNOWLEDGEABLE ABOUT CURRENT EROSION CONTROL METHODS. THE PLAN SHALL PROVIDE FOR PROTECTION OF EXPOSED SOILS, PREVENTION OF DISCHARGE OF SEDIMENT, AND DESILTATION OF RUNOFF AT FREQUENT INTERVALS ALONG FLOWAGE AREAS, AT ENTRANCES TO STORM DRAINS, AT ENTRANCES TO STREETS AND DRIVEWAYS, AND AT THE EXIT OF THE AREA BEING GRADED. THE LANDSCAPE EROSION CONTROL MEASURES HAVE BEEN PROVIDED THROUGH THE USE OF PROSTRATE TYPE GROUND COVER PLANTS AND GROUND COVERS, GRAVEL DRY STREAM BEDS IN SWALES AND CRUSHED ROCK AND D.G. PATHS ALONG WITH 2 TO 3 INCHES NATURAL MULCHES.



SUGGESTED PLANT PALETTE:

CANOPY ACCENT TREES - (EXISTING)

BOTANICAL NAME	COMMON NAME	QUANTITY
FICUS MICROCARPA	INDIAN LAURAL	2
EUCALYPTUS SPP.	GUM TREES	4

ACCENT TREES - (24" BOX MIN.)

BOTANICAL NAME	COMMON NAME	QUANTITY
ARBUTUS MARINA	STRAWBERRY TREE	6
BAUHINIA VARIEGATA	ORCHID TREE	5
CHITALPA T. 'PINK DAWN'	CHITALPA	12
CITRUS LIMON	MEYER LEMON	7

VERTICAL SCREEN TREES - (24" BOX - 36" BOX)

BOTANICAL NAME	COMMON NAME	QUANTITY
PINUS CANRIENSIS	CANARY ISLAND PINE	4
PRUNUS C. 'BRIGHT 'N TIGHT'	CAROLINA LAUREL CHERRY-COLUMNAR	4

THEME TREES - (15 GAL. - 24" BOX)

BOTANICAL NAME	COMMON NAME	QUANTITY
EUCALYPTUS SIDEROXYLON	RED FLOWERING GUM	1
EUCALYPTUS CITRIODORA	LEMON SCENTED GUM	1
JACARANDA MIMOSIFOLIA	JACARANDA	2

PALM TREES - (10' - 12' MIN. BTH-SKINNED)

BOTANICAL NAME	COMMON NAME	QUANTITY
ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM	2
PHOENIX DACTYLIFERA	DATE PALM	3
WASHINGTONIA FILIFERA/ ROBUSTA	CALIFORNIA FAN PALM	0

SHRUBS / VINES / GROUNDCOVER (APPROX. #)

(20% 15 gal, 40% 5 gal, 40% 1 gal. min, with flattened groundcover) such as:

BOTANICAL NAME	COMMON NAME	QUANTITY
AGAVE ATTENUATA	FOXTAIL AGAVE	16
BAMBUSA 'GOLDEN GODDESS'	BAMBOO VAR.	4
DODONEA VISCOSA	HOPSEED BUSH	12
PHORMIUM SPP.	FLAX	12
PRUNUS C. 'COMPACTA'	CAROLINA LAUREL CHERRY	24
SALVIA LEUCANTHA	MEXICAN SAGE	14
WESTRINGIA R. 'MORNING LIGHT'	COASTAL ROSEMARY	14
XYLOSMA CONGESTUM	SHINY XYLOSMA	10

FOREGROUND SHRUBS (1-5 GAL.):

BOTANICAL NAME	COMMON NAME	QUANTITY
CALLISTEMON V. 'LITTLE JOHN'	CALLISTEMON	46
CISTUS PURPUREUS	ORCHID ROCKROSE	24
DIETES 'LEMON DROP'	FORTNIGHT LILY	58
LAVANDULA S. 'OTTO QUAST'	SPANISH LAVENDER VAR.	60
MYRTUS C. 'COMPACTA'	MYRTLE	52
ROSA SPP.	ROSE	88
ROSMARINUS P. 'IRENE'	SPREADING ROSEMARY	24

ACCENT SHRUBS (1-5 GAL.):

BOTANICAL NAME	COMMON NAME	QUANTITY
ALOE TRIATA	CORAL ALOE	22
ANIGOZANTHOS FLAVIDUS	KANGAROO PAW	20
CAREX SPISSA	SAN DIEGO SEDGE	48
LIRIOPE MUSCARI	LIRIOPE	26
MUHLENBERGIA RIGENS	PURPLE MUHLY	28
SANTOLINA CHAMAECYPARISSUS	LAVENDER COTTON	32
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	58

GROUNDCOVER SHRUBS (1 GAL.):

BOTANICAL NAME	COMMON NAME	QUANTITY
BACCHARIS 'PIGEON POINT'	COYOTE BUSH	12
DYMONDEA MARGARITAE	DYMONDEA	28
MYOPORUM PUTA CREEK	MYPORUM	18
SALVIA GREGGII	AUTUMN SAGE	22
SENECIO SERPENS	BLUE CHALKSTICKS	110
STIPA PULCHRA	PURPLE NEEDLEGRASS	42

VINES: (5 GAL.):

BOTANICAL NAME	COMMON NAME	QUANTITY
CALIANDRA TWEEDII	BRAZILIAN FLAME BUSH	2
CLYTOSTOMA CALLISTEGIOIDES	LAVENDER TRUMPET VINE	3
ROSA B. 'LUTUEA'	LADY BANKS ROSE	2

INERT GROUNDCOVER SUCH AS:

BOTANICAL NAME	COMMON NAME
MULCH	NITROLIZED SHREDDED MULCH
PEA GRAVEL	BROWN/BLACK 1/4" MIXTURE
BLACK BEACH PEBBLE	1" WIDE SMOOTH FLAT STONES
COBBLE MULCH	4" - 8"
GRAVEL MULCH	3/4" MIXTURE

CONCEPTUAL PLAN LEGEND

1. EXISTING PLANTER WITH KIOSK SIGN
2. NEW STAIRS W/ HANDRAILS
3. EXISTING LIGHT ON CONCRETE PAD / DIRECTIONAL SIGN
4. BENCHES ON CONCRETE PADS
5. EXISTING WALKWAY
6. NEW WALK CONNECTION TO EXISTING WALKWAY
7. STAMPED CONCRETE "WOOD" BOARDWALK PATH
8. SYNTHETIC TURF AREA
9. EXISTING TREES TO REMAIN
10. PROPOSED PLAZA SEATING
11. POURED-IN-PLACE PLANTER WALLS
12. PARASOLEIL PANELS
13. UPDATED PATIO - COLOR STAIN / SANDBLAST FINISH
14. POURED-IN-PLACE PLANTER WALLS WITH MEMORIAL PLAQUES (16)
15. EXISTING MAILBOX TO REMAIN
16. BANDING & SAWCUT JOINTS
17. SIGN / LIVING WALL
18. EXISTING TRANSFORMERS TO REMAIN
19. EXISTING LAWN
20. NORTH BLDG. ADDITION
21. EXISTING COVERED WALK
22. FLOWERING ACCENT TREE
23. LANDSCAPE DRAINS PER CIVIL PLANS
24. D.G. SWALE/PATH W/ ROCKS
25. PROPOSED STAIRS W/ HANDRAILS
26. ACCESSIBLE RAMP W/ HANDRAILS
27. PROPOSED STORM DRAIN SYSTEM PER CIVIL PLANS
28. UNDERGROUND WATER QUALITY/ WETLANDS-MOD PER CIVIL PLANS
29. ENHANCED PAVING BENEATH SHADE STRUCTURE
30. EXISTING IRRIGATION METER & BACKFLOW PREVENTER
31. EXISTING RETAINING WALL
32. EXISTING ROSE GARDEN

IRRIGATION NOTE:

ALL LANDSCAPE AREAS WILL BE CONTROLLED BY AN AUTOMATIC IRRIGATION CONTROLLER WITH AUTOMATIC RAIN SHUT OFF DEVICE AND ET SENSOR.

PLANTING NOTE:

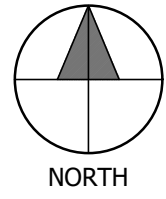
ALL PROPOSED PLANT MATERIAL WILL BE DROUGHT TOLERANT AND OR MEDIUM TO LOW WATER USE.

FINAL LANDSCAPE APPROVAL:

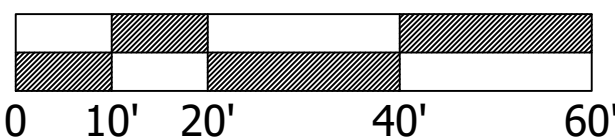
UPON COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION, THE DEVELOPER, CONTRACTOR OR LANDSCAPE ARCHITECT SHALL SUBMIT A LETTER TO THE COMMUNITY DEVELOPMENT DEPARTMENT STATING THAT ALL LANDSCAPING, IRRIGATION, DRAINAGE AND HARDSCAPE (AS A PART OF THE APPROVED LANDSCAPE PLANS) WAS INSTALLED ACCORDING TO CITY STANDARDS AND PER THE SPECIFICATIONS AND DETAILS OF THE APPROVED LANDSCAPE PLANS.

THIS LETTER SHALL ALSO STATE ANY SIGNIFICANT CHANGES TO EITHER THE PLANTING OR IRRIGATION PLANS WHICH WERE MADE DURING LANDSCAPE INSTALLATION.

RECEIPT OF THIS LETTER AND FINAL INSPECTION BY THE DEPARTMENT SHALL BE REQUIRED PRIOR TO FINAL OCCUPANCY BEING GRANTED FOR THE PROJECT.



SCALE - 1" = 20'-0"



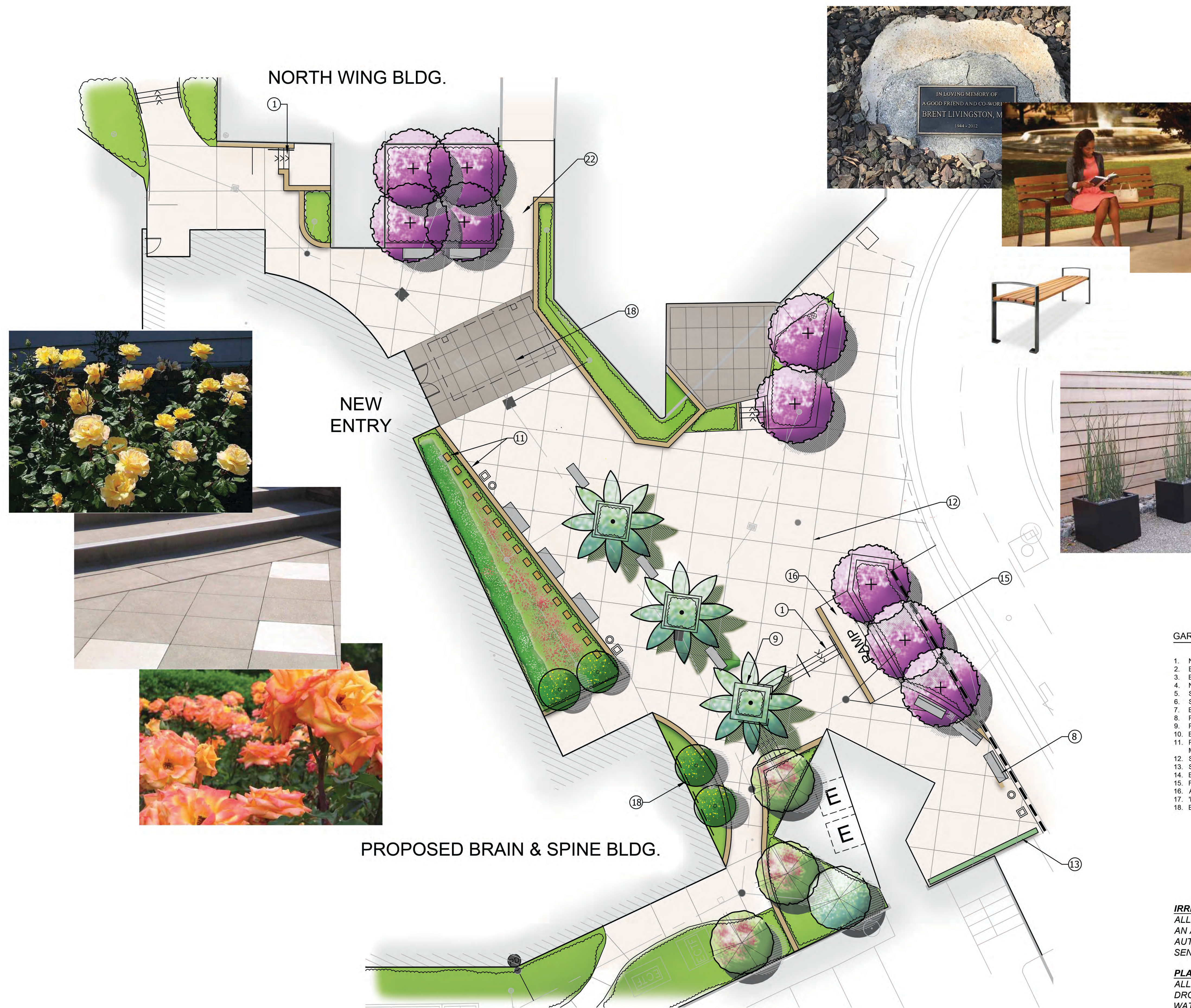
KEY PLAN

NEUROSCIENCES CENTER

TITLE OVERALL LANDSCAPE CONCEPT PLAN

PROJECT NO. 2021001.10

ISSUE	DATE
1ST SUBMITTAL	11/12/21
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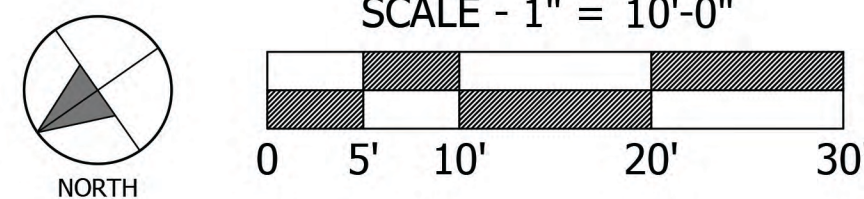


GARDENS FEATURES KEY

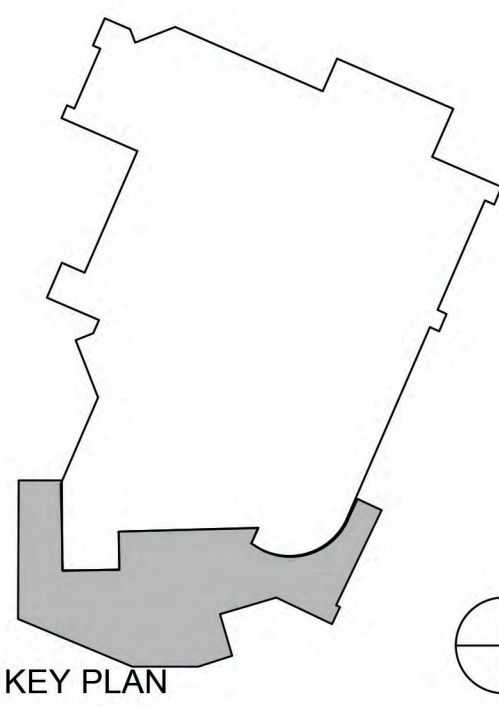
- 1. NEW STAIRS W/ HANDRAILS
- 2. BENCHES ON CONCRETE PADS
- 3. EXISTING WALKWAY
- 4. NEW WALK CONNECTION TO EXISTING WALKWAY
- 5. STAINED CONCRETE 'WOOD' BOARDWALK PATH
- 6. SYNTHETIC TURF AREA
- 7. EXISTING TREES TO REMAIN
- 8. PROPOSED PLAZA SEATING
- 9. POURED-IN-PLACE PLANTER WALLS
- 10. ENHANCED PAVING BENEATH SHAD STRUCTURE
- 11. POURED-IN-PLACE PLANTER WALLS WITH MEMORIAL PLAQUES (16)
- 12. SAWCUT JOINTS
- 13. SIGN / LIVING WALL
- 14. EXISTING LAWN
- 15. FLOWERING ACCENT TREE
- 16. ACCESSIBLE RAMP W/ HANDRAILS
- 17. 'LIVING WALL' WITH GREEN-SCREEN STRUCTURE
- 18. ENHANCED PAVING BENEATH SHADE STRUCTURE

IRRIGATION NOTE:
ALL LANDSCAPE AREAS WILL BE CONTROLLED BY AN AUTOMATIC IRRIGATION CONTROLLER WITH AUTOMATIC RAIN SHUT OFF DEVICE AND ET SENSOR.

PLANTING NOTE:
ALL PROPOSED PLANT MATERIAL WILL BE DROUGHT TOLERANT AND OR MEDIUM TO LOW WATER USE.



11/12/21



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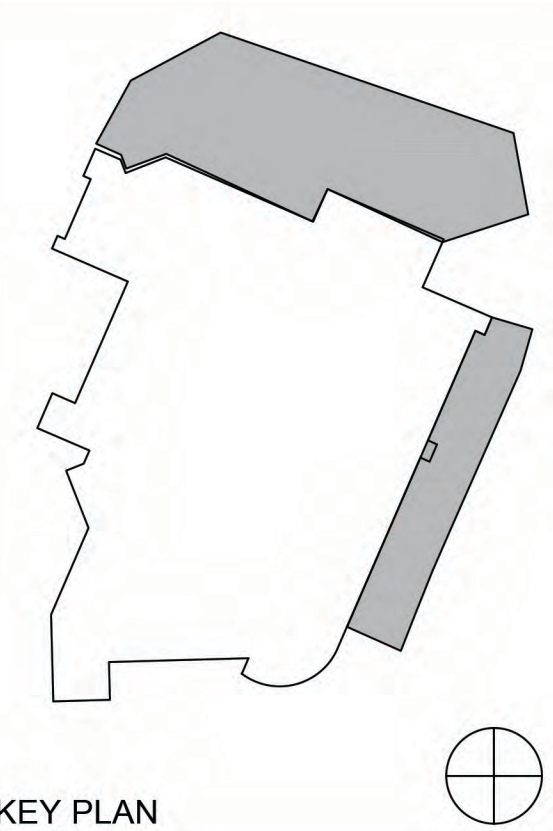
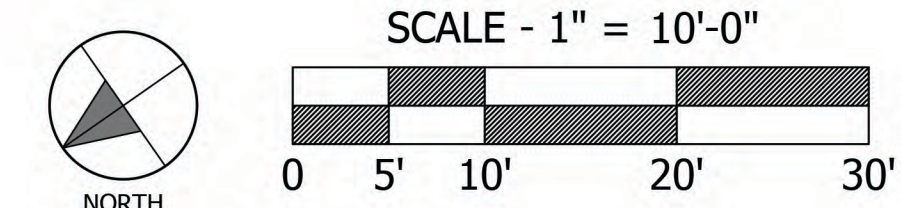
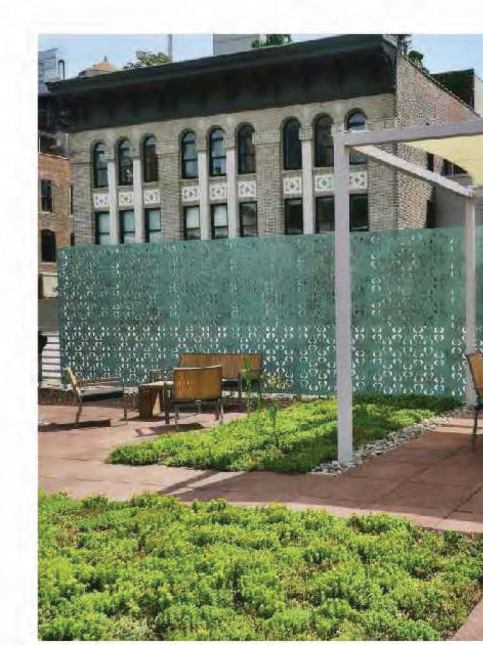
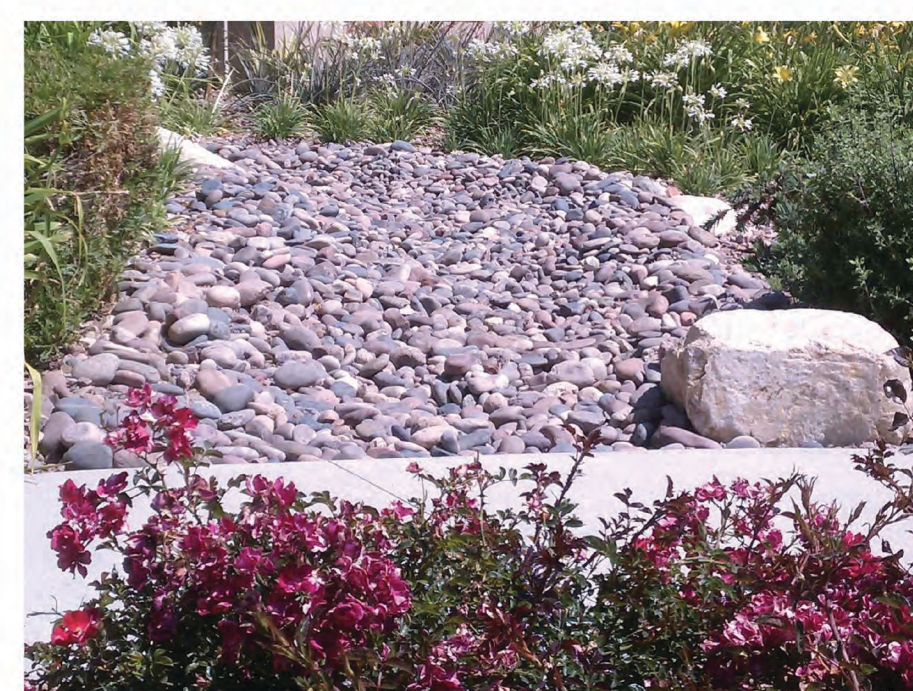
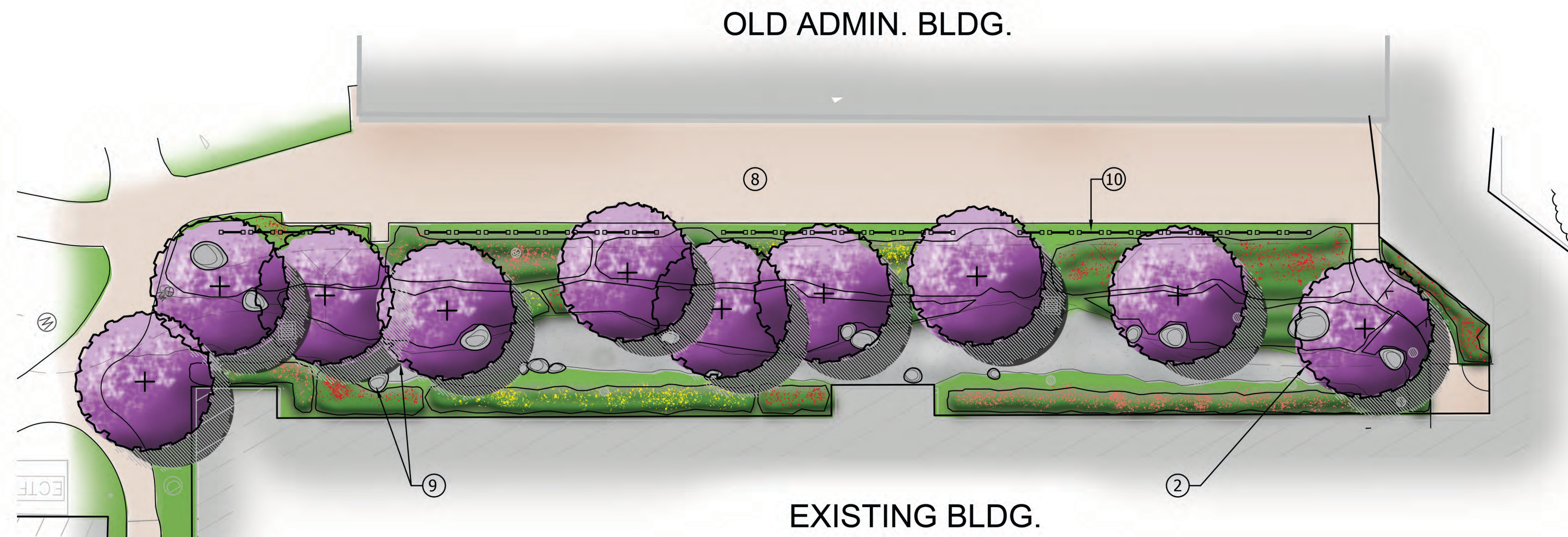


- GARDENS FEATURES KEY**
1. NEW STAIRS W/ HANDRAILS
 2. FLOWERING ACCENT TREE
 3. EXISTING WALKWAY
 4. NEW WALK CONNECTION TO EXISTING WALKWAY
 5. STAINED CONCRETE "WOOD" BOARDWALK PATH
 6. SYNTHETIC TURF AREA
 7. EXISTING TREES TO REMAIN
 8. EXISTING COVERED WALK
 9. ROCKS W/ D.G. SWALE
 10. PARASOLEIL PANELS
 11. UPDATED PATIO - COLOR STAIN / SANDBLAST FINISH
 12. SAWCUT JOINTS
 13. EXISTING LAWN

EXISTING BLDG.

IRRIGATION NOTE:
ALL LANDSCAPE AREAS WILL BE CONTROLLED BY AN AUTOMATIC IRRIGATION CONTROLLER WITH AUTOMATIC RAIN SHUT OFF DEVICE AND ET SENSOR.

PLANTING NOTE:
ALL PROPOSED PLANT MATERIAL WILL BE DROUGHT TOLERANT AND OR MEDIUM TO LOW WATER USE.



ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	02/11/22

IRRIGATION NOTE:
ALL LANDSCAPE AREAS WILL BE CONTROLLED BY AN AUTOMATIC IRRIGATION CONTROLLER WITH AUTOMATIC RAIN SHUT OFF DEVICE AND ET SENSOR.

WATER CONSERVATION NOTE:
ALL COMMON LANDSCAPE AREAS HAVE BEEN DESIGNED TO MAXIMIZE WATER USE EFFICIENCY THROUGH THE LIMITATION OF TURF TO ACTIVE USE AREAS, THE USE OF DROUGHT TOLERANT AND NATIVE PLANTS AND THE USE OF AN AUTOMATIC IRRIGATION SYSTEM WHICH UTILIZES AN AUTOMATIC RAIN SHUTOFF DEVICE AND ET SENSOR.

FINAL LANDSCAPE APPROVAL:

UPON COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION, THE DEVELOPER, CONTRACTOR OR LANDSCAPE ARCHITECT SHALL SUBMIT A LETTER TO THE COMMUNITY DEVELOPMENT DEPARTMENT STATING THAT ALL LANDSCAPING, IRRIGATION, DRAINAGE AND HARDSCAPE (AS A PART OF THE APPROVED LANDSCAPE PLANS) WAS INSTALLED ACCORDING TO CITY STANDARDS AND PER THE SPECIFICATIONS AND DETAILS OF THE APPROVED LANDSCAPE PLANS.

THIS LETTER SHALL ALSO STATE ANY SIGNIFICANT CHANGES TO EITHER THE PLANTING OR IRRIGATION PLANS WHICH WERE MADE DURING LANDSCAPE INSTALLATION.

RECEIPT OF THIS LETTER AND FINAL INSPECTION BY THE DEPARTMENT SHALL BE REQUIRED PRIOR TO FINAL OCCUPANCY BEING GRANTED FOR THE PROJECT.

WATER EFFICIENT LANDSCAPE STATEMENT:

I am familiar with the requirement for landscape and irrigation plans contained in the City of La Mesa Water Efficient Landscape Regulations (LMMC chapter 14.29). I have prepared this plan in compliance with those regulations. I certify that the plan implements those regulations to provide efficient use of water.

Signature of Landscape Architect License Number Date

BACKFLOW PREVENTER EQUIPMENT LOCATION NOTE:

BACKFLOW PREVENTER LOCATION SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LANDSCAPE CONTRACTOR SHALL STAKE OUT THE BACKFLOW PREVENTER, AND ALL IRRIGATION APPURTENANCE LOCATION FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION OF THIS EQUIPMENT. FINAL LOCATION AND EXACT POSITIONING OF BACKFLOW PREVENTER AND ALL IRRIGATION APPURTENANCE SHALL BE DETERMINED BY THE OWNER. MINOR MODIFICATIONS OF THE BACKFLOW PREVENTER, AND ALL IRRIGATION APPURTENANCE AS REQUESTED BY THE OWNER SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. FAILURE TO OBTAIN OWNER'S APPROVAL PRIOR TO THE INSTALLATION SHALL CAUSE THE CONTRACTOR TO MAKE OWNER DIRECTED REVISION AT NO CHARGE.

VALVE LOCATION NOTE:

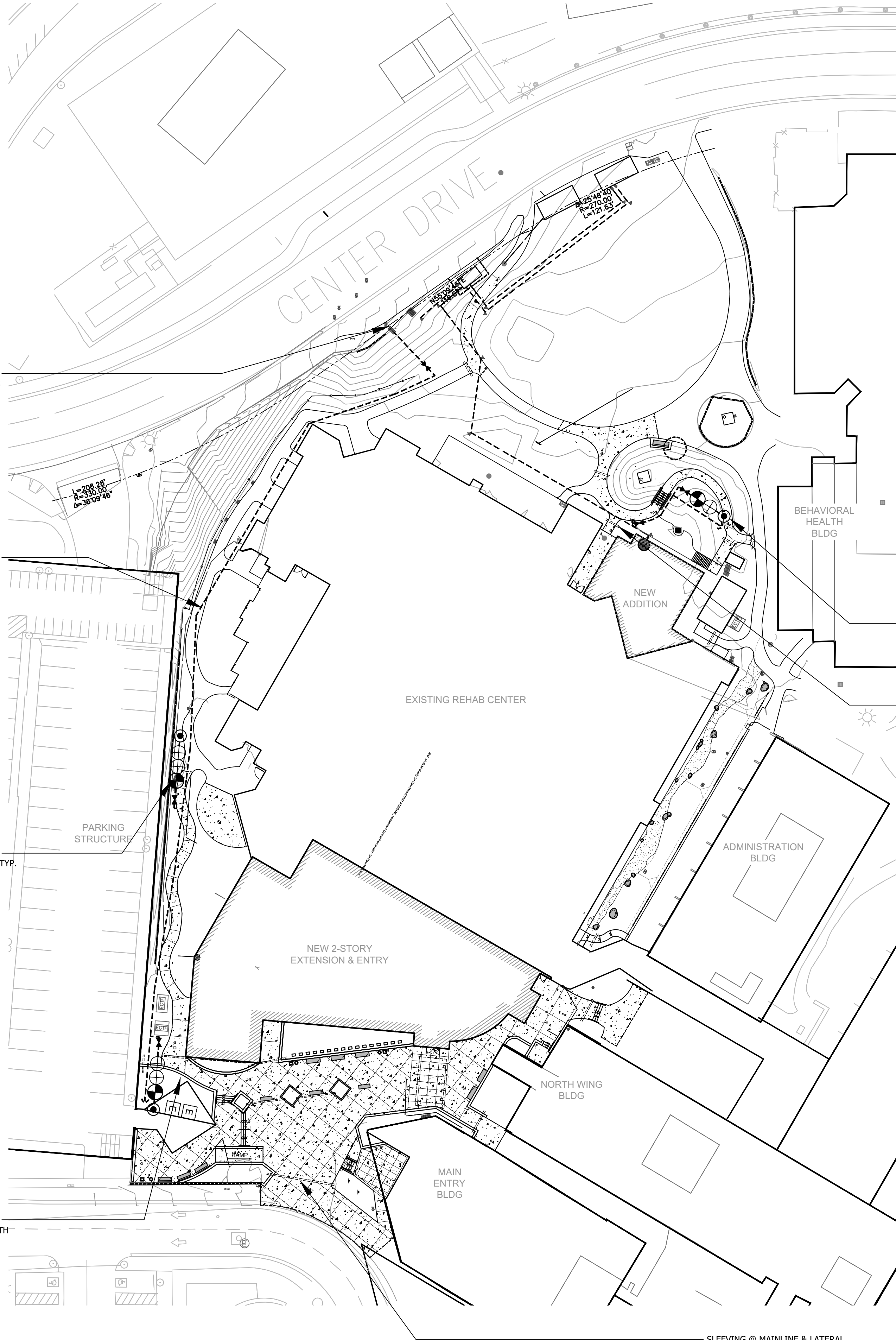
ELECTRIC CONTROL VALVES AND ISOLATION VALVE LOCATIONS ON THIS DRAWING ARE APPROXIMATE. THE LANDSCAPE CONTRACTOR SHALL STAKE OUT EACH ELECTRICAL CONTROL VALVE AND ISOLATION VALVE LOCATION FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION OF ALL VALVES. FINAL LOCATION AND EXACT POSITIONING FOR ELECTRIC CONTROL VALVES AND ISOLATION VALVES SHALL BE DETERMINED BY THE OWNER. MINOR MODIFICATIONS OF ELECTRIC CONTROL VALVES AND ISOLATION VALVE LOCATIONS AS REQUESTED BY THE OWNER SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. FAILURE TO OBTAIN OWNER'S APPROVAL PRIOR TO THE INSTALLATION SHALL CAUSE THE CONTRACTOR TO MAKE OWNER DIRECTED REVISIONS AT NO ADDITIONAL COST TO THE OWNER. IN GENERAL, UNLESS OTHERWISE DIRECTED BY OWNER, ALL VALVES SHALL BE INSTALLED THREE FEET FROM EDGE OF HARDSCAPE, WALK OR CURB IN SHRUB PLANTING AREAS.

EXISTING 1-1/2" POTABLE WATER METER & RP DEVICE PER CIVIL IMPROVEMENT PLANS (MAX FLOW 75 GPM)

IRRIGATION MAINLINE - TYP. SYM. REFER TO IRRIGATION PLANS FOR SIZING INFORMATION

IRRIGATION CONTROL VALVES & QCV'S - APPROXIMATE LOCATIONS - SEE LEGEND - TYP.

IRRIGATION CONTROLLER & ET SENSOR - CONTRACTOR TO COORDINATE POWER WITH PEDESTAL PER SEPARATE UTILITY PLANS



IRRIGATION LEGEND					
DISTRIBUTION EQUIPMENT					
SYM.	MANUF.	MODEL#	PSI	GPM	PREC. RATE DESCRIPTION
▼	HUNTER	RZWS-18-50	30	0.5	ROOT ZONE WATERING SYSTEM (2 PER SYMBOL)
▨	HUNTER	PLD-CV-06-18	30	0.6 GPH	DRIPLINE W/18" SPACING (SHRUB)
Ⓛ	HUNTER	ECO-ID	SEE DETAIL		DRIP SYSTEM INDICATOR
Ⓢ	HUNTER	PLD-BV	SEE DETAIL		MANUAL FLUSH VALVE
Ⓜ	HUNTER	PLD-ARV	SEE DETAIL		AIR/VACUUM RELIEF VALVE

ADDITIONAL EQUIPMENT		
SYM.	MANUF.	MODEL#
Ⓜ	HUNTER	ICV-100 REMOTE CONTROL VALVE, SEE PLAN FOR SIZE
Ⓜ	HUNTER	ICV-100 DRIP REMOTE ZONE KIT CONTROL VALVE, SEE PLAN FOR SIZE
Ⓜ	HUNTER	HQ44A QUICK COUPLER VALVE
Ⓜ	WILKINS	850 SERIES BALL VALVE, LINE SIZE
Ⓜ	HUNTER	SOLAR-SYNC-SEN-ET SENSOR & AUTOMATIC RAIN SHUT OFF
Ⓜ	HUNTER	ICC2 MODULAR CONTROLLER WITH MODULES AS REQUIRED
Ⓜ	AS APPROVED	ELECTRICAL PEDESTAL FOR CONTROLLER, BY OTHERS
Ⓜ	WATTS	009QT SERIES, 1.5" R/P BACKFLOW PREVENTION ASSEMBLY W/ MODEL 777 WYE STRAINER
Ⓜ	HUNTER	HC-150-FLOW, FLOW METER
Ⓜ	SUPERIOR	3200150 NORMALLY CLOSED MASTER CONTROL VALVE
Ⓜ	AS APPROVED	1.5" WATER METER PER DEVELOPER

PIPE / NOTES		
SYM.	MANUF.	MODEL#
---	PWP	SCH 40 PVC LATERAL LINE - SIZE AS NOTED W/12" COVER
---	PWP	2" CL 315 PVC MAINLINE - SIZE AS NOTED W/18" COVER
---	PWP	SCH 40 PVC SLEEVE - TWICE LINE SIZE CARRIED WITHIN

IRRIGATION CONTROL VALVES & QCV'S - APPROXIMATE LOCATIONS - SEE LEGEND - TYP.

SLEEVING @ MAINLINE & LATERAL CROSSING - REFER TO IRRIGATION PLANS FOR SIZING

WATER EFFICIENT LANDSCAPE WORKSHEET							
OVERALL SITE WATER CALCULATIONS				POC A			
Project Reference Evapotranspiration (Eto)				52.6			
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1	0.3	Drip-Shrub	0.81	0.37	10,327.00	3,824.81	124,734.86
2	0.3	Bubbler-Tree	0.81	0.37	624.00	231.11	7,537.00
4	0.3	Shrub Rotary	0.75	0.4	4,059.00	1,623.60	52,948.84
Totals					15,010.00	5,679.53	185,220.70
Special Landscape Areas							
ETWU Total						185,220.70	
MAWA						220,277.75	

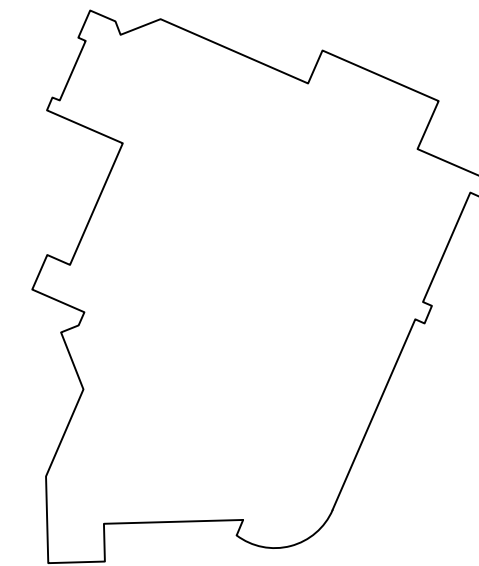
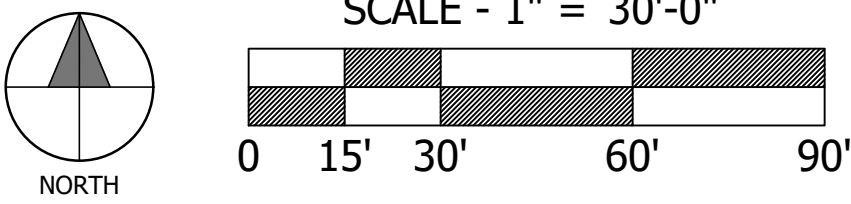
- Notes:
1. Irrigation Efficiency - 0.75 Spray Head, 0.81 Drip
 2. ETWU = Annual Gallons Required = (Eto*0.62*ETAF*Area)
 3. MAWA = Annual Gallons Allowed = (Eto) (0.62) [(ETAF*LA)+((1-ETAF)*SLA)]

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	5,679.53
Total Area	15,010.00
Average ETAF	0.38

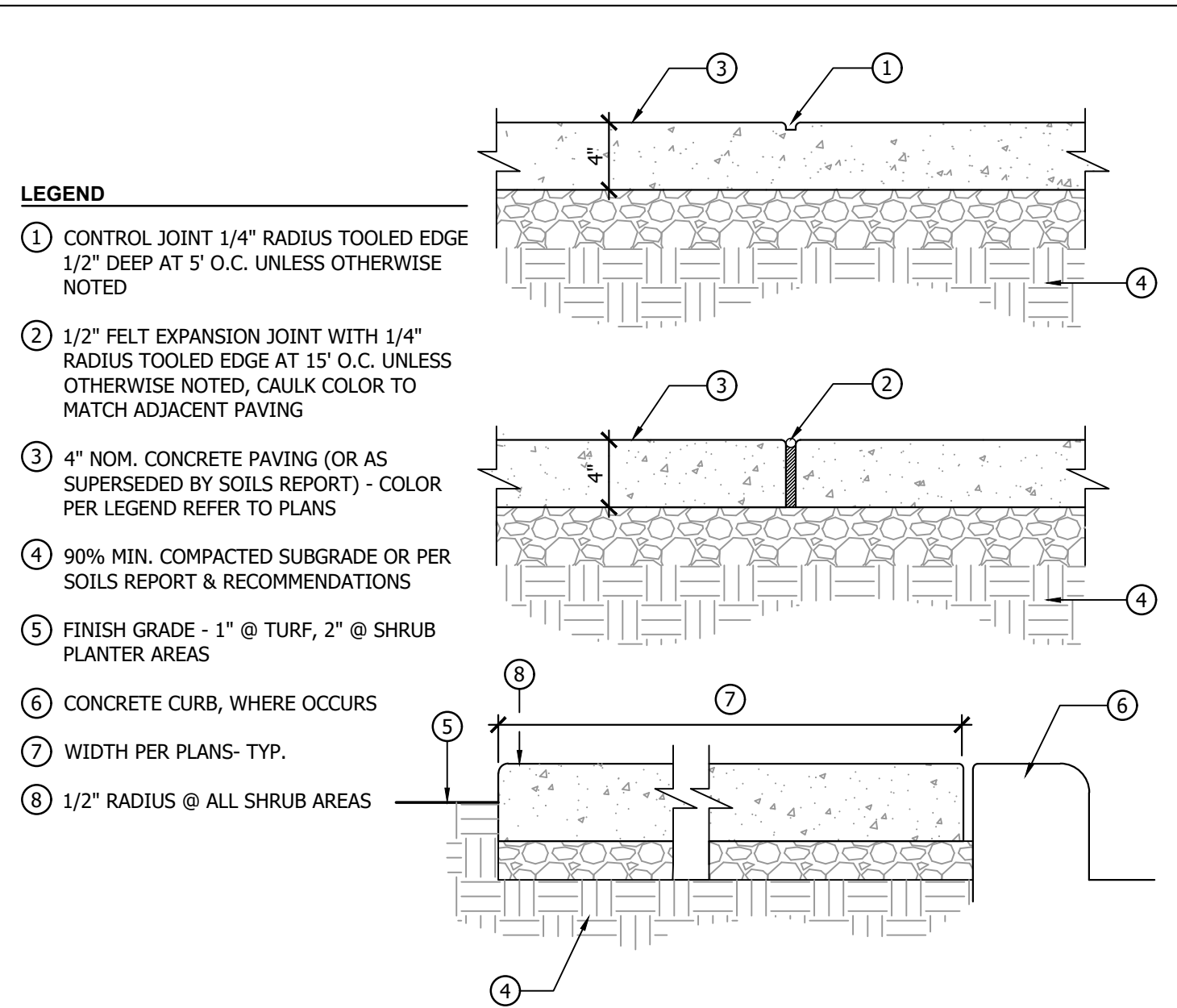
All Landscape Areas	
Total ETAF x Area	5,679.53
Total Area	15,010.00
Average ETAF	0.38

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

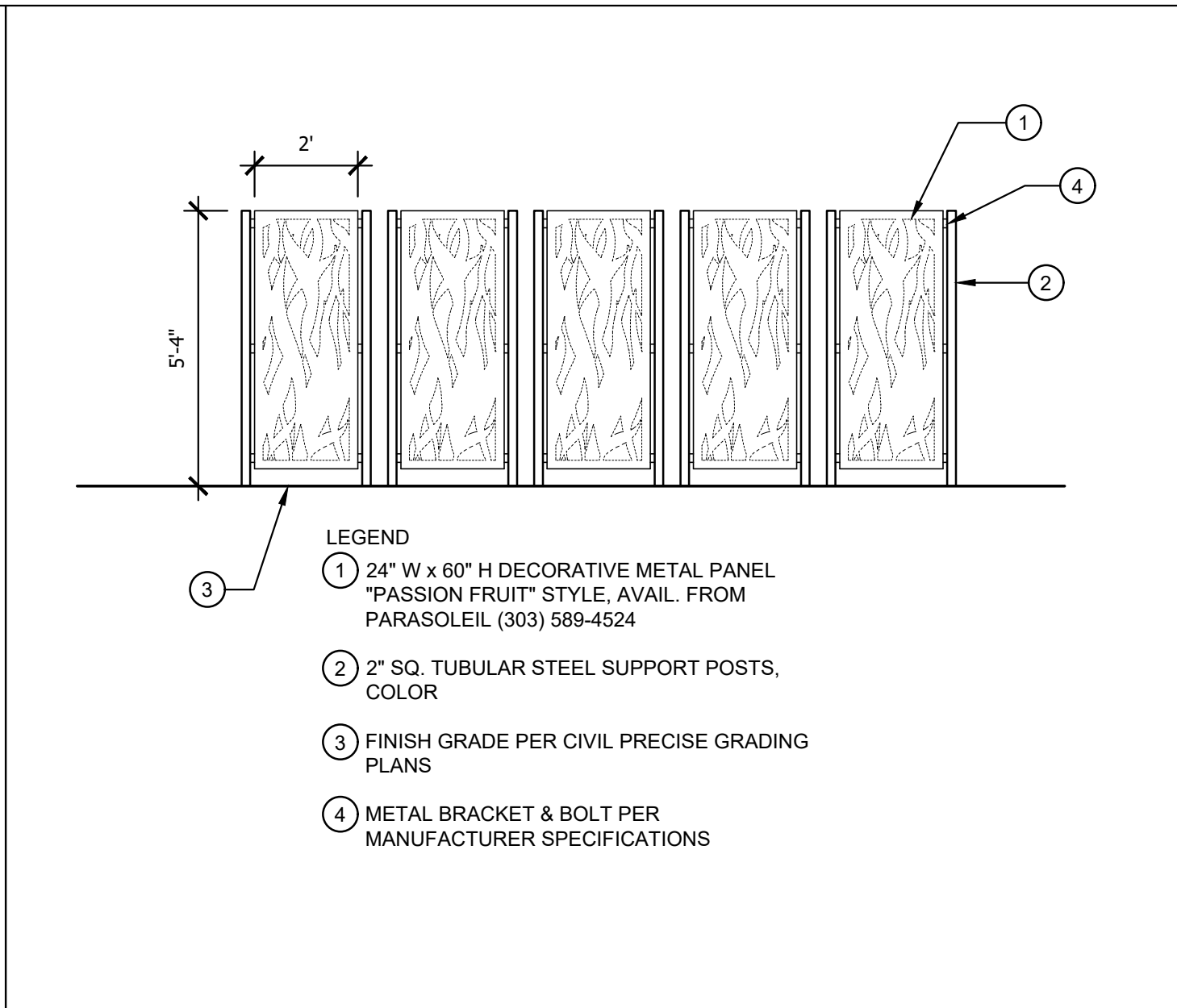


KEY PLAN

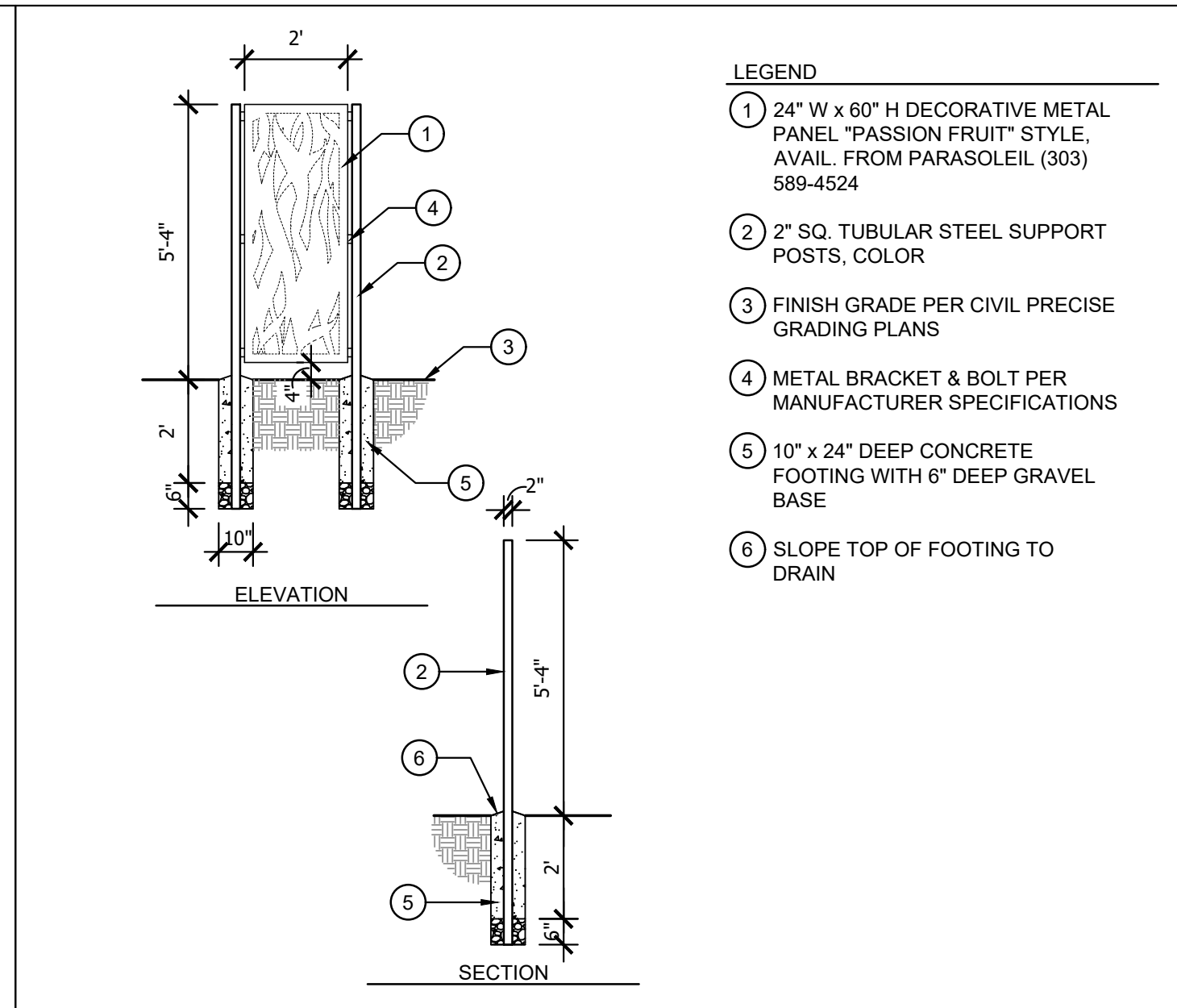
ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	02/11/22



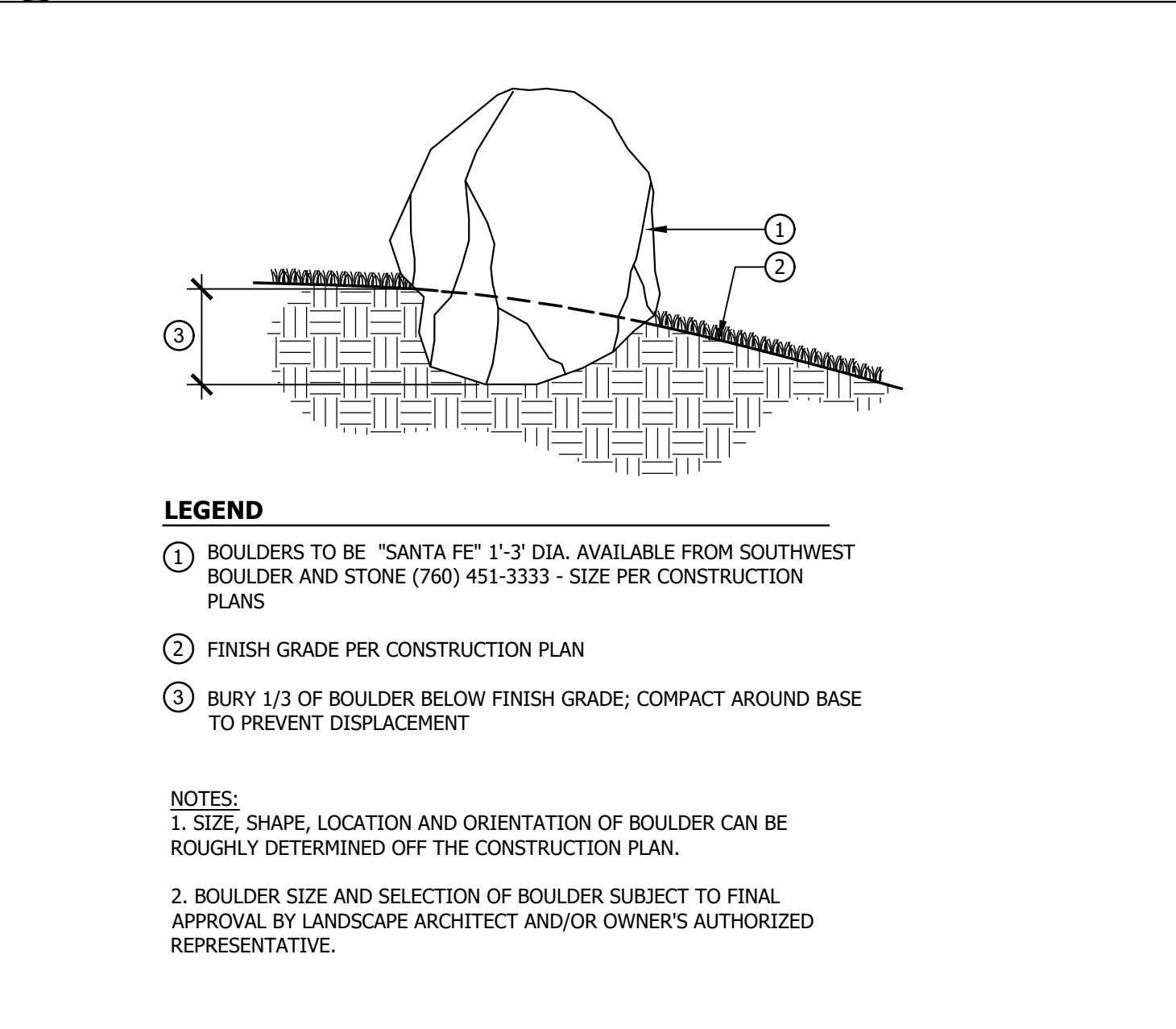
CONCRETE PAVING 1-1/2" = 1' - 0"



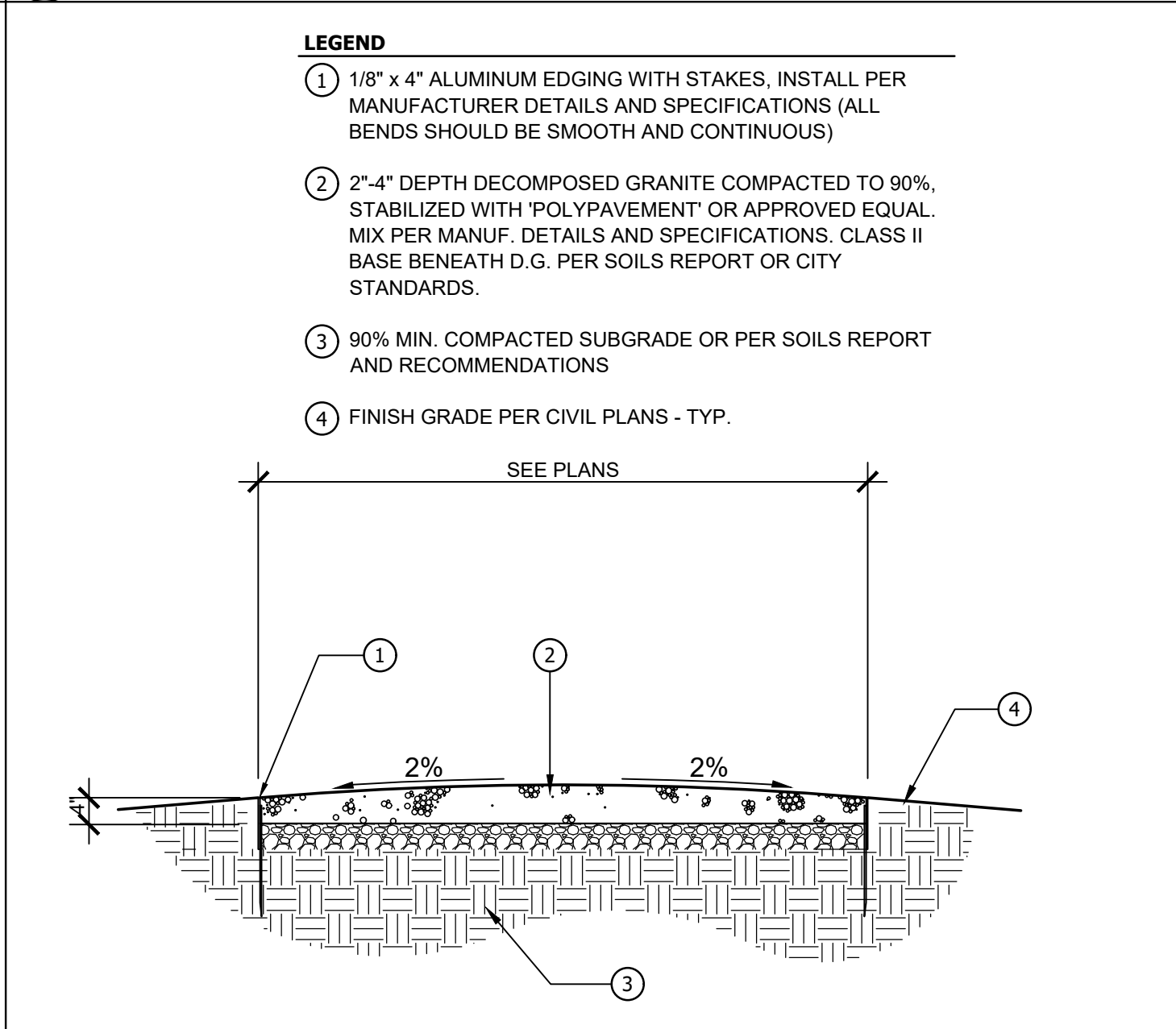
DECORATIVE METAL PANELS N.T.S.



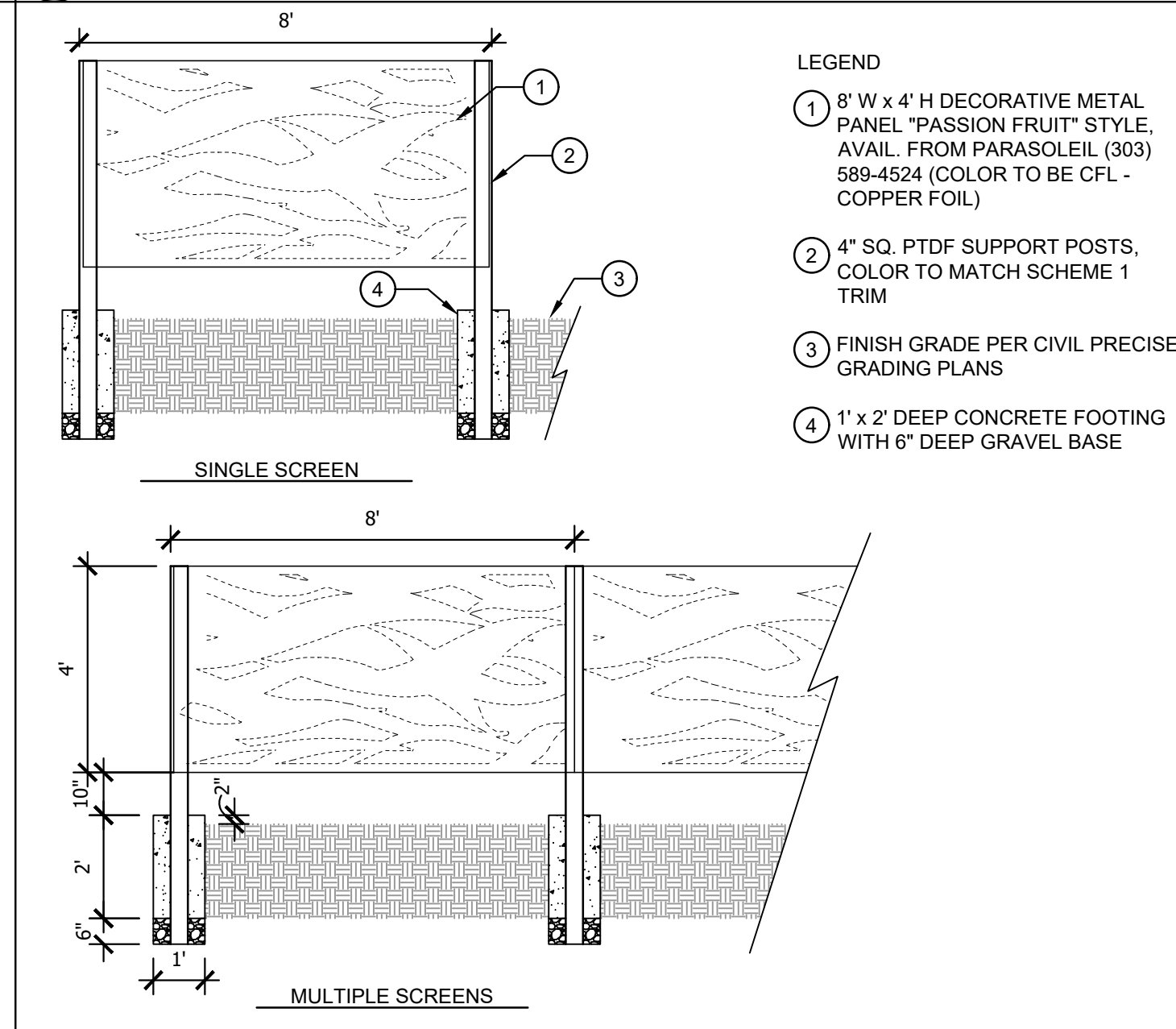
DECORATIVE METAL PANEL SECTION N.T.S.



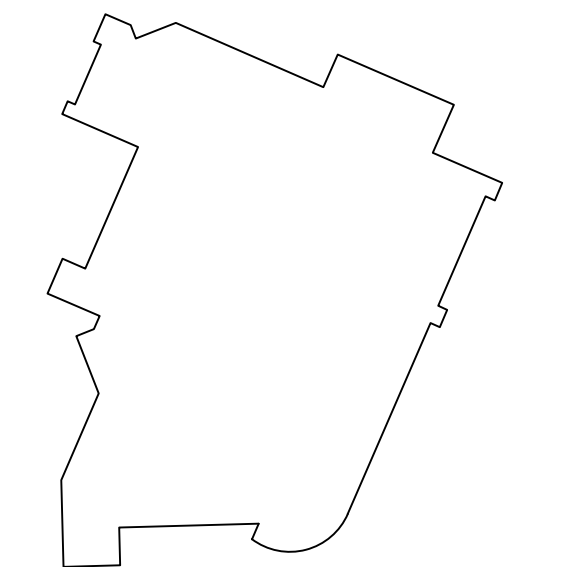
LANDSCAPE BOULDER N.T.S.



STABILIZED DECOMPOSED GRANITE PATH N.T.S.



DECORATIVE METAL PANELS N.T.S.



KEY PLAN

ISSUE	DATE
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EXISTING TREE LEGEND

- 1. LIQUIDAMBAR STYRACIFLUA
- 2. EUCALYPTUS SIDEROXYLON
- 3. EUCALYPTUS CITRIODORA
- 4. MAGNOLIA G. 'VICTORIA'
- 5. BAUHINIA VARIEGATA
- 6. TIPUANA TIPU
- 7. PINUS CANARIENSIS
- 8. FICUS MICROCARPUS
- 9. JACARANDA MIMOSIFOLIA
- 10. SCHINUS TEREBINTHIFOLIUS
- 11. PODOCARPUS GRACILIOR
- 12. ARCHONTOPHOENIX CUNNINGHAMIANA
- 13. PYRUS KAWAKAMII
- 14. PITTOSPORUM UNDULATUM

①	TO BE REMOVED
①	TO REMAIN - PROTECT IN PLACE

TREE REMOVAL LEGEND:

UNDER 3" CALIPER -	6
3"-6" CALIPER -	16
OVER 6" CALIPER -	28

LANDSCAPE DEMO LEGEND

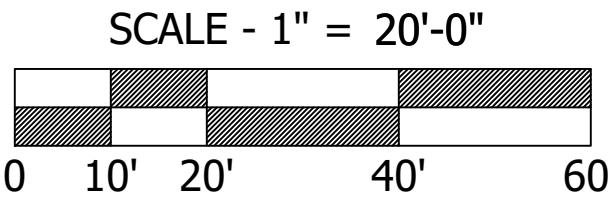
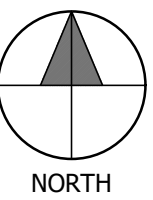
- ① NEW LAWN AT EDGE AT UNDERGROUND WATER QUALITY WETLANDS MODEUCALYPTUS SIDEROXYLON
- ② R & R CONCRETE W/ FINISH TO MATCH EXISTING (EXPOSED AGGREGATE)

TREE REPLACEMENT NOTES:

- 1. TREES REMOVED SHALL BE REPLACED BY NEW TREES PLANTED ON SITE. ALL MATURE TREES ON UNGRADED SLOPES SHALL REMAIN.
- 2. ALL PLANT MATERIALS CHOSEN ARE DROUGHT TOLERANT.
- 3. TREES REQUIRED : 1 PER 500 SF OF LANDSCAPED AREA
 - 3.1. TOTAL LANDSCAPE AREA: 15,010 SF
 - 3.2. TOTAL TREES REQUIRED: 31
 - 3.3. TOTAL TREES PROVIDED: 39
- 4. TREE REPLACEMENT FOR EXISTING SPECIMEN TREES PER PREVIOUS TREE SURVEY COMPLETED: 39 - 8 = 31

IRRIGATION NOTE:
ALL LANDSCAPE AREAS WILL BE CONTROLLED BY AN AUTOMATIC IRRIGATION CONTROLLER WITH AUTOMATIC RAIN SHUT OFF DEVICE AND ET SENSOR.

PLANTING NOTE:
ALL PROPOSED PLANT MATERIAL WILL BE DROUGHT TOLERANT AND OR MEDIUM TO LOW WATER USE.

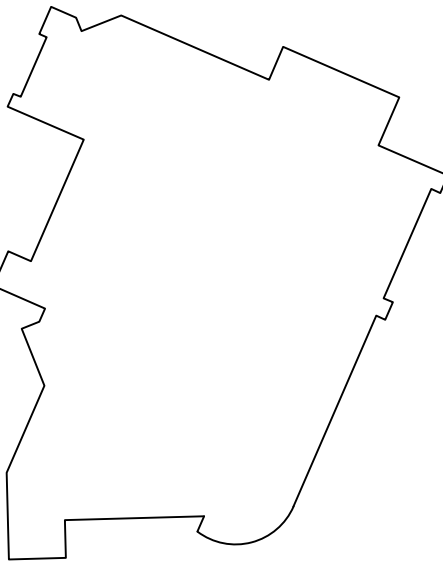


MASCARI WARNER DINH
architects

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San Diego, California 92101
619.814.0080 Fax 619.814.0081



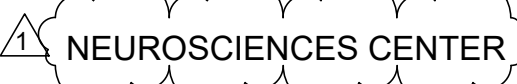
WEILAND DESIGN GROUP
LANDSCAPE ARCHITECTURE + PLANNING + CONSTRUCTION MANAGEMENT
28924 OLD TOWN FRONT STREET, SUITE 202
TEMECULA, CA 92590
P (844) WEILAND, XT 701 F (619) 675-3426
EMAIL - KLONIGRO@W-D-G.COM
CORPORATE OFFICE
291 SIERRA WAVE SWALL MEADOWS, CA 93514



KEY PLAN



5555 GROSSMONT CENTER DR.
LA MESA, CA 91942



TITLE EXISTING TREE & LANDSCAPE DEMO PLAN
PROJECT NO. 2021001.10

ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	02/11/22



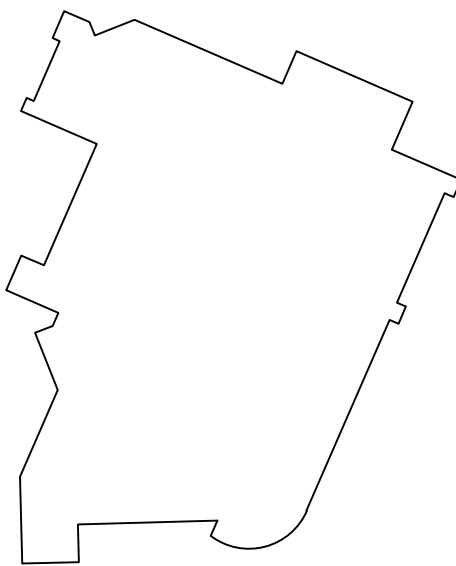
CANOPY TREE



VERTICAL PALM



VERTICAL TREES



KEY PLAN

ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	02/11/22



ACCENT TREE



HEDGE SHRUBS



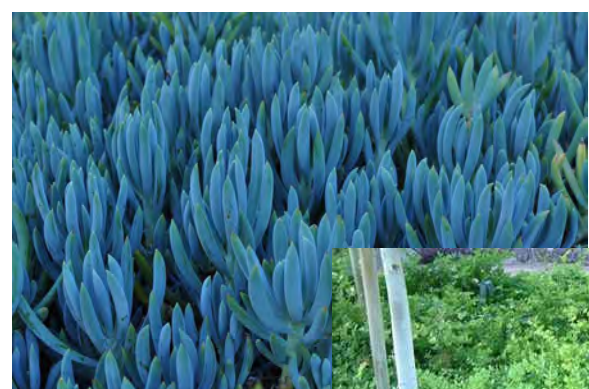
VINES



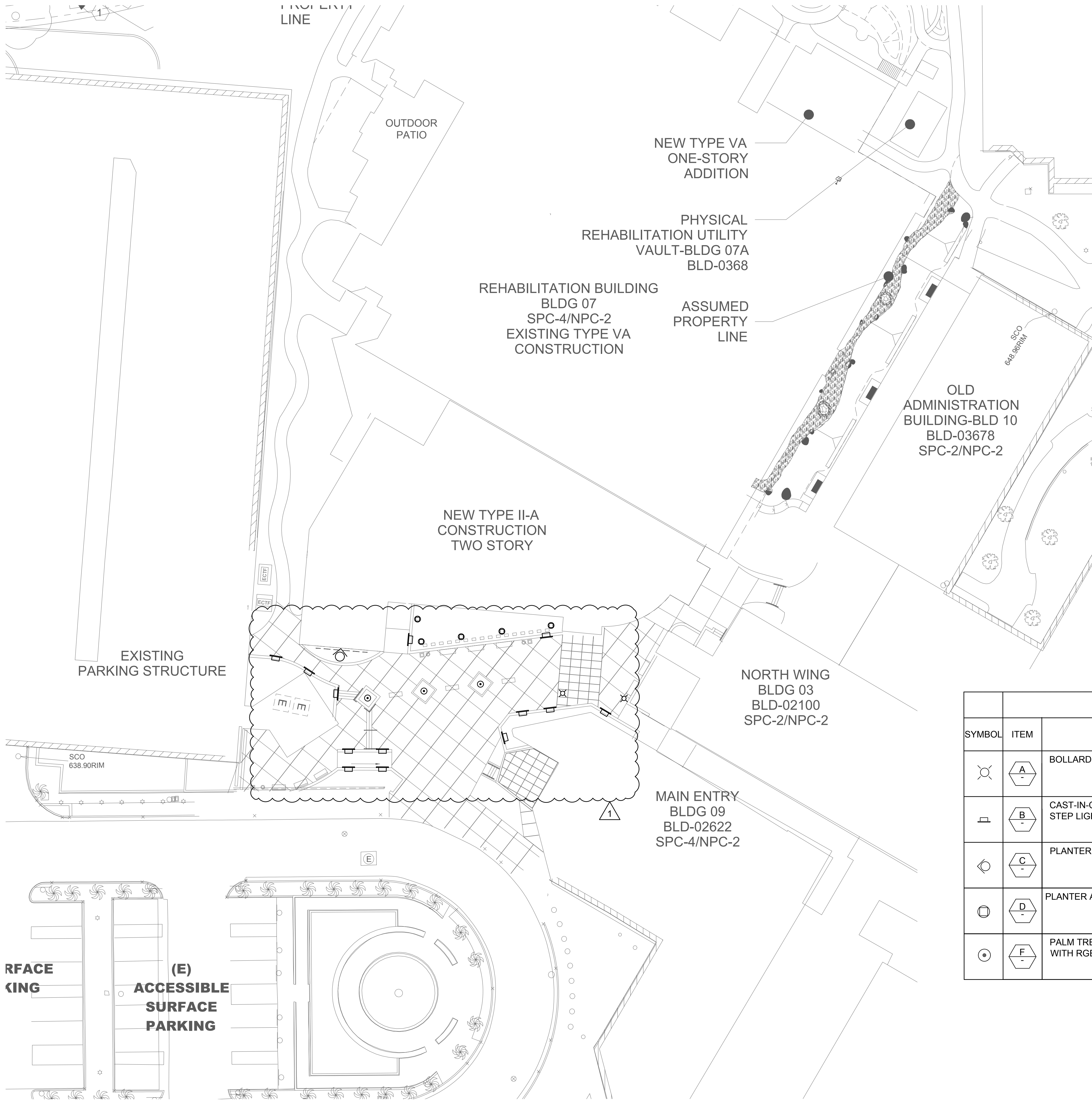
LOW - MEDIUM SHRUBS



ACCENT SHRUBS



GROUNDCOVERS



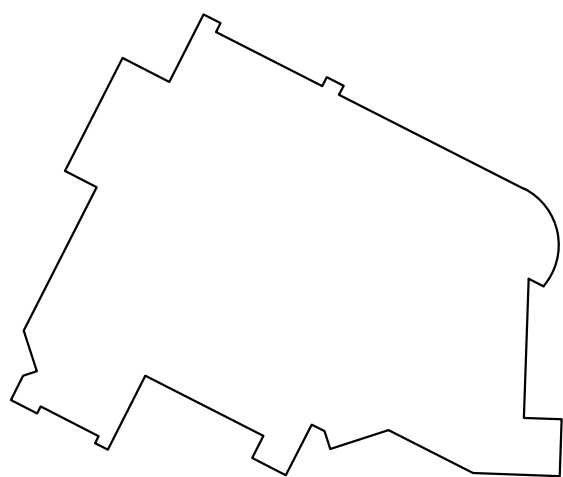
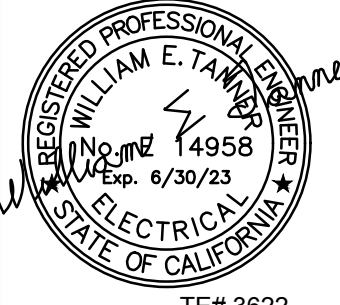
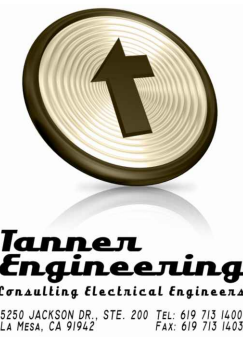
GENERAL NOTES

1. SITE LIGHTING SHALL PROVIDE AVERAGE 1FC ALONG PATH OF EGRESS.



MASCARI WARNER DINH Architects

1717 Kettner Blvd., Suite 100
San Diego, California 92101
619.814.0080 Fax 619.814.0081



KEY PLAN



5555 GROSSMONT CENTER DR.
LA MESA, CA 91942

NEUROSCIENCES CENTER

TITLE SITE LIGHTING PLAN

PROJECT NO. 2021001.10

ISSUE	DATE
1ST SUBMITTAL	11/12/21
BACKCHECK 1	02/11/22

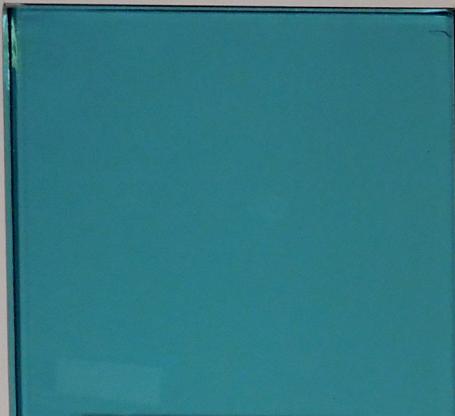
1 SITE LIGHTING PLAN

SCALE: 1" = 20'-0"



E1

GLASS



GOLDEN STATE GLAZING INC.
SHARP GROSSMONT
GLASS SAMPLES

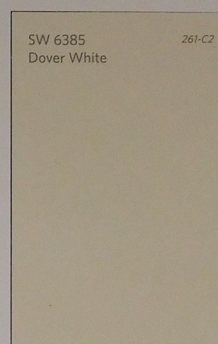
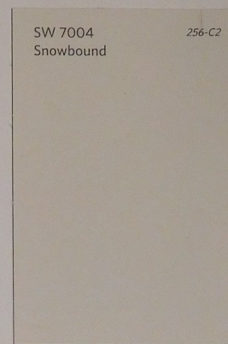
AZURIA® Glass - Glass Below is Insulating Glass Unit M-4 04/21

Sample	VLT %	Exterior Reflectance	Interior Reflectance	U-Value Imperial (W/m²K)				SHGC	LSG
				Air	Argon	SHGC	LSG		
azuria®	68%	7%	7%	1.02	NA	0.52	1.21		
SOLARBAN® 60 (3)	54%	9%	10%	0.29	0.24	0.31	1.74		
SOLARBAN® 70 (3)	49%	9%	11%	0.28	0.24	0.29	1.92		
SOLARBAN® 80 (3)	39%	13%	12%	0.29	0.24	0.27	1.44		
SOLARBAN® 800 (3)	59%	10%	12%	0.32	0.28	0.34	1.71		

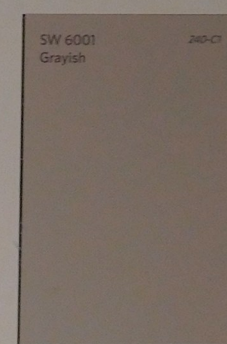
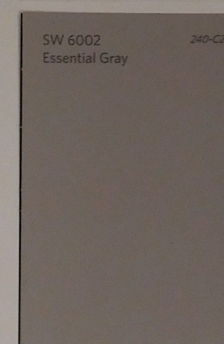
Exterior: Sample Glass is Annealed

Vitro (Formerly PPG glass) 1-855-887-6457 (1-855-VITRO-GLASS)

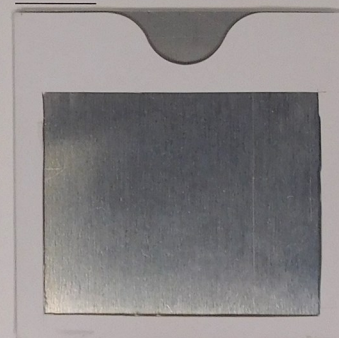
FIELD PAINT COLOR



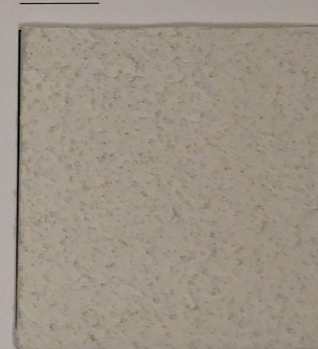
ACCENT PAINT COLOR



METAL PANEL



STUCCO



PROJECT NO. 2021-43

MASCARI WARNER DINH
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1717 Kettner Blvd., Suite 100
San Diego, California 92101
619.814.0800 Fax 619.814.0801

Layton
CONSTRUCTING WITH INTEGRITY

SHARP Grossmont
Hospital

SHARP GROSSMONT HOSPITAL NEUROSCIENCES CENTER
5555 GROSSMONT CENTER DRIVE
LA MESA, CALIFORNIA
MARCH 21, 2022



REPORT to the MAYOR and MEMBERS of the CITY COUNCIL
From the CITY MANAGER

DATE: October 11, 2022

SUBJECT: RATIFICATION OF THE DESIGN REVIEW BOARD'S
APPROVAL OF PROJECT 2021-40 (PALM STREET
VENTURES LLC) – A PROPOSED MIXED-USE
DEVELOPMENT AT 4757 PALM AVENUE, APN 494-
410-24-00 IN THE CD-D (DOWNTOWN COMMERCIAL
/ URBAN DESIGN OVERLAY) ZONE

ISSUING DEPARTMENT: Community Development

SUMMARY:

Issues:

1. Does the proposed design meet the intent of the Urban Design Program policies?
2. Is the proposed design consistent with the design policies and objectives of the Downtown Village Specific Plan?

Recommendation:

Ratify the Design Review Board's approval of Project 2021-40 (**Attachment A**).

Fiscal Impact:

There would be no impact to the General Fund related to this project. City of La Mesa policy is to recover 100% of the cost of staff time through application processing fees.

City's Strategic Goals:

- Revitalize neighborhoods and corridors
- Ensure safe and affordable homes for La Mesa's current and future residents

Environmental Review:

This project is categorically exempt under the California Environmental Quality Act Guidelines Sections 15332.

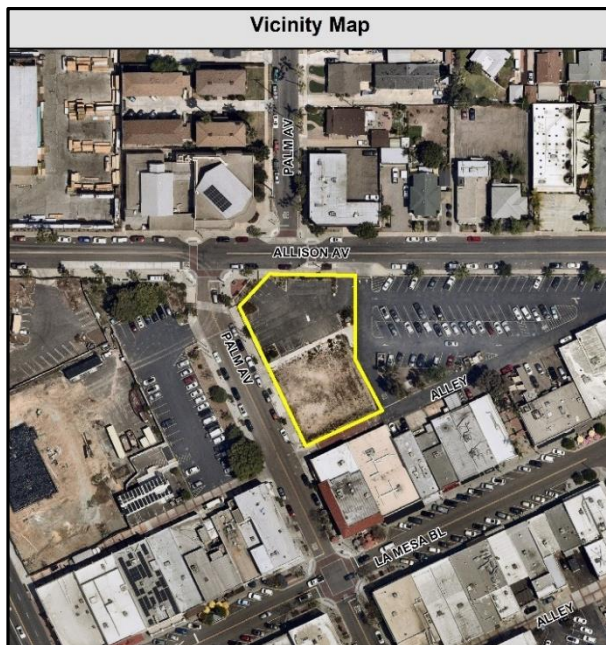
BACKGROUND:

The project site is a vacant, 0.49-acre lot located at the southeast corner of Palm Avenue and Allison Avenue. It has frontage on a public alley to the south. The south half of the site was previously developed with a two-story office building that was lost to fire in 2020. The north half of the site contains surface parking and landscaping. While mostly level, the northern portion sits approximately three feet higher in elevation than the southern portion.

Surrounding uses include a municipal parking lot to the east, a church and professional offices on the north side of Allison Avenue, a private parking lot on the west side of Palm Avenue, and village commercial uses to the south that have storefronts facing La Mesa Boulevard. The Assessor Parcel Map sheet is provided as **Attachment B**, and photos of the project site are provided as **Attachment C**. A vicinity map is provided below.

Situated in the central commercial area of the downtown village, the neighborhood is highly walkable and transit-oriented. The La Mesa Boulevard trolley station is located one block to the west. Right-of-way along both of the site's street frontages is improved with enhanced streetscape features that include sidewalks, street trees with tree grates, bollards, decorative acorn street lights, catenary string lights, brick crosswalks, and pedestrian ramps.

A landscaped pocket park with bench seating occupies the northwest corner of the site and there is a low retaining wall at back-of-sidewalk along Palm Avenue. Metered parallel parking is in place along both street frontages. There is a curb opening on Allison Avenue. The public alley is designated one-way, eastbound. Utilities are installed below ground.



Zoning is CD-D (Downtown Commercial / Urban Design Overlay) and the planned land use designation is Downtown Commercial. Entitlement review for new development in Zone CD-D consists of site development plan review and design review. The Design Review Board (DRB) evaluates projects for consistency with the City's Urban Design Program, which identifies the downtown area as a special design district. Projects in the downtown village are subject to additional design guidelines contained within the Downtown Village Specific Plan (DVSP).

DISCUSSION:

The Design Review Board reviewed the submitted project plans (**Attachment F**) in consideration of the City's Urban Design Program and Downtown Village Specific Plan.

Project applicant Palm Street Ventures LLC proposes to develop a five-story, mixed-use building on the vacant site. Included within the development are 64 one- and two-bedroom apartment units, 2,377 square feet of commercial lease area, 29 off-street parking spaces on the ground floor, and various landscape and hardscape improvements.



Eight (8) of the units within the development will be deed-restricted affordable to very-low-income households. As a qualifying affordable housing project under Government Code Section 65915 and the City's Affordable Homes Bonus Program, the development is eligible for incentives and waivers of development standards. The applicant is utilizing one incentive to allow for ground-floor residential on the west and north sides of the building. A waiver is being utilized to increase building height to 56 feet from the CD zone height limit of 46 feet and a DVSP site-specific design guideline that calls for a three-story height limit. A second waiver is being used to omit a 10-foot third story setback prescribed by the DVSP design guidelines. A third waiver is to modify the parking requirements to allow for parking space sizes and aisle widths consistent with a multi-level parking structure. The project also utilizes a parking ratio of 0.5 spaces per unit as allowed under Government Code Section 65915 for sites located less than one-half mile from a major transit stop.

The building footprint covers most of the site at ground level and has a C-shaped plan on the second through fifth floors that surrounds a second level courtyard. At street level, residential units and commercial storefronts have their entrances near the sidewalk, with the building's main entrance oriented towards the northwest corner. The ground-level parking area is situated to the rear and accessed from a single point of

entry at the one-way alley to the south. The existing curb opening on Allison Avenue will be closed.

The northwest corner of the building is set back a few feet from the property line to provide for a landscaped entry plaza at the main lobby entrance that will tie into the existing pocket park. The plaza includes an area for outdoor seating and dining. New landscape and hardscape elements within the adjacent pocket park, including decorative pavers and a sculptured bench, are designed to unify the public and private spaces.

Community outdoor space includes a central open courtyard on the second floor and a second-floor deck above the entry plaza. Each of the community outdoor spaces is finished with water-efficient landscaping, hardscape, and furniture. Additional landscaping is proposed in a narrow planter along a portion the east wall of the building and the municipal parking lot. Existing *Podocarpus gracilior* street trees will be removed and replaced with Marina strawberry trees, Chinese flame trees, and Mexican sycamore. Decorative tree grates will be required for all new trees as a condition of approval.

The building's structure is comprised of four stories of frame construction over a 17-foot-high podium deck. Architectural styling is modern and asymmetrical with a flat roof and a variety of wall projections and recesses. The design incorporates angled parapets, balconies, and varied fenestration. Finish materials include metal siding, fiber cement board, brick veneer, block, stucco, perforated metal, and wood siding. The color palette has tones of green and gray with accents of light pinkish tan terra cotta and medium-tone wood.



Mechanical equipment is roof-mounted and screened behind parapet walls. Trash and recycling facilities are located in a room accessed from the parking area. A small area along the south wall of the building is set aside for utility meters and related infrastructure. USPS parking for mail delivery will be made available on the south side of Allison Avenue. Correspondence from utility providers is provided as **Attachment D**.

The project design was reviewed and approved with conditions by the Design Review Board on June 13, 2022, subject to City Council ratification. It was found to be consistent with the Urban Design Program and Downtown Village Specific Plan as described in the Design Review Board Certification of Action (**Attachment A**).

The Planning Commission reviewed and approved the site development plan for the project on September 21, 2022, with conditions. Resolution No. PC-2022-11 is provided as **Attachment E**. The site development plan approval included approval of a parking modification to reduce the amount of required on-site parking by 11 parking spaces beyond the number allowed under Government Code Section 65915.

Regional Housing Needs Allocation (RHNA)

State law requires that each city plan for the existing and future housing need identified in its Regional Housing Needs Allocation (RHNA) allocation. This is done through the Housing Element of the General Plan. In order to accommodate La Mesa's RHNA allocation, the City's Housing Element identifies a list of sites where the City's RHNA allocation could be built. The subject property is one of the identified sites in the City's adopted 6th Cycle Housing Element and the proposed affordable housing project helps the City meet its RHNA goals by providing housing units, including units in the very-low-income category.

Environmental Review

The project is exempt from environmental review pursuant to categorical exemption Class 32 as provided by the California Environmental Quality Act (CEQA) Guidelines Section 15332. Section 15332 exempts infill development that is consistent with zoning, is located on a project site of no more than five acres, is surrounded by urban uses, has no value as natural habitat, would not result in any significant effects relating to traffic, noise, air quality, and water quality, and can be served by utilities and public services.

The applicant submitted traffic, noise, air quality, and water quality technical studies prepared by qualified professionals to substantiate a conclusion that the project is eligible for the exemption and would not cause any significant environmental effects. None of the exceptions to the exemption listed under Section 15300.2 would occur.

CONCLUSION:

Staff recommends that the City Council ratify the Design Review Board's approval of Project 2021-40.

Reviewed by:



Greg Humora
City Manager

Respectfully submitted by:



Kerry Kusiak
Director of Community Development

Report to Mayor and Councilmembers
Date: October 11, 2022
Page: 6 of 6

Attachments:

- A. Design Review Board Certification of Action Project 2021-40
- B. Assessor Parcel Map Sheet
- C. Site photographs
- D. Correspondence
- E. Planning Commission Resolution PC-2022-11
- F. Project plans



**CERTIFICATION OF
DESIGN REVIEW BOARD ACTION**

FILE: Project 2021-40 (Palm Street Ventures LLC)

MEETING DATE: June 13, 2022

SUBJECT: Consideration of a proposed mixed-used development at 4757 Palm Avenue, APN 494-410-24-00 in the CD-D (Downtown Commercial / Urban Design Overlay) zone

DETERMINATION: After reviewing the proposal, the Board made a motion to recommend approval of Project 2021-40 based on plans stamped received by the City on May 20, 2022, and June 13, 2022, and a finding that the project is consistent with the City's Urban Design Program and Downtown Village Specific Plan, subject to the following conditions:

1. The applicant shall revise the block wall on the east elevation to incorporate design elements as shown on the concept elevation provided at the meeting.
2. In the raised planter that extends along the east building wall, the applicant shall use plant material that grows vertically to provide height and trailing vines over the edge of the wall.
3. New street trees shall be 36-inch box.
4. The applicant shall provide planters adjacent to the building wall along the Palm Avenue building elevation.

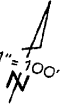
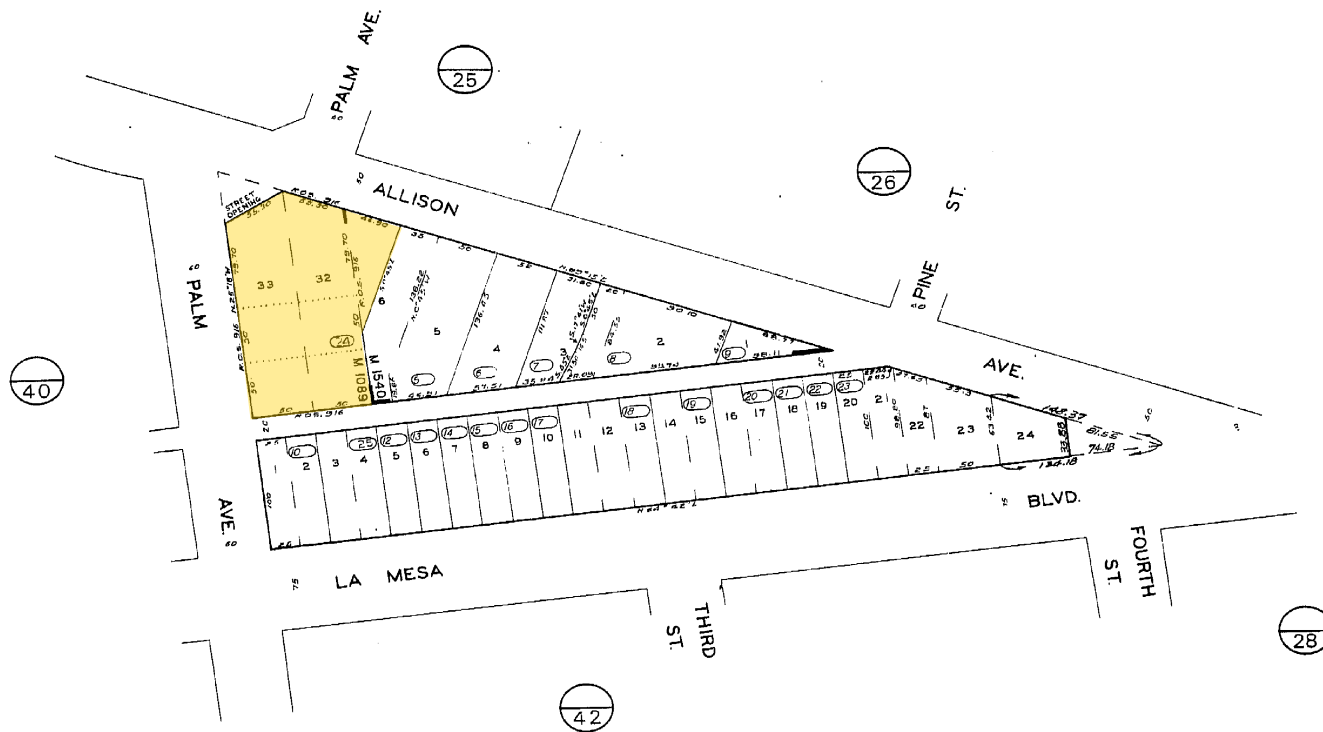
The vote on the motion was as follows:

Aye: Board members Kusiak, Langdon, and Lorenz
Nay: None
Absent: Board members Feske and Taylor

ATTEST:

Kerry Kusiak
Director of Community Development

494-41

[illegible]

SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 494 PAGE 41.

MAP 1540- HOOD TCT RESUB
MAP 1089 - HOOD TCT
ROS 916



View of intersection improvements and pocket park.



View of northern portion of project site from Palm Avenue looking northeast.



View of southern portion of project site from the alley looking north.



View of project site from municipal parking lot looking northwest.



View of project site from Allison Avenue looking southwest.



05/08/22

GC Properties
8127 La Mesa Blvd
La Mesa CA 91942

Re: Will Serve Letter for: 4757 Palm St., La Mesa, CA 91942

To whom it may concern-

This letter is to confirm that EDCO will be able to provide the above referenced property waste & recycling services.

EDCO has reviewed the project and that the proposed area/capacity is sufficient for trash, recycling, and organics based on the size of the project.

The access and the anticipated volume of waste & recycling are acceptable to EDCO.

Please feel free to contact me at frodriguez@edcodisposal.com regarding this matter.

Sincerely,

Fabian Rodriguez
Account Representative

“We’ll Take Care of It”

6670 Federal Boulevard • Lemon Grove, California 91945
(619) 287-7555 • Fax: (619) 287-5242 • www.edcodisposal.com • Printed on Recycled Paper



March 23, 2022

GC Properties, Inc.

ATTN: Brian Garmo

8127 La Mesa Blvd. #C

La Mesa, CA 91942

Dear Brian Garmo,

I would like to take this opportunity to let you know that Cox Communications, Inc. has facilities in the La Mesa Village area or La Mesa (4757 Palm Avenue) and can provide cable services (telephone, video and data) to the area.

If the tenants are interested in receiving services, please have them contact Cox Communications at 866-456-9944 to order services.

Thank you,

Steven J Radke

Steven J Radke

Supervisor – Carrier Construction and Planning

1922 Avenida Del Oro, Oceanside, CA 92056

c. 760-421-4139

o. 760-806-2069

e. Steven.radke@cox.com



Project # 300000441345
 Job # 300000441357
 300000471878

3/7/2022

GC Properties
 ATTN: Brian Garmo
 8127 La Mesa Blvd Suite C
 La Mesa, CA 91942

Dear Brian Garmo:

Subject: **PROJECT 3-441345 - AD - LA MESA VILLAGE – 4757 PALM AVE, LA MESA, CA 91942**

In accordance with SDG&E "RULES FOR THE SALE OF ELECTRIC ENERGY" and "RULES OF THE SALE OF GAS", filed with and approved by the California Public Utilities Commission, gas and electric facilities can be made available to **4757 PALM AVE, LA MESA, CA 91942**.

If purchaser is to pay any cost for the installation and/or extension of utility service, the costs will be calculated in conformance with our extension and service rules.

Evidence of financial arrangements for the installation of gas and electricity can be obtained from the developer and/or owner based on correspondence from SDG&E on this project.

Our ability to serve future projects in our service territory will depend on the supply of fuel and other essential materials available to us and on our obtaining government authorization to construct the facilities required.

Online Portal & Contact Information

Did you know you can access your Planner's contact information and track the progress of your project on the new [SDG&E Builder Services Portal](https://sdge.com/builder-services-portal)? Visit sdge.com/builder-portal and have your Project #: 3000003441345 and Access Code: 083639.

We appreciate your business and hope you are very satisfied with our service. If I may be of further assistance or should you have any non-construction-related questions (easements, charges, etc.), please call me or your Project Support Coordinator at the number below. Our office hours are 7:00 a.m. to 4:00 p.m., Monday through Friday. For additional information, visit sdge.com/builder-services.

Sincerely,

Timothy Sherlock

Timothy Sherlock
 Project Planner II
 858-654-0259



March 7, 2022

GC Properties Inc.
ATTN: Brian Garmo
8127 La Mesa Blvd #C
La Mesa CA 91942

Re: Will Serve Notice

Dear Brian Garmo,

This letter is written to confirm that the proposed project APN 494-410-24 located at 4757 Palm Ave. in La Mesa California 91942 is within the Base Rate Area of the AT&T California serving area in the La Mesa Exchange. AT&T expects to be in a position to provide telephone service to applicants in the above-referenced development upon request in accordance with requirements of, and at the rates and charges specified in, its Tariffs that are on file with the California Public Utilities Commission.

This offer to provide service will terminate 24 months after the date of this letter unless both of the following first occur: 1) you, in your capacity as the developer, enter into a written service agreement with AT&T; and 2) you, in your capacity as developer, pay all charges you are required by AT&T's Tariffs to pay.

If you have any questions, I can be contacted on 619-339-4972.

Sincerely,

DOUGLAS R JANY
Doug Jany
Route Design Engineer

Luis Esparza

From: Brian Garmo <bgarmo@gcpropertiesinc.com>
Sent: Friday, May 20, 2022 11:07 AM
To: Luis Esparza
Subject: Fwd: [EXTERNAL] Re: FINAL TO CUSTOMER-91942@4757 Palm Ave. New Apartments

----- Forwarded message -----

From: **Garcia, Eva G - San Diego, CA** <Eva.G.Garcia@usps.gov>
Date: Tue, Apr 5, 2022 at 11:13 AM
Subject: RE: [EXTERNAL] Re: FINAL TO CUSTOMER-91942@4757 Palm Ave. New Apartments
To: Brian Garmo <bgarmo@gcpropertiesinc.com>
Cc: Jason Meram <jason@merambuilding.com>, Darrow, Laurie A - San Diego, CA <Laurie.A.Darrow@usps.gov>

The city will accept a copy of the final email approval.

Thank you.

Eva G. Garcia | USPS District 6-Delivery Support Specialist (A) | Phone: 858.674.0518

Fax: 858.674.0544

11255 Rancho Carmel Dr. #2361 | San Diego, CA. 92199-1000 | eva.g.garcia@usps.gov

From: Brian Garmo <bgarmo@gcpropertiesinc.com>
Sent: Tuesday, April 5, 2022 10:57 AM
To: Garcia, Eva G - San Diego, CA <Eva.G.Garcia@usps.gov>
Cc: Jason Meram <jason@merambuilding.com>; Darrow, Laurie A - San Diego, CA <Laurie.A.Darrow@usps.gov>
Subject: [EXTERNAL] Re: FINAL TO CUSTOMER-91942@4757 Palm Ave. New Apartments

CAUTION: This email originated from outside USPS. **STOP and CONSIDER** before responding, clicking on links, or opening attachments.

Thank you Eva. I will make note of this. Is there a letter which I can send to the City of La Mesa so I can include with our plans. Thank you.

On Tue, Apr 5, 2022 at 10:29 AM Garcia, Eva G - San Diego, CA <Eva.G.Garcia@usps.gov> wrote:

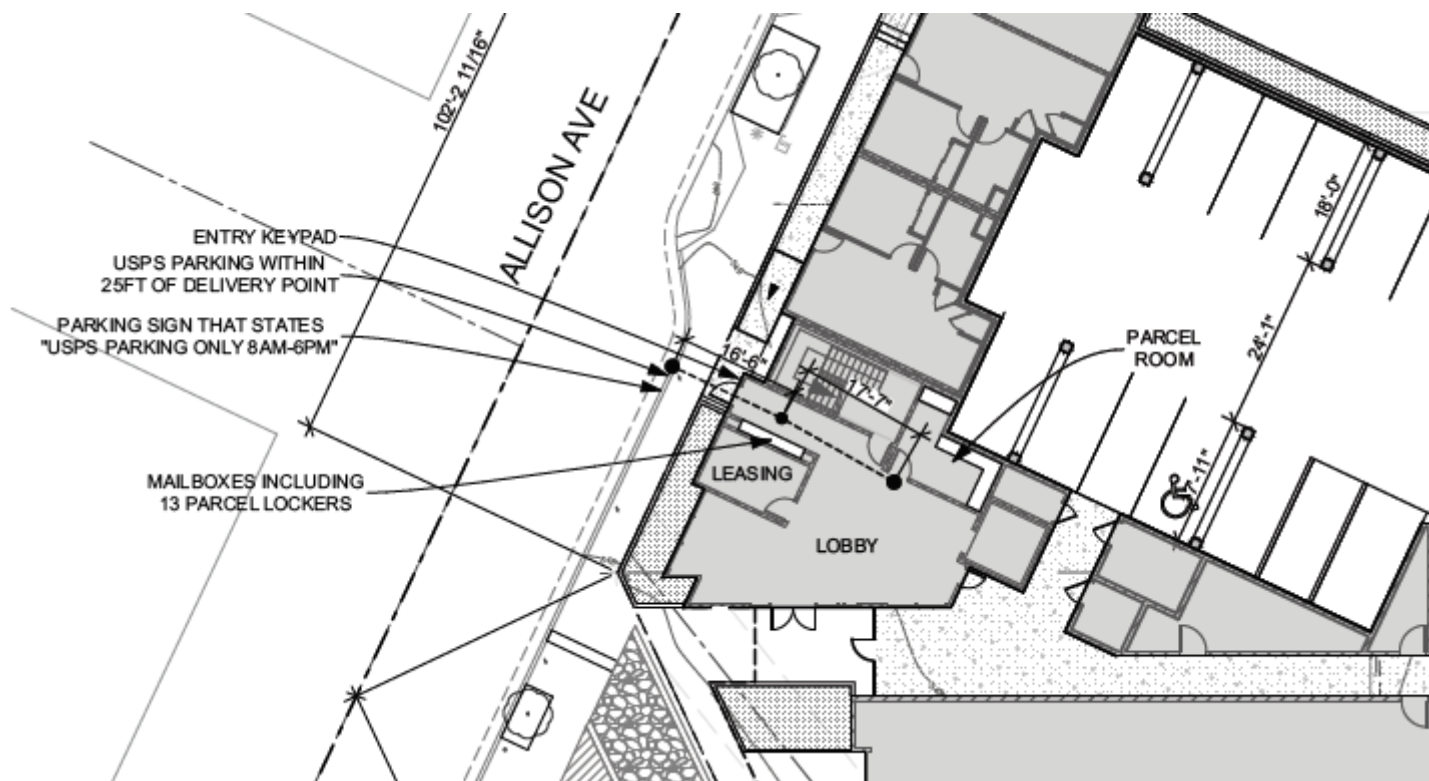
Brian,

- I have approved the designated carrier parking, delivery equipment and its location.
- I have attached the mail equipment labeling diagrams.
 - Labeling the mail compartments & distribution of the compartment keys is the responsibility of the developer/property manager/owner.
- Addressing must be set up just like attached diagram. Please review all for accuracy.
- Once the CBUs are installed and labeled (interior only) per the attached instructions **contact:** **La Mesa Post Office at 619.460.4659** to schedule installation of our master locks.

I will release this information to the local Post Office and Address Management staff to add the addresses into our database. Allow 3 weeks for all entities to recognize new addresses.

****For future projects contact: sandiegodistrictgrowth@usps.gov**

Include address and zip code in subject line ex. 99999 @ 1234 Main St.



Thank you.

Eva G. Garcia | USPS District 6-Delivery Support Specialist (A) | Phone: 858.674.0518

Fax: 858.674.0544

11255 Rancho Carmel Dr. #2361 | San Diego, CA. 92199-1000 | eva.g.garcia@usps.gov

From: Brian Garmo <bgarmo@gcpropertiesinc.com>
Sent: Monday, April 4, 2022 12:37 PM
To: Garcia, Eva G - San Diego, CA <Eva.G.Garcia@usps.gov>
Cc: Jason Meram <jason@merambuilding.com>
Subject: [EXTERNAL] Re: 3- 91942@4757 Palm Ave. New Apartments

CAUTION: This email originated from outside USPS. **STOP and CONSIDER** before responding, clicking on links, or opening attachments.

Hello Eva. Please see attached revised site plan. This should take care of your requests. If you need anything else, please let me know. Thanks.

On Thu, Mar 31, 2022 at 11:39 AM Garcia, Eva G - San Diego, CA <Eva.G.Garcia@usps.gov> wrote:

Brian,

USPS requires parking within 25' of equipment as of 2019.

Thank you.

Eva G. Garcia | USPS District 6-Delivery Support Specialist (A) | Phone: 858.674.0518

Fax: 858.674.0544

11255 Rancho Carmel Dr. #2361 | San Diego, CA. 92199-1000 | eva.g.garcia@usps.gov

From: Brian Garmo <bgarmo@gcpropertiesinc.com>
Sent: Thursday, March 31, 2022 11:10 AM
To: Garcia, Eva G - San Diego, CA <Eva.G.Garcia@usps.gov>; Jason Meram <jason@merambuilding.com>
Subject: [EXTERNAL] Re: 2- 91942@4757 Palm Ave. New Apartments

RESOLUTION NO. PC-2022-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LA MESA APPROVING PROJECT 2021-40 (PALM STREET VENTURES LLC) -- A SITE DEVELOPMENT PLAN WITH A PARKING MODIFICATION TO REDUCE THE NUMBER OF PARKING SPACES REQUIRED FOR A PROPOSED MIXED-USE DEVELOPMENT AT 4757 PALM AVENUE, APN 494-410-24-00 IN THE CD-D (DOWNTOWN COMMERCIAL/ URBAN DESIGN OVERLAY) ZONE

WHEREAS, project applicant Palm Street Ventures LLC has submitted a site development plan application to construct a 64-unit mixed-use development on a vacant site addressed as 4757 Palm Avenue, APN 494-410-24-00, located in the CD-D (Downtown Commercial / Urban Design Overlay) zone;

WHEREAS, the Project utilizes State Density Bonus Law (California Government Code Section 65915) by providing 12.5 percent of the units as affordable to very low-income households with requested parking reduction, waivers, and concessions as detailed in the applicant's Affordable Homes Bonus Program for the project;

WHEREAS, on June 13, 2022, the Design Review Board considered and approved, with conditions, Project 2021-40;

WHEREAS, under State Density Bonus Law and the City's parking requirements, 40 parking spaces are required to serve the project;

WHEREAS, the project proposes 29 parking spaces;

WHEREAS, La Mesa Municipal Code Section 24.04.020G2 provides that the requirement for off-street parking for uses and structures within the Downtown Commercial (CD) zone may be modified when it can be demonstrated that no increased traffic congestion would result due to an overburden of the surrounding on- and off-street parking, subject to Planning Commission approval;

WHEREAS, as required by LMMC section 24.04.020G2, the applicant provided a study of surrounding parking space availability for current uses and of needed parking for the proposed use;

WHEREAS, the parking study concluded that the project would not increase traffic congestion because there is adequate parking supply to accommodate the project and the additional traffic generated by the project would not overburden the existing roadway infrastructure;

WHEREAS, the Planning Commission did receive and consider a staff report for the proposal; and

WHEREAS, on September 21, 2022, the Planning Commission of the City of La Mesa did hold a duly noticed public meeting and accepted public testimony in consideration of Project 2021-40.

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

1. The project is exempt from environmental review in accordance with the California Environmental Quality Act Guidelines Section 15332, Infill Development. The project meets all of the conditions necessary to qualify for the exemption: (a) the project is consistent with the applicable general plan designation and policies, as well as with applicable zoning designation and regulations; (b) the project occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value, as habitat for endangered, rare or threatened species; (d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) the site can be adequately served by all required utilities and public services. The project meets the criteria for the exemptions. None of the exceptions in Section 15300.2 apply.

2. Parking Modification Finding (LMMC Section 24.04.020.G):

The proposed modification will not increase traffic congestion due to an overburden of the surrounding on-and off-street parking.

The study of surrounding parking space availability for current uses and of needed parking for the proposed use provided by the applicant concluded that the additional parking demand of 11 parking spaces for the project would not overburden the surrounding parking availability of the combined City parking lots and on-street parking, and would not increase traffic congestion.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF LA MESA AS FOLLOWS:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.
2. The foregoing findings of fact and determinations are supported by the staff report, plans, and exhibits, all of which are herein incorporated by reference.
3. The Planning Commission approves Project 2021-40, subject to the conditions in Exhibit A.


PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of La Mesa, California, held the 21st day of September, 2022, by the following vote, to wit:

AYES: Chair Torpey and Commissioners Cooper and Jones

NOES: Commissioner Alvarado

ABSENT: Commissioner Coston

I, Kerry Kusiak, Secretary of the City of La Mesa Planning Commission, do hereby certify the foregoing to be a true and exact copy of Resolution PC-2022-11, duly passed and adopted by the Planning Commission.



Kerry Kusiak, Secretary
La Mesa Planning Commission

Exhibit A
Resolution PC-2022-11
Site Development Plan 2021-40
Conditions of Approval

A. GENERAL CONDITIONS

1. The project is conditionally approved as set forth on the application stamped received by the City on September 13, 2022, consisting of 33 sheets numbered: A0-1, A0-2, A0-3, C1.0, C2.0, A1-1, A2-1, A2-2, A2-3, A2-4, A2-5, A3-0, A3-1, A3-2, A3-3, A3-4, A3-5, A4-1, A6-1, A6-2, A6-3, A6-4, L-1.00, L-2.00, L-2.01, L-2.03, L-3.00, L-3.01, L-3.02, L-4.00, L-4.01, L-4.02, L-5.00, four (4) lighting cut sheets, and two (2) material sample boards, designated as approved by the Planning Commission on September 21, 2022, and shall not be altered without express authorization by the Community Development Department.
2. This constitutes an approval of the discretionary entitlement only. Additional permits, including but not limited to building and grading permits, may be required by the Community Development Department or other City departments prior to commencement of construction and/or use. It is the property owner and applicant's responsibility to obtain all necessary permits required for the type of project proposed.
3. This approval shall not waive compliance with any section of the La Mesa Municipal Code and all other applicable City regulations in effect at the time of Building Permit issuance unless specifically waived herein.
4. The applicant is responsible for coordinating civil, landscape, and architectural plans and supplemental materials at building permit submittal to ensure that all project plans and materials are internally consistent and consistent with each other. Inconsistent construction documents will not be accepted.
5. Prior to any use or issuance of final occupancy of the project site pursuant to this approval, all conditions of approval contained herein shall be completed or secured to the satisfaction of the Community Development Department.
6. The applicant shall enter into an affordable housing agreement with the City to guarantee the affordability of eight (8) affordable units to very low-income tenants (50% Area Median Income) for a minimum of 55 years. The affordable housing agreement shall identify the type, size, and location of the affordable unit, and shall specify phasing of the affordable unit in relation to the market-rate units. The executed affordable housing agreement shall be recorded prior to issuance of building permits and shall include the following provisions that are required to be implemented at project construction:
 - a) Building permits shall not be issued for more than 50% of the market rate units until permits are issued for the affordable units.
 - b) Affordable units shall be comparable in exterior appearance and overall quality of construction to market-rate units in the same development. Interior finishes and amenities may differ from those provided in the market rate units, but neither the workmanship nor products may be of substandard or inferior quality as determined by the City.

- c) The number of bedrooms of the affordable units shall at least equal the minimum number of bedrooms of the market rate units.
- 7. All interior and exterior common areas, parking areas, and landscape areas shall remain in place in perpetuity except as expressly authorized by the City.

B. THE FOLLOWING CONDITIONS MUST BE SATISFIED PRIOR TO THE ISSUANCE OF BUILDING AND GRADING PERMITS:

Engineering

- 1. The applicant's engineer shall ensure that the design and construction of all improvements in the public right of way shall be in accordance with standard plans and specifications of the City of La Mesa, and subject to the approval of the City Engineer.
- 2. The applicant shall submit all plans and supporting documents concurrently for plan check and approval as required for all private storm drain, street, and any public sidewalk improvements. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer. All street dedications, alignments, widths, and geometrics shall be as approved by the City Engineer.
- 3. A precise grading, drainage and erosion control plan shall be prepared by a Registered Civil Engineer in accordance with the City of La Mesa Grading Ordinance Title 14.05 showing all buildings, access roads, parking, driveways, landscaping, and drainage. The grading and erosion control plans shall be submitted for plan check and approval of the City Engineer and Planning Division prior to approval of the Grading and Building Permits. If proposed development does not increase the existing impervious area, this requirement may be removed.
- 4. Where off-site work or improvements are proposed to be constructed (including, but not limited to, slopes, public utility, and drainage facilities); the applicant shall obtain all necessary easements, letters of permission or other interest in real property, at their own expense and shall dedicate the same to the City as may be necessary.
- 5. Off-site improvements within the public right of way beyond the parcel boundary may be required to be installed as determined by the City Engineer to provide proper transition to the street and sidewalk, and to address drainage or traffic and pedestrian safety.
- 6. Street trees locations shall be referenced on the improvement plans for conflict check, located in the sidewalk equal to 1 tree for every 35 feet of property frontage along Palm Avenue and Allison Avenue.
- 7. The method of disposing of surface water from the site shall be submitted and approved to assure that the site will drain to the street or to a natural watercourse. New drainage facilities, and private maintenance agreements or covenants may be required.
- 8. A hydrology report prepared by a registered Civil Engineer shall be furnished to establish the adequacy of the drainage system and the base flood elevation of the 100-year storm. Report must support the design and sizing of any water quality BMPs to treat the 85th percentile storm in perpetuity.

- a) Hydrologic and Hydraulic analyses shall be based on the County of San Diego Hydrology and Drainage Design Manuals, most current editions.
 - b) Report must clearly address pre-development and post development offsite discharge, and erosion potential. Any post-development increases in offsite discharge, and erosion potential must be minimized, justified and mitigated to the satisfaction of the City Engineer.
9. Site operations shall comply with City of La Mesa Municipal Code Chapter 7.18 Storm Water Management and Discharge Control Program. A completed City of La Mesa storm water management permit application shall accompany the grading plan submittal.
10. The applicant shall comply with Storm Water Pollution Control Ordinance (City of La Mesa Municipal Code Chapter 7.18) and the State's current General NPDES Storm Water Permit. If required, the applicant shall show evidence that a Notice of Intent (NOI) has been applied for and fees paid to the State Water Resources Control board prior to issuance of a grading permit. A Water Quality Technical Report (WQTR) shall accompany the grading plan submittal.
11. This project shall comply with the City of La Mesa hydromodification management requirements. For more information please refer to the City of La Mesa website at <http://www.cityoflamesa.com/stormwater>, on the Development Requirements tab.
12. The development plan(s) shall clearly show compliance with the criteria of the City of La Mesa Storm Water Standards Manual for Priority Development Projects. Each component requiring maintenance shall be perpetually maintained by the property owner and located on private property. These include the following:
- a) A post-construction Water Quality Technical Report and recorded maintenance agreement pursuant to Title 7.18 of the La Mesa Municipal Code shall be required. Compliance requires post-development BMPs. Each (BMP) component requiring maintenance shall be, perpetually maintained by the property owner and located on the private property.
 - b) Drain impermeable rooftops, sidewalks, walkways, and patios through adjacent landscaping or other pervious surfaces to maximize infiltration and provide vegetative filtration.
13. Post Construction BMPs
- a) Tree box/modular wetlands are only allowed if bio-retention style IMPs are proved to be infeasible. Vault/Separator style units are not allowed.
 - b) Each drainage management area that discharges into the public system outlet or street shall have storm water quality controls, and shall be maintained by the property owner and located on the private property
 - c) A post-construction Water Quality Management Plan and recorded maintenance agreement pursuant to section 7.18 of the La Mesa Municipal Code shall be required. Perpetual maintenance requirements should be considered when selecting appropriate BMPs.

- d) Trash enclosures shall be covered to prevent rainwater intrusion or otherwise designed to prevent offsite migration of contaminants.
- 14. Prior to grading of any part of the project, a comprehensive soils and geologic investigation shall be conducted of the geologic formations, soils, and slopes of the site. A soils investigation report verifying that the site is suitable for the proposed development shall be prepared by a licensed civil or geotechnical engineer. All necessary measures shall be taken and implemented to ensure slope stability, erosion control, and soil integrity.
- 15. The applicant/developer shall provide adequate erosion control devices at the completion of each phase of grading. This shall include landscaping and temporary irrigation systems on exposed slopes. Such temporary measures shall be subject to the approval of the City Engineer.
- 16. Prior to permit issuance, provide CCTV of the sewer lines acceptable to the City Engineer and abandon all unused laterals at the main.
- 17. The applicant shall show the following information on the site plan and/or add a note to the plans:
 - a) The sanitary sewer main, sewer service lateral and property line clean out shall be identified. A clean out shall be installed if one does not exist.
 - b) The rim elevation of the nearest upstream sewer manhole on the sewer main and the lowest finish floor or lowest waste water fixture unit shall be identified. If the lowest finish floor elevation or lowest waste water fixture unit is less than or equal to the top of the manhole elevation PLUS two feet, then a backwater valve shall be installed.
- 18. The applicant shall pay the current Sanitary Sewer Connection Fee as determined by the City's current fee structure.
- 19. The applicant shall obtain an Encroachment Permit and Traffic Control Permit prior to beginning any proposed work within the City right of way. Traffic control plans for streets which will be opened to public travel during construction shall be in accordance with construction signing, marking and other protection as required by the State Department of Transportation (CalTrans) Traffic Manual.
- 20. Surety (security) for improvements and/or grading shall be posted with the City of La Mesa prior to improvement and/or grading permit approval to guarantee the construction of all the required street improvements, drainage, grading, erosion control, landscaping, irrigation, sewer and monumentation. The security shall include all onsite and offsite grading and improvements. The amount of security shall be determined by the City Engineer based upon an estimate furnished to the City taken from approved plans submitted by the engineer of work. The engineer's cost estimate should include an estimate of utility relocation, if applicable.
- 21. Water improvements are separately approved by and bonded with the Helix Water District prior to approval of the grading plan. Please submit with Helix Water District concurrently to avoid project delays.

Planning

22. The applicant shall pay Park Improvement Impact fees in accordance with Chapter 9.20 of the La Mesa Municipal Code.
23. The applicant shall submit landscape and irrigation plans with application fee or deposit prepared by a registered landscape architect in accordance with City standards and the State of California Model Water Efficient Landscape Ordinance, for review and approval prior to issuance of building permits.
24. The applicant shall prepare and submit plans in conformance with the approved exhibits and conditions of approval. A note shall be placed on the building plans stating that prior to final inspection sign off and release of electrical service, the site and buildings shall be inspected for substantial conformance to the approved exhibits and conditions. The exact materials and colors of all proposed structures shall be prominently noted on all plans and exhibits.
25. To protect and avoid impacts to potential nesting birds, site brushing, grading and/or removal of vegetation within 300 feet of any potential migratory bird nesting location shall not be permitted during the migratory bird nesting season of February 1 – September 15 unless nesting bird surveys have first been completed and provided to the Community Development Department to ensure compliance with the Migratory Bird Treaty Act and California Department of Fish and Game Code Section 3503, which protect nesting birds. Nesting bird surveys shall be conducted within 72 hours of commencement of site brushing, grading, and/or removal of vegetation. A note shall be added to the grading plans documenting this requirement.

Building

26. Plans must be complete and stamped by a licensed professional before the Building Division will accept them into the plan review and permitting process
27. The design shall be all requirements for California Building Codes for Accessibility 11B, Green Codes and Energy Efficiency Standards.

Fire

28. A Class I automatic wet standpipe system (in accordance with 2019 CFC and NFPA 14) is required. Please list all as deferred submittals on title sheet.
- C. THE FOLLOWING CONDITIONS MUST BE SATISFIED PRIOR TO THE ISSUANCE OF THE FINAL OCCUPANCY PERMIT FOR THE FIRST DWELLING UNIT TO BE CONSTRUCTED:**

Engineering

1. The applicant shall pay the Regional Transportation Congestion Improvement Program (RTCIP) development impact fee, as determined by the City's current fee structure, for each newly constructed residential unit.
2. The applicant shall remove and replace existing curb and sidewalk if it is found to be cracked, broken, displaced or not in compliance with current ADA standards. Existing driveways to be removed shall be replaced with full height curb and gutter. The city

Inspector will identify the limits of removal and replacement. Any existing pedestrian ramps along your frontage will be brought up to current ADA requirements, as necessary.

3. The applicant shall install street trees with pedestrian friendly tree grates in the sidewalk and contiguous with the curb, equal to 1 tree for every 35 feet of property frontage along Palm Avenue and Allison Avenue. Silva Cells are required for all trees in public right of way or as approved by the City Engineer. (Refer to San Diego Regional Standard Drawing L4 and La Mesa Standard Drawings LS1 through LS3 and WQ4.)
4. All street and drainage improvements shall be completed and accepted by the engineering inspector prior to occupancy.

Planning

5. Upon removal of the meter stand pipe at the USPS parking space, the applicant shall completely fill in the hole level with the sidewalk to prevent a trip hazard.

Building

6. The applicant shall obtain approvals from all departments for all issued permits: building, fire, planning, grading, SD County ACPD, SD County HazMat, Encroachment, or other permits for the proposed improvements prior to the issuance of a certificate of occupancy.

D. THE FOLLOWING CONDITIONS MUST BE SATISFIED PRIOR TO THE ACCEPTANCE OF IMPROVEMENTS AND FILING OF THE NOTICE OF COMPLETION:


Engineering

1. Landscaping for trees, shrubs, walls, fences, cut/fill slopes or other structures at or near driveway and street intersections shall conform to the intersectional sight distance criteria as provided by the California Department of Transportation (CalTrans) Highway Design Manual. Any obstructions which exceed a height of thirty-six (36) inches shall not be permitted within a distance of five (5) feet from the property line at the street.
2. Street name signs, street lighting, and traffic control devices shall be built to City standards and as required and approved by the City Engineer and the Traffic Engineer. The applicant shall pay all applicable fees, energy charges, and/or assessments and shall privately maintain said lights.
3. Certification of the as-built elevations of the structures shall be furnished to the City Engineer prior to release of bonds.
4. The exact limits of pavement and sidewalks shall be approved by the City Engineer. Street structural sections shall have a gravel equivalent of a minimum of 4-inch AC over 8-inch CL-2AB with a T.I. of 6.0. Geotechnical tests of the existing pavement are subject to approval of the City Engineer in the field during project inspection. Existing public improvements will be repaired to good condition and proper alignment, as may be required for proper tie-in.
5. The applicant shall complete grading in one operation. All Best BMPs and improvements shown on grading and site development plans shall be installed.



LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

DEVELOPMENT SUMMARY											
PROJECT INFORMATION											
ADDRESS:		4757 PALM AVE LA MESA CA 91942		APN: 494-410-24		AREA (SF) 21,489 SF		ACRES .49 AC			
DEVELOPMENT REGULATIONS											
BASE ZONE		CD-D									
COMMUNITY PLAN		DOWNTOWN VILLAGE SPECIFIC PLAN		MAX STRUCTURE SITE				46'			
OVERLAY ZONES:		URBAN DESIGN OVERLAY		CONSTRUCTION TYPE		LEVEL 1: IA LEVEL 2-5: VA					
MAX. DENSITY		N/A		OCCUPANCY		A-2, R-2, S-2					
SETBACKS		N/A		SPRINKLERS		NFPA-13					
FRONT		N/A									
STREET		N/A									
SIDE		N/A									
REAR		N/A									
DENSITY											
PROPOSED UNIT COUNT						64 DU					
PROPOSED DENSITY:						130 DU/ACRE					
SET ASIDE		VERY LOW INCOME		8 DU		=		12.5% (UNIT #201, 214, 215 301, 314, 315, 401,415)			
INCENTIVES ALLOWED		2									
PROPOSED		1 2 WAIVER WAIVER WAIVER		RESIDENTIAL ON GROUND FLOOR TBD HEIGHT THIRD STORY SETBACK MULTILEVEL PARKING STANDARD AT GRADE							
UNIT TABULATION											
75%		1 BR		A1.1		3		694 SF		2,082 SF	
				A1.2		8		743 SF		5,944 SF	
				A2		4		725 SF		2,900 SF	
				A3		4		800 SF		3,200 SF	
				A4		8		747 SF		5,976 SF	
				A5		4		648 SF		2,592 SF	
				A6		3		648 SF		1,944 SF	
				A7		3		787 SF		2,361 SF	
				A8		3		821 SF		2,463 SF	
				A9		1		600 SF		600 SF	
				A10		1		764 SF		764 SF	
				A11		1		586 SF		586 SF	
				A12		2		595 SF		1,190 SF	
				A13		2		712 SF		1,424 SF	
				A14		1		832 SF		832 SF	
		SUB-TOTAL		48				34,858 SF			
25%		2 BR		B1		4		1,013 SF		4,052 SF	
				B2		8		1,024 SF		8,192 SF	
				B3		4		1,030 SF		4,120 SF	
				SUB-TOTAL		16				16,364 SF	
TOTAL DU				64				51,222 SF			
BUILDING AREA											
RENTABLE AREA											
APARTMENTS (NRSF)						51,222 SF					
COMMERCIAL											
COMMERCIAL 1						2,377 SF					
SUB-TOTAL								53,599 SF			
HABITABLE AREA											
LOBBY						750 SF					
MAIL/PARCEL						149 SF					
LEASING OFFICE						130 SF					
BIKES						262 SF					
STORAGE		158 SF/FLR		X		4 FLR		632 SF			
SUB-TOTAL								1,923 SF			
UTILITY AREA											
ELECTRIC METER RM.						200 SF					
MPOE						114 SF					
ELEV MACH RM						64 SF					
UTILITY CLOSET						57 SF					
TRASH						281 SF					
TRASH CHUTES		4 FLR		X		54 SF/FLR		216 SF			
IDF		4 FLR		X		48 SF/FLR		192 SF			
BOILER						127 SF					
SUB-TOTAL								1,251 SF			
CIRCULATION											
ELEVATOR		90 SF/FLR		X		5 FLR		450 SF			
STAIR 1		200 SF/FLR		X		5 FLR		1,000 SF			
STAIR 2		200 SF/FLR		X		5 FLR		1,000 SF			
HALLWAY 2 - 5		1,478 SF/FLR		X		4 FLR		5,912 SF			
SUB-TOTAL								8,362 SF			
GARAGE								9,152 SF			
TOTAL GROSS FLOOR AREA (GFA)								74,287 SF			
EFFICIENCY								82.29%			
PARKING (MINIMUM REQUIREMENTS)											
QNTY		CARS		MOTORCYCLES		BIKES					
RATIO		#		RATIO		#		RATIO			
#		#		#		#		#			
PER AFFORD DENSITY BONUS											
1 BR		48 DU		0.5		24		0			
2 BR		16 DU		0.5		8		0			
SUB-TOTAL		64 DU				32		0			
COMMERCIAL		2,377 SF		3/1,000 SF		7,131		0			
TOTAL REQUIRED						39,131					
TOTAL PROPOSED						29		0			
SUPPLEMENTAL RESIDENTIAL REGULATIONS											
OPEN SPACE											
COURTYARD								2,039 SF			
ROOF DECK								648 SF			

PROJECT #: 2021-40									
PROJECT TEAM									
OWNER		PALM STREET VENTURES LLC 8127 LA MESA BLVD #C LA MESA, CA 91942 619.220.7444							
ARCHITECT		STEPHEN DALTON ARCHITECTS 444 S CEDROS AVE, STUDIO 190 SOLANA BEACH, CA 92075 858.792.5906							
SURVEY		METROPOLITAN MAPPING, INC 3712 30TH ST SAN DIEGO, CA 92104 619.431.5250							
CIVIL		NAJARS ENGINEERING 772 JAMACHA RD #157 EL CAJON, CA 92109 619.971.7514							
LANDSCAPE		McCULLOUGH LANDSCAPE ARCHITECTURE 363 FIFTH AVE, #301 SAN DIEGO, CA 92101 619.296.3150							
DRY UTILITIES		UTILITY SPECIALISTS 4429 MORENA BLVD SAN DIEGO, CA 92117 858.581.2250							
SOILS ENGINEER		GEOCON INC 6960 FLANDERS DR SAN DIEGO, CA 92121 858.558.6900 x228							
SHEET INDEX									
A0-1	TITLE SHEET								
A0-2	CODE COMPLIANCE								
A0-3	CODE COMPLIANCE								
C1.0	EXISTING TOPO & DEMO PLAN								
C2.0	CONCEPT GRADING PLAN								
A1-1	ARCHITECTURAL SITE PLAN								
A2-1	FIRST FLOOR PLAN								
A2-2	2ND FLOOR PLAN								
A2-3	3RD-4TH FLOOR PLAN								
A2-4	5TH FLOOR PLAN								
A2-5	ROOF PLAN								
A3-0	MATERIAL BOARD								
A3-1	EXTERIOR ELEVATIONS								
A3-2	EXTERIOR ELEVATIONS								
A3-3	COURTYARD ELEVATIONS								
A3-4	EXTERIOR PERSPECTIVES								
A3-5	EXTERIOR PERSPECTIVES								
A4-1	SECTIONS								
A6-1	UNIT PLANS								
A6-2	UNIT PLANS								
A6-3	UNIT PLANS								
A6-4	UNIT PLANS								
L-1.00	COVER SHEET								
L-2.00	CONSTRUCTION PLAN L1								
L-2.01	CONSTRUCTION PLAN L1								
L-2.03	CONSTRUCTION PLAN L1								
L-3.00	IRRIGATION PLAN L1								
L-3.01	IRRIGATION PLAN L2								
L-3.02	IRRIGATION PLAN L5								
L-4.00	PLANTING PLAN L1								
L-4.01	PLANTING PLAN L2								
L-4.02	PLANTING PLAN L5								
L-5.00	RENDER VIEWS								
SCOPE OF WORK									
-	CONSTRUCTION OF A NEW 5 STORY MIXED USE BUILDING, 4 LEVELS OF TYPE VA OVER 1 LEVEL OF TYPE IA, GROUND FLOOR COMMERCIAL SPACE, (64) RESIDENTIAL APARTMENTS, COVERED PARKING GARAGE								
-	ASSOCIATED LANDSCAPING IMPROVEMENTS ON SITE AND WITHIN THE RIGHT OF WAY								
DEFERRED SUBMITTALS									
1. FIRE SPRINKLER SYSTEM									
2. FIRE ALARM SYSTEM									
3. EMERGENCY RESPONDER RADIO COVERAGE SYSTEM									
4. CLASS I AUTOMATIC WET STANDPIPE SYSTEM									
SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO SHALL REVIEW AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.									
VICINITY MAP									
									

project title

stamp

TITLE SHEET

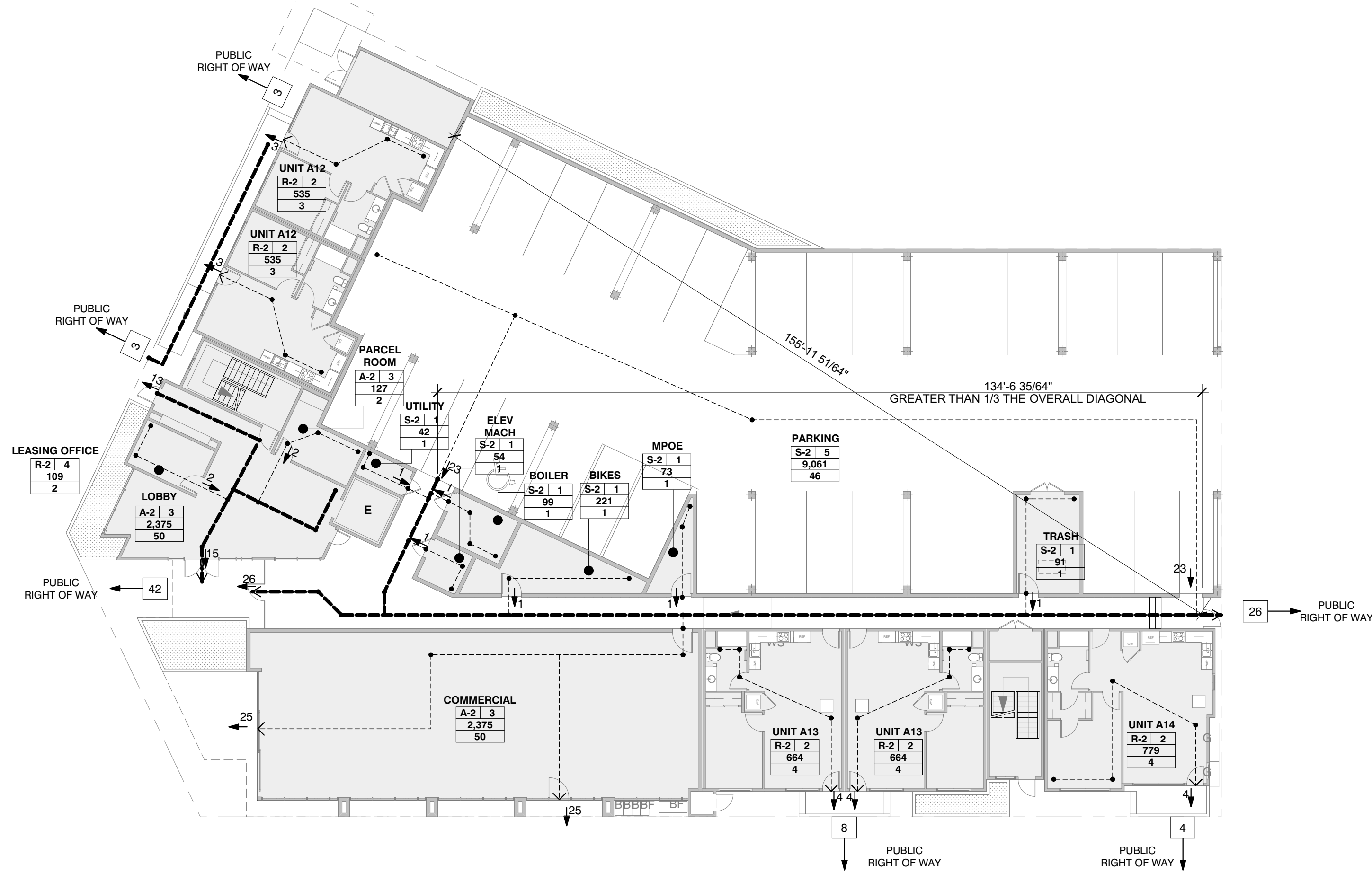
job no.
2036
date

sheet
A0-1

LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

ARCHITECTS



1 1ST FLOOR EGRESS PLAN
SCALE: 1/16" = 1'-0"



2 2ND FLOOR EGRESS PLAN
SCALE: 1/16" = 1'-0"

CODE ANALYSIS

BUILDING USAGE: "S-2" STORAGE/MECHANICAL
"R-2" RESIDENTIAL
"A-2" COMMERCIAL

CONSTRUCTION TYPE: TYPE IA, (PODIUM), GARAGE LEVEL
TYPE VA RESIDENTIAL LEVELS

FIRE SPRINKLERS: NFPA 13

ALLOWABLE BUILDING HEIGHT AND
ALLOWABLE AREA PER STORY:

UL = UNLIMITED

GROUP S-2 UL HEIGHT PER CBC 504.3
1 STORY* PER SPECIAL PROVISION
CBC 510.4

UL AREA PER CBC
TABLE 506.2

GROUP R-2 60'-0" PER CBC 504.3
4 STORY PER CBC 504.4
36,000 SF PER CBC
TABLE 506.2

GROUP A-2 UL HEIGHT PER CBC 504.3
UL STORY PER CBC 504.4
UL AREA PER CBC
TABLE 506.2

FRONTAGE INCREASE (CBC 506.2):
(AREA INCREASE NOT USED)
If = 0

ACTUAL SQUARE FOOTAGE:

OPEN GARAGE PARKING

OCCUPANCY GROUP S-2

ACUTAL SQUARE FOOTAGE

LEVEL 1 GROUP S-2 10,257 SF

RATIO OF ACTUAL FLOOR AREA TO ALLOWABLE AREA:

*ALLOWABLE AREA IS UNLIMITED - NO RATIO

RESIDENTIAL

OCCUPANCY GROUP R-2

GROUP R-2 LEVEL 1 4,965 SF
LEVEL 2 14,422 SF
LEVEL 3 14,422 SF
LEVEL 4 14,422 SF
LEVEL 5 13,422 SF
SUBT-TOTAL 61,653 SF

COMMERCIAL

OCCUPANCY GROUP A-2

ACUTAL SQUARE FOOTAGE

LEVEL 1 GROUP A-2 2,377 SF

TOTAL GFA 74,287 SF

RATIO OF ACTUAL FLOOR AREA TO ALLOWABLE AREA:

GROUP R-2

LEVEL 1: R-2 4,965/36,000 SF = 0.138
LEVEL 2: R-2 14,422/36,000 SF = 0.400
LEVEL 3: R-2 14,422/36,000 SF = 0.400
LEVEL 4: R-2 14,422/36,000 SF = 0.400
LEVEL 5: R-2 13,422/36,000 SF = 0.373

SUM OF RATIOS:
S-2 UL 1.711
R-2 UL
A-2 UL

TOTAL 1.711 < 2 (REF CBC 506.2.4)

CODE ANALYSIS LEGEND

UNIT = ROOM NAME

* = COMMUNICATION
FEATURES
PROVIDED PER CBC
TABLE 11B-224.4

UNIT*
R-2 2
525
3

* = MOBILITY FEATURES
PROVIDED PER CBC
TABLE 11B-224.2

R-2 = OCCUPANCY TYPE

2 = SPACE USE - REFER
TO SPACE USE
SCHEDULE

525 = FLOOR AREA -
SQUARE FOOTAGE

3 = OCCUPANT LOAD
(CBC TABLE 1004.1.2)

3 PATH OF EGRESS
"3" = CUMULATIVE
OCCUPANCY LOAD
EXITING

EXIT ACCESS TRAVEL ROUTE

20 OCCUPANT LOAD
"20" = CUMULATIVE
OCCUPANCY

ACCESSIBLE PATH OF TRAVEL

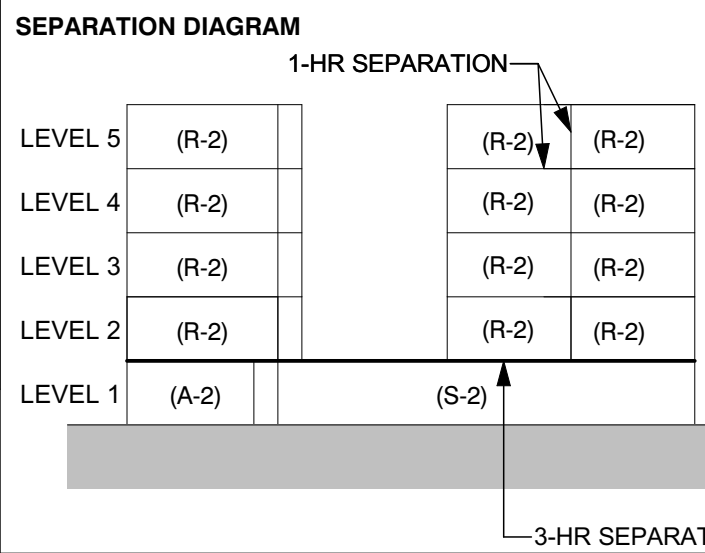
STAIR ENCLOSURE

SPACE USE

NO:	SPACE USE	FLOOR AREA IN SF/ OCCUPANT
1.	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 gross
2.	RESIDENTIAL	200 gross
3.	ASSEMBLY WITH UNCONCENTRATED (TABLES AND CHAIRS)	15 net
4.	BUSINESS AREA	100 gross
5.	PARKING GARAGE	200 gross

OCCUPANCY SEPARATION

OCCUPANCY	R-2	S-2	A-2
R-2	-	1HR	1HR
S-2	1HR	-	-
A-2	1HR	-	-



project title

LA MESA VILLAGE

4757 PALM AVE, LA MESA, CA 91942

stamp

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CODE COMPLIANCE

sdA ARCHITECTS

job no.
date

2036

08/05/2021
PRESUBMITTAL REVIEW

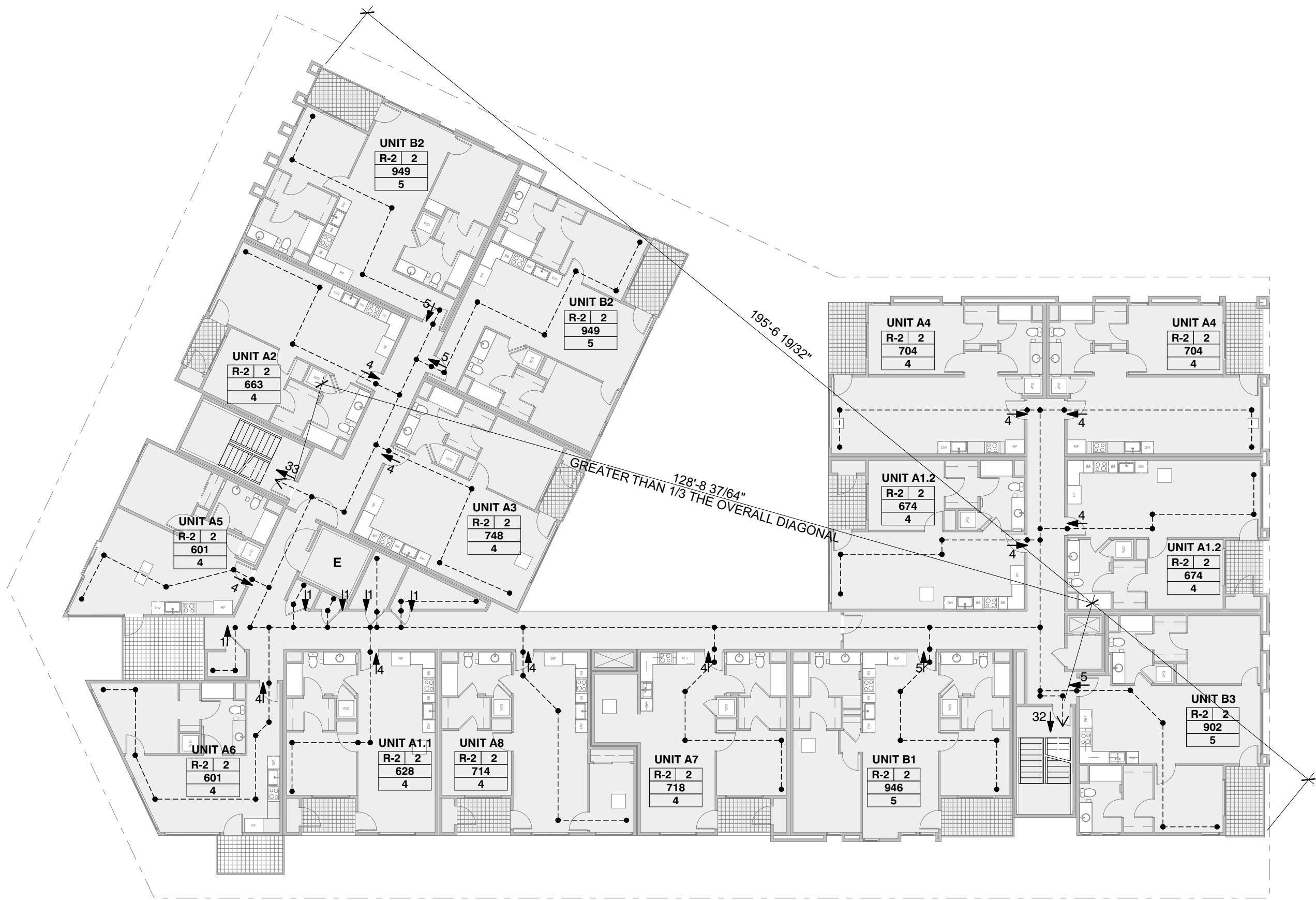
03/21/2022
PRESUBMITTAL REVIEW 2

05/20/2022
PRESUBMITTAL REVIEW 3

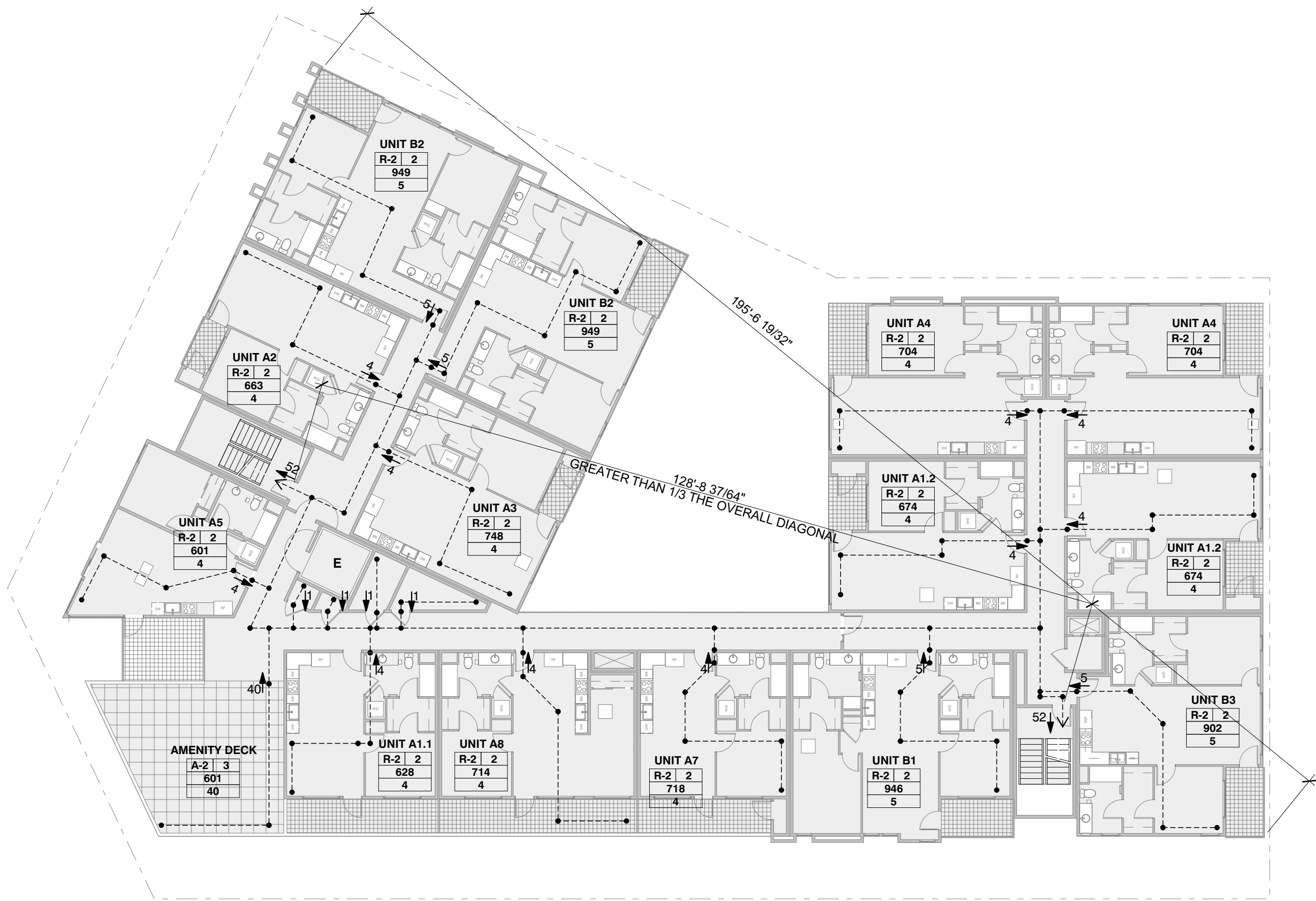
09/14/2022
PRESUBMITTAL REVIEW 4

sheet

A0-2



1 3RD-4TH FLOOR EGRESS PLAN
SCALE: 1/16" = 1'-0"



2 5TH FLOOR EGRESS PLAN
SCALE: 1/16" = 1'-0"

CODE ANALYSIS

BUILDING USAGE:	"S-2"	STORAGE/MECHANICAL
	"R-2"	RESIDENTIAL
	"A-2"	COMMERCIAL
CONSTRUCTION TYPE: TYPE IA, (PODIUM), GARAGE LEVEL TYPE VA RESIDENTIAL LEVELS		
FIRE SPRINKLERS: NFPA 13		
ALLOWABLE BUILDING HEIGHT AND ALLOWABLE AREA PER STORY:		
UL = UNLIMITED		
GROUP S-2	UL HEIGHT 1 STORY*	PER CBC 504.3 PER SPECIAL PROVISION CBC 510.4
	UL AREA	PER CBC TABLE 506.2
GROUP R-2	60'-0" 4 STORY 36,000 SF	PER CBC 504.3 PER CBC 504.4 PER CBC TABLE 506.2
	UL HEIGHT UL STORY UL AREA	PER CBC 504.3 PER CBC 504.4 PER CBC TABLE 506.2
FRONTAGE INCREASE (CBC 506.2): (AREA INCREASE NOT USED) If = 0		
ACTUAL SQUARE FOOTAGE:		
OPEN GARAGE PARKING		
OCCUPANCY GROUP S-2		
ACUTAL SQUARE FOOTAGE		
LEVEL 1 GROUP S-2 10,257 SF		
RATIO OF ACTUAL FLOOR AREA TO ALLOWABLE AREA:		
*ALLOWABLE AREA IS UNLIMITED - NO RATIO		
RESIDENTIAL		
OCCUPANCY GROUP R-2		
GROUP R-2	LEVEL 1	4,965 SF
	LEVEL 2	14,422 SF
	LEVEL 3	14,422 SF
	LEVEL 4	14,422 SF
	LEVEL 5	13,422 SF
SUBT-TOTAL		61,653 SF
COMMERCIAL		
OCCUPANCY GROUP A-2		
ACUTAL SQUARE FOOTAGE		
LEVEL 1 GROUP A-2 2,377 SF		
TOTAL GFA 74,287 SF		
RATIO OF ACTUAL FLOOR AREA TO ALLOWABLE AREA:		
GROUP R-2		
LEVEL 1: R-2	4,965/36,000 SF	= 0.138
	LEVEL 2: R-2	14,422/36,000 SF = 0.400
	LEVEL 3: R-2	14,422/36,000 SF = 0.400
	LEVEL 4: R-2	14,422/36,000 SF = 0.400
	LEVEL 5: R-2	13,422/36,000 SF = 0.373
SUM OF RATIOS:		
S-2	UL	
R-2	1.711	
A-2	UL	
TOTAL		1.711 < 2 (REF CBC 506.2.4)

CODE ANALYSIS LEGEND

UNIT = ROOM NAME	
* =	COMMUNICATION FEATURES PROVIDED PER CBC TABLE 11B-224.4
UNIT*	
R-2 2	
525	
3	
* =	MOBILITY FEATURES PROVIDED PER CBC TABLE 11B-224.2
R-2 =	OCCUPANCY TYPE
2 =	SPACE USE - REFER TO SPACE USE SCHEDULE
525 =	FLOOR AREA - SQUARE FOOTAGE
3 =	OCCUPANT LOAD (CBC TABLE 1004.1.2)
3	PATH OF EGRESS
"3" =	CUMULATIVE OCCUPANCY LOAD EXITING
● - - - ●	EXIT ACCESS TRAVEL ROUTE
20	OCCUPANT LOAD "20" = CUMULATIVE OCCUPANCY
←	ACCESSIBLE PATH OF TRAVEL
▨	STAIR ENCLOSURE

SPACE USE

NO:	SPACE USE	FLOOR AREA IN SF/ OCCUPANT
1.	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 gross
2.	RESIDENTIAL	200 gross
3.	ASSEMBLY WITH UNCONCENTRATED (TABLES AND CHAIRS)	15 net
4.	BUSINESS AREA	100 gross
5.	PARKING GARAGE	200 gross

OCCUPANCY SEPARATION

OCCUPANCY SEPARATION PER CBC TABLE 508.4			
OCCUPANCY	R-2	S-2	A-2
R-2	-	1HR	1HR
S-2	1HR	-	-
A-2	1HR	-	-

SEPARATION DIAGRAM			
1-HR SEPARATION			
LEVEL 5	(R-2)	(R-2)	(R-2)
LEVEL 4	(R-2)	(R-2)	(R-2)
LEVEL 3	(R-2)	(R-2)	(R-2)
LEVEL 2	(R-2)	(R-2)	(R-2)
LEVEL 1	(A-2)	(S-2)	
3-HR SEPARATION			

project title

LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

stamp

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SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

CODE COMPLIANCE

job no. 2036

date

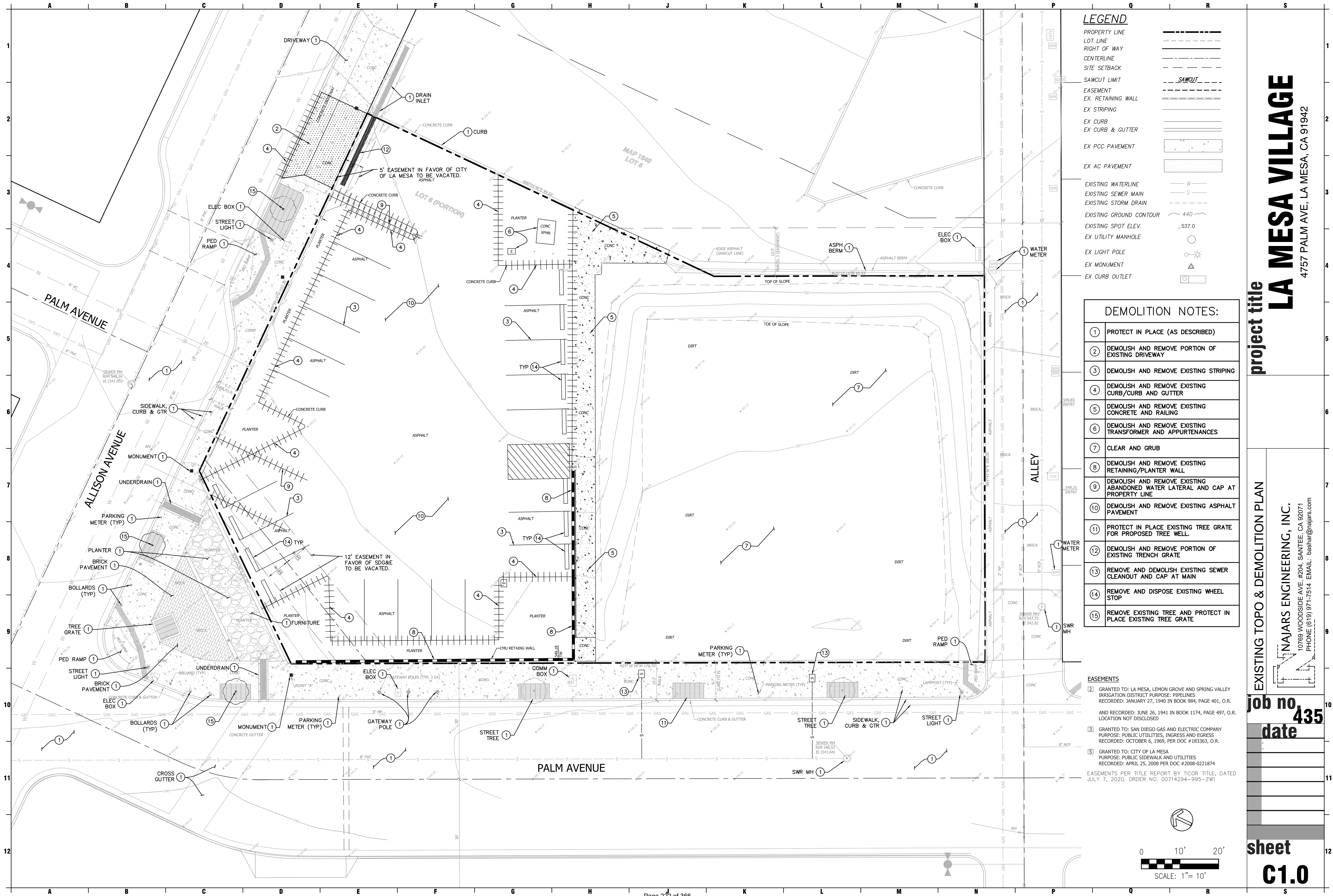
08/05/2021
PRESUBMITTAL REVIEW

03/21/2022
PRESUBMITTAL REVIEW 2

05/20/2022
PRESUBMITTAL REVIEW 3

09/14/2022
PRESUBMITTAL REVIEW 4

sheet
A0-3



LEGEND

- PROPERTY LINE
LOT LINE
RIGHT OF WAY
CENTERLINE
SITE SETBACK
SAWCUT LIMIT
EASEMENT
EX. RETAINING WALL
EX STRIPING
EX CURB
EX CURB & GUTTER
EX PCC PAVEMENT
EX AC PAVEMENT
EXISTING WATERLINE
EXISTING SEWER MAIN
EXISTING STORM DRAIN
EXISTING GROUND CONTOUR
EXISTING SPOT ELEV.
EX UTILITY MANHOLE
EX LIGHT POLE
EX MONUMENT
EX CURB OUTLET

DEMOLITION NOTES:

1	PROTECT IN PLACE (AS DESCRIBED)
2	DEMOLISH AND REMOVE PORTION OF EXISTING DRIVEWAY
3	DEMOLISH AND REMOVE EXISTING STRIPING
4	DEMOLISH AND REMOVE EXISTING CURB/CURB AND GUTTER
5	DEMOLISH AND REMOVE EXISTING CONCRETE AND RAILING
6	DEMOLISH AND REMOVE EXISTING TRANSFORMER AND APPURTENANCES
7	CLEAR AND GRUB
8	DEMOLISH AND REMOVE EXISTING RETAINING/PLANTER WALL
9	DEMOLISH AND REMOVE EXISTING ABANDONED WATER LATERAL AND CAP AT PROPERTY LINE
10	DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT
11	PROTECT IN PLACE EXISTING TREE GRATE FOR PROPOSED TREE WELL
12	DEMOLISH AND REMOVE PORTION OF EXISTING TRENCH GRATE
13	REMOVE AND DEMOLISH EXISTING SEWER CLEANOUT AND CAP AT MAIN
14	REMOVE AND DISPOSE EXISTING WHEEL STOP
15	REMOVE EXISTING TREE AND PROTECT IN PLACE EXISTING TREE GRATE

EASEMENTS

- 2 GRANTED TO: LA MESA, LEMON GROVE AND SPRING VALLEY IRRIGATION DISTRICT PURPOSE: PIPELINES
RECORDED: JANUARY 27, 1940 IN BOOK 984, PAGE 401, O.R.
AND RECORDED: JUNE 26, 1941 IN BOOK 1174, PAGE 497, O.R.
LOCATION NOT DISCLOSED
- 3 GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS
RECORDED: OCTOBER 6, 1969, PER DOC #183363, O.R.
- 5 GRANTED TO: CITY OF LA MESA
PURPOSE: PUBLIC SIDEWALK AND UTILITIES
RECORDED: APRIL 25, 2008 PER DOC #2008-0221874

EASEMENTS PER TITLE REPORT BY TICOR TITLE, DATED JULY 7, 2020. ORDER NO. 00714294-995-ZW1

project title

EXISTING TOPO & DEMOLITION PLAN

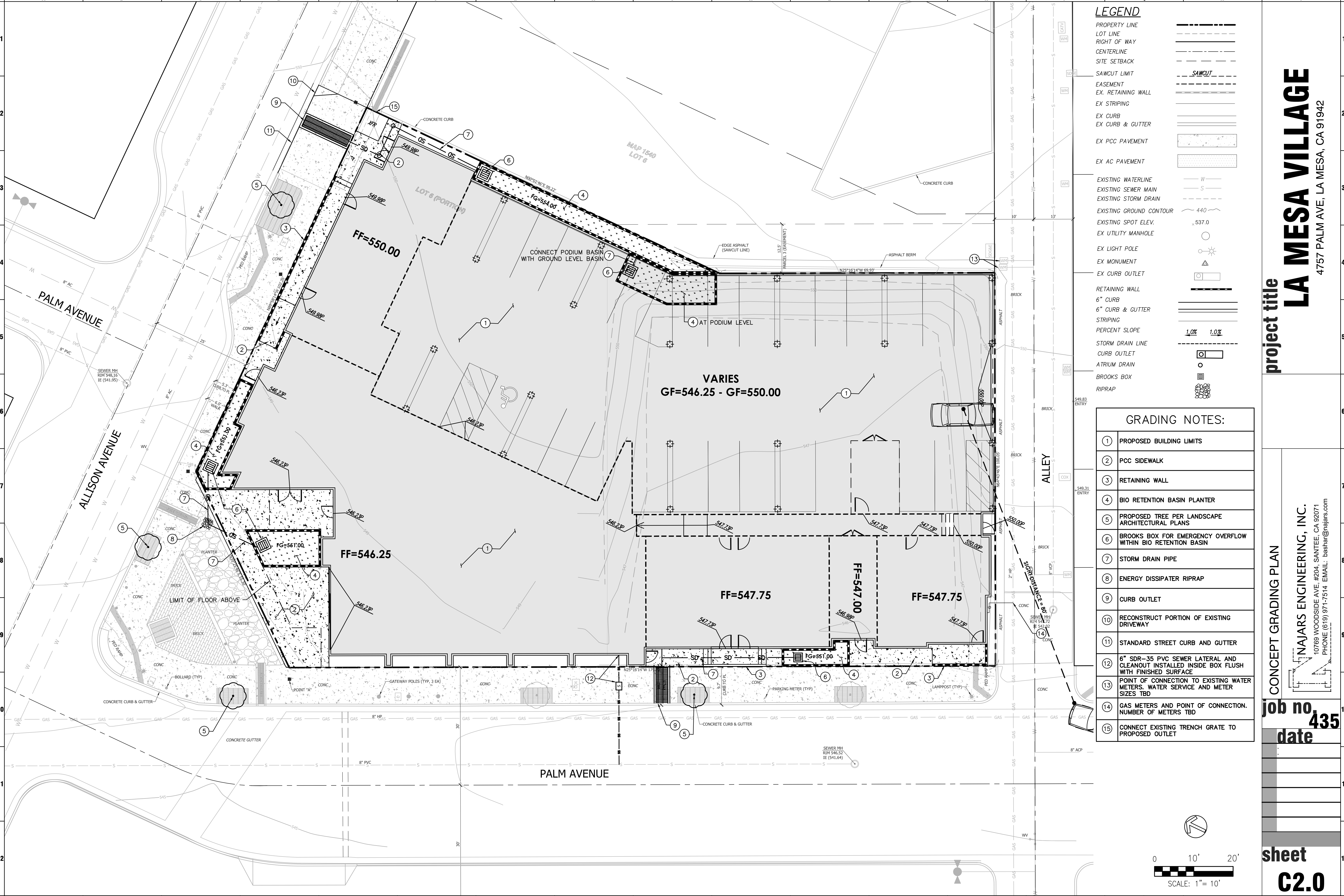
job no
date

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C1.0

LA MESA VILLAGE

4757 PALM AVE, LA MESA, CA 91942

NAJARS ENGINEERING, INC.
10769 WOODSIDE AVE, #204, SANTEE, CA 92071
PHONE (619) 971-7514 EMAIL: bashar@najars.com



LEGEND

PROPERTY LINE
LOT LINE
RIGHT OF WAY
CENTERLINE
SITE SETBACK

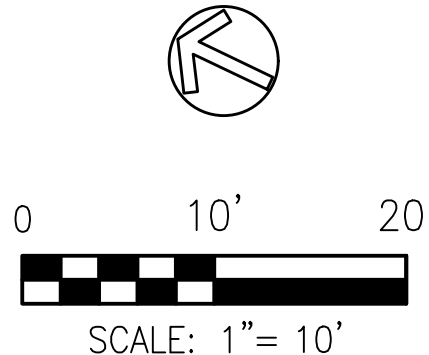
SAWCUT LIMIT
EASEMENT
EX. RETAINING WALL
EX STRIPING
EX CURB
EX CURB & GUTTER
EX PCC PAVEMENT
EX AC PAVEMENT

EXISTING WATERLINE
EXISTING SEWER MAIN
EXISTING STORM DRAIN
EXISTING GROUND CONTOUR
EXISTING SPOT ELEV.
EX UTILITY MANHOLE

EX LIGHT POLE
EX MONUMENT
EX CURB OUTLET

RETAINING WALL
6" CURB
6" CURB & GUTTER
STRIPING
PERCENT SLOPE
STORM DRAIN LINE
CURB OUTLET
ATRIUM DRAIN
BROOKS BOX
RIPRAP

GRADING NOTES:	
①	PROPOSED BUILDING LIMITS
②	PCC SIDEWALK
③	RETAINING WALL
④	BIO RETENTION BASIN PLANTER
⑤	PROPOSED TREE PER LANDSCAPE ARCHITECTURAL PLANS
⑥	BROOKS BOX FOR EMERGENCY OVERFLOW WITHIN BIO RETENTION BASIN
⑦	STORM DRAIN PIPE
⑧	ENERGY DISSIPATER RIPRAP
⑨	CURB OUTLET
⑩	RECONSTRUCT PORTION OF EXISTING DRIVEWAY
⑪	STANDARD STREET CURB AND GUTTER
⑫	6" SDR-35 PVC SEWER LATERAL AND CLEANOUT INSTALLED INSIDE BOX FLUSH WITH FINISHED SURFACE
⑬	POINT OF CONNECTION TO EXISTING WATER METERS. WATER SERVICE AND METER SIZES TBD
⑭	GAS METERS AND POINT OF CONNECTION. NUMBER OF METERS TBD
⑮	CONNECT EXISTING TRENCH GRATE TO PROPOSED OUTLET



project title

CONCEPT GRADING PLAN

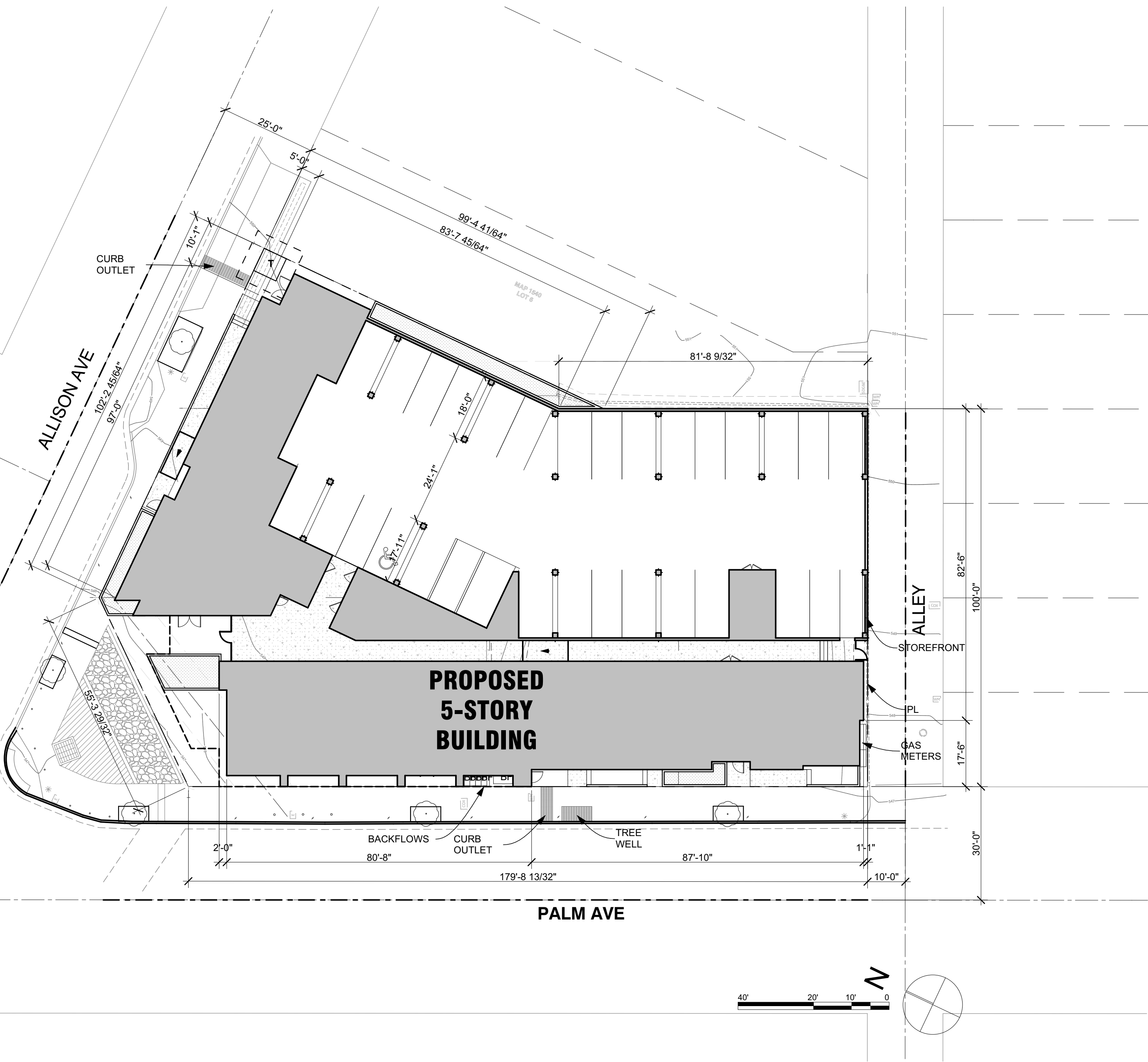
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LA MESA VILLAGE

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1 SITE PLAN
SCALE: 1" = 20'

SITE PLAN LEGEND

- EXISTING BUILDING FOOTPRINT
- PROPOSED BUILDING FOOTPRINT
- SECOND FLOOR
- HARDSCAPE: CONCRETE
- HARDSCAPE: DECOMPOSED GRANITE
- HARDSCAPE: PAVERS
- LANDSCAPE

REFER TO CIVIL PLANS FOR ADDITIONAL SITE AND GRADING INFORMATION

ARCHITECTURAL SITE PLAN

project title

stamp

job no.

date

sheet

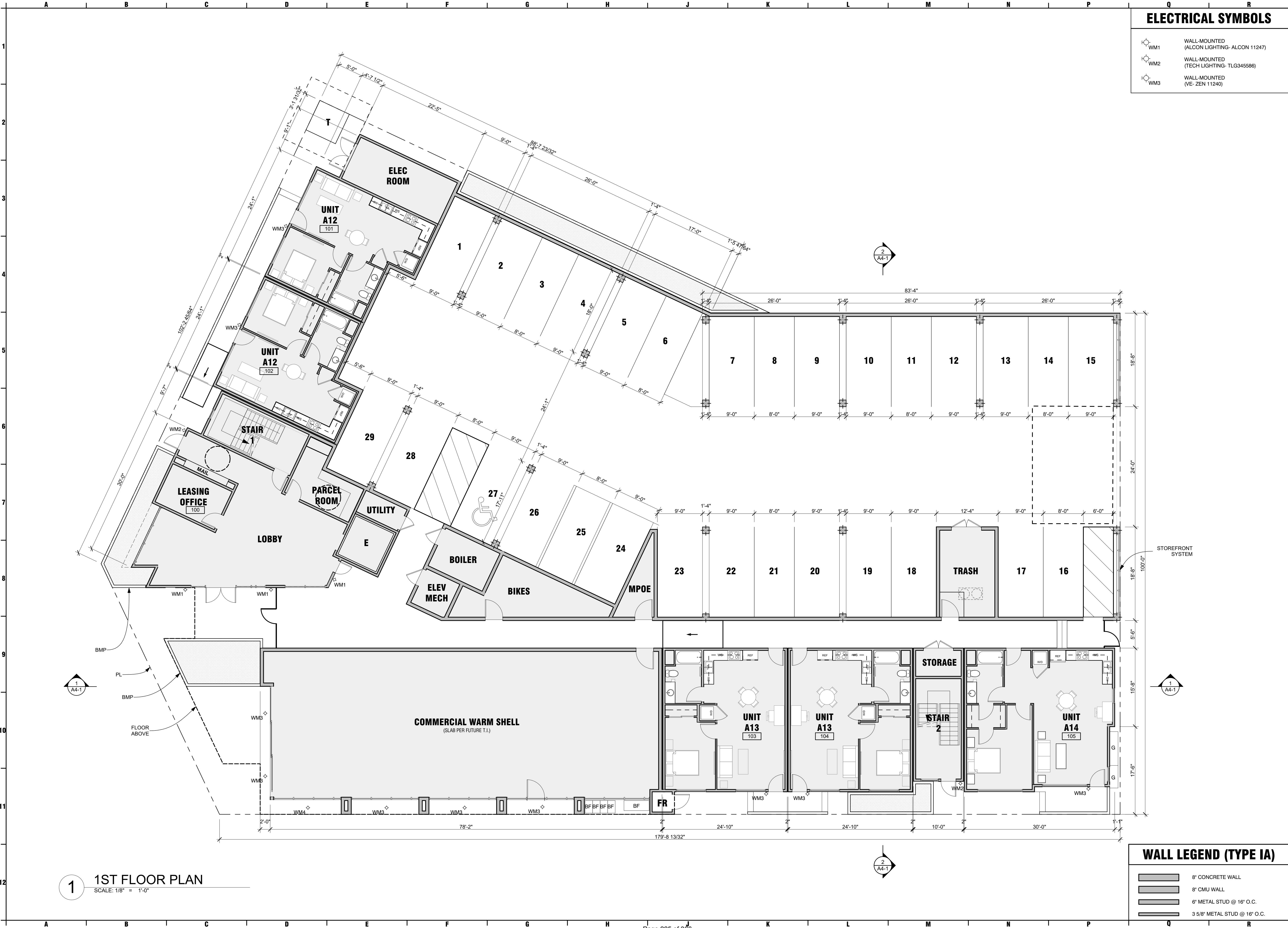
A1-1

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LA MESA VILLAGE
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ELECTRICAL SYMBOLS

- WM1 WALL-MOUNTED (ALCON LIGHTING- ALCON 11247)
- WM2 WALL-MOUNTED (TECH LIGHTING- TLG345586)
- WM3 WALL-MOUNTED (VE- ZEN 11240)

WALL LEGEND (TYPE IA)

- 8" CONCRETE WALL
- 8" CMU WALL
- 6" METAL STUD @ 16" O.C.
- 3 5/8" METAL STUD @ 16" O.C.

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stamp

FLOOR PLAN

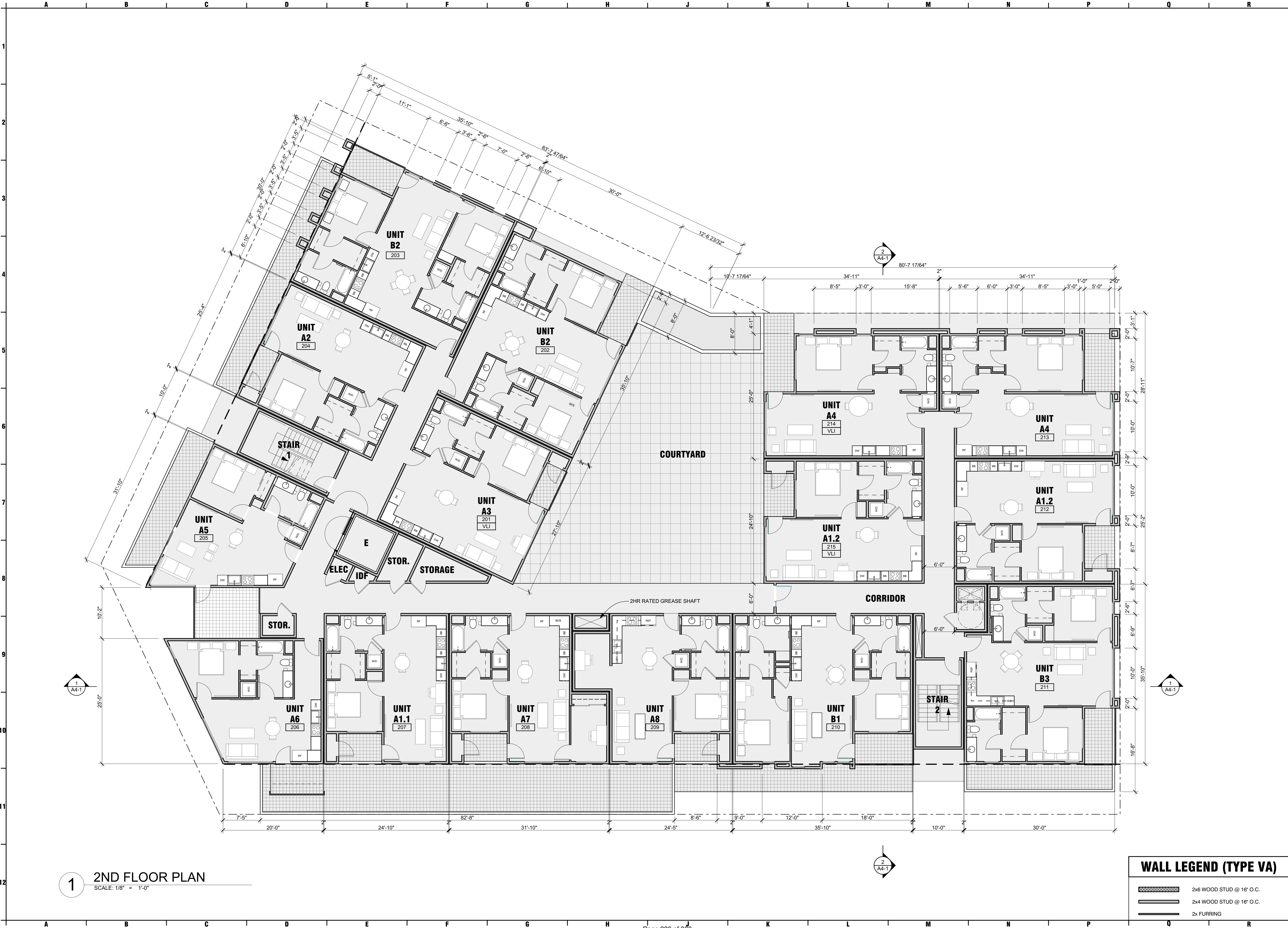
job no. 2036

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1 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL LEGEND (TYPE VA)	
	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

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FLOOR PLAN

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2036

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1 3RD-4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL LEGEND (TYPE VA)	
	2x6 WOOD STUD @ 16" O.C.
	2x4 WOOD STUD @ 16" O.C.
	2x FURRING

project title

stamp

FLOOR PLAN

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2036

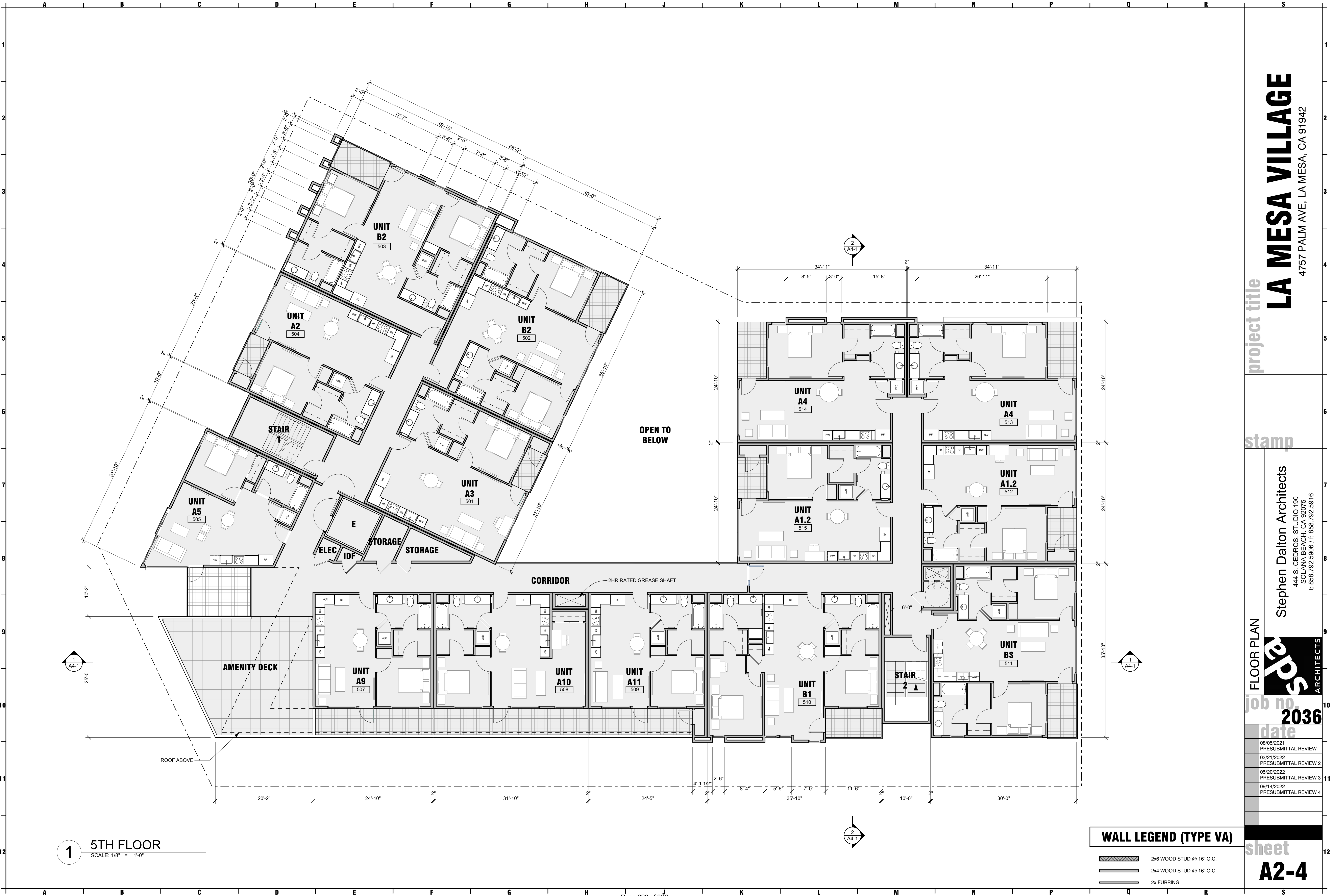
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1 5TH FLOOR
SCALE: 1/8" = 1'-0"

WALL LEGEND (TYPE VA)

- 2x6 WOOD STUD @ 16" O.C.
- 2x4 WOOD STUD @ 16" O.C.
- 2x FURRING

project title

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FLOOR PLAN

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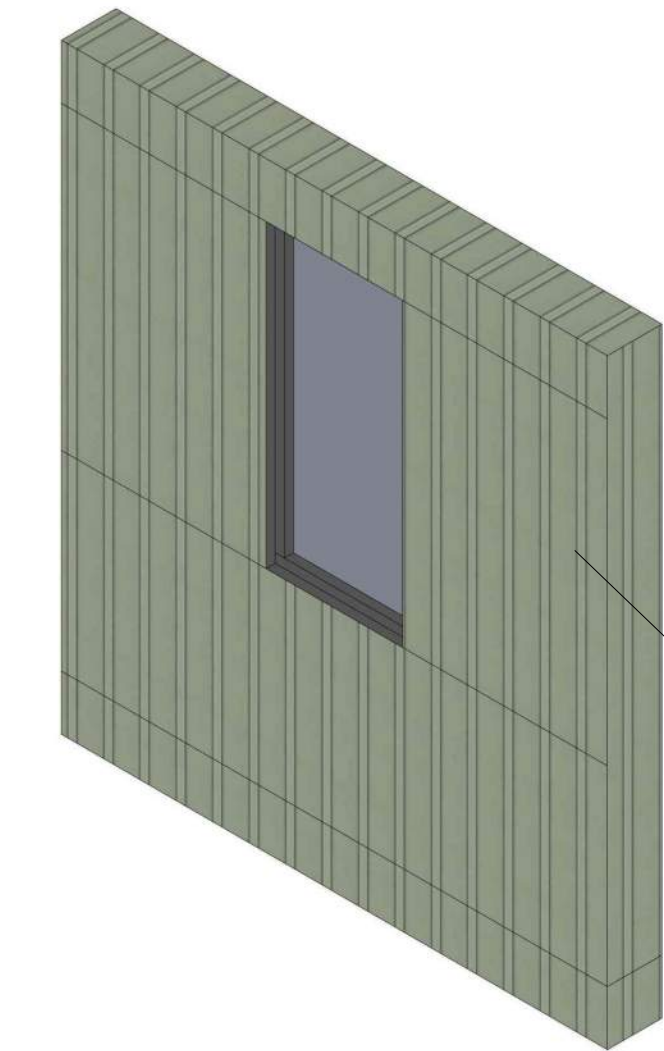


WOOD SIDING/SOFFT

MANUF: ALUMABOARD
COLOR: AMBER BAMBOO
SIZE: 6"

INTEGRAL COLOR STUCCO

MANUF: LA HABRA
COLOR TO MATCH:
DUNN EDWARDS 'SOUR APPLE',
'DOLPHIN TALES' 'ECOLOGICAL'



METAL SIDING

MANUF: BRIDGERSTEEL
MODEL: SNAP BATTEN (1 1/2" x 1 1/2")
COLOR: HEMLOCK GREEN
PANEL WIDTHS: 12", 16", 20" IN
VARIED PATTERN



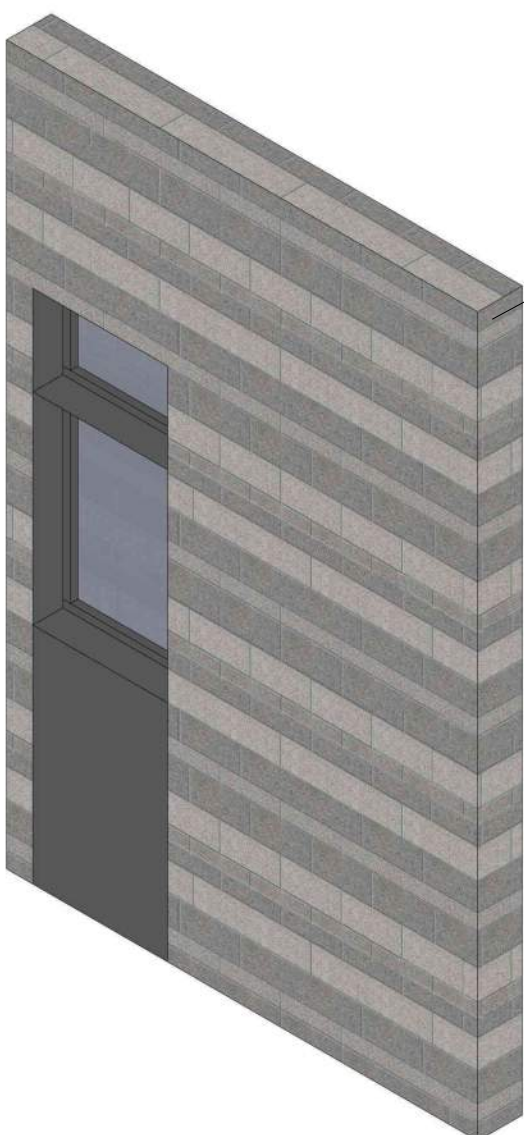
BRICK VENEER

MANUF: BELDEN BRICK
MODEL: THIN BRICK
COLOR: ENGLISH GRAY VELOUR
SIZE: ECONOMO MODULAR (3 5/8" H
x 7 5/8" L)



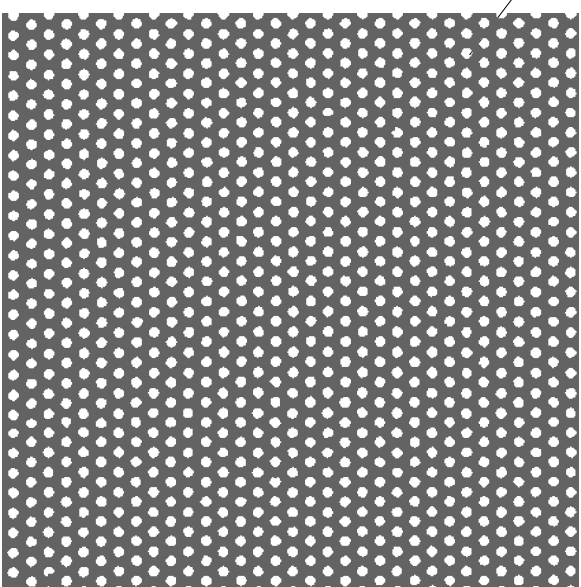
STOREFRONT

COLOR: DARK BRONZE ANODIZED
ALUMINUM



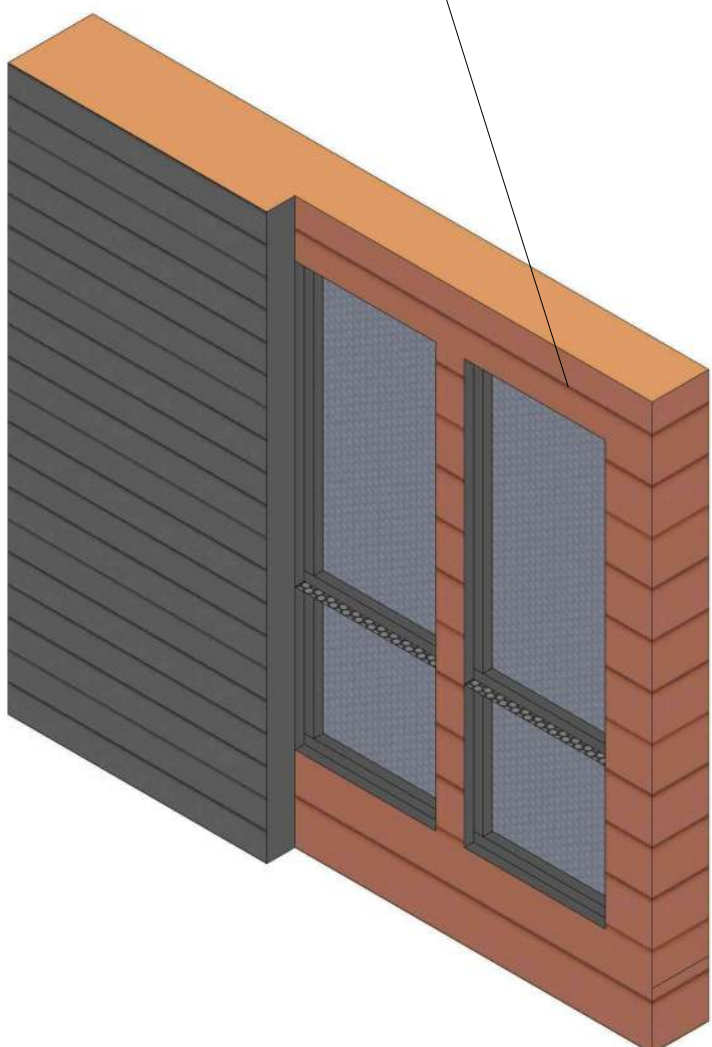
CMU WALL

COLOR: VARIES



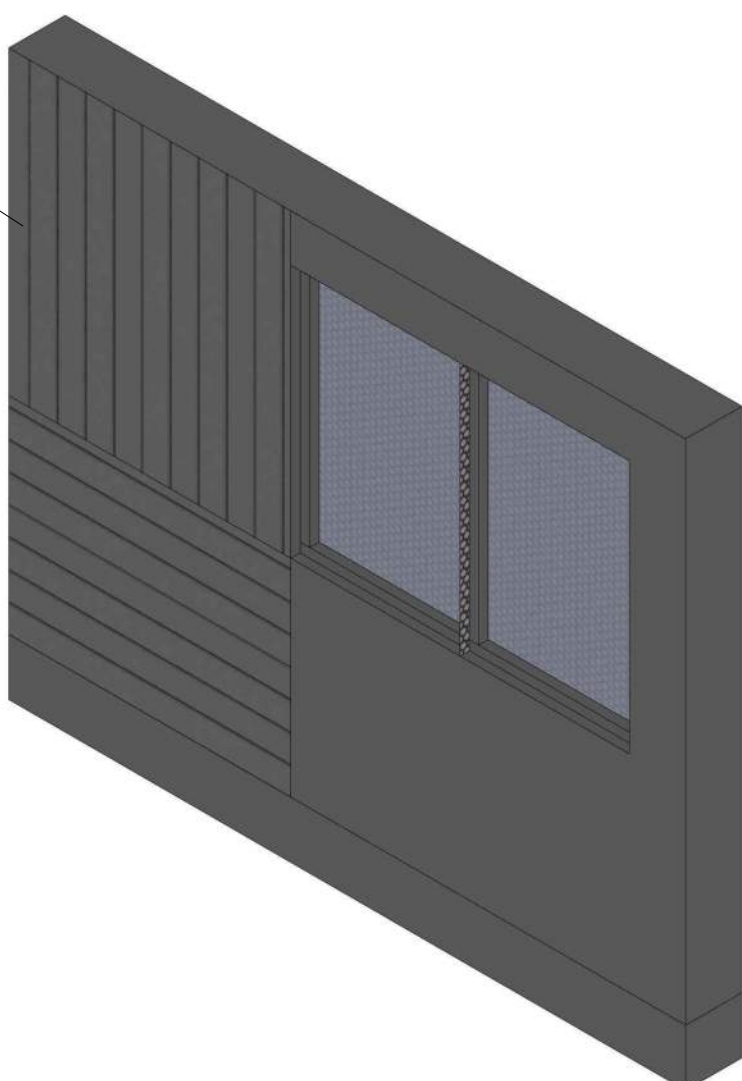
PERFORATED METAL

MANUF: MCNICHOLS
MODEL: ROUND, STAINLESS STEEL,
1" ROUND



FIBER CEMENT BOARD

MANUF: JAMES HARDIE
MODEL: COLONIAL ROUGHSAWN
COLOR: TERRA COTA



METAL PANELS

MANUF: CERACLAD
MODEL: CAST STRIPE
COLOR: DARK GRAY



project title

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MATERIALS BOARD

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sda
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1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXT. FINISH SCHEDULE			
MARK	ELEMENT	DESCRIPTION	MANUF / COLOR
A	METAL SIDING	SNAP BATTEN	'HEMLOCK GREEN' BRIDGERSTEEL
B	METAL SIDING	CAST STRIPE	DARK GRAY CERACLAD
C	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5507 'SOUR APPLE' DUNN EDWARDS
D	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE1600 'DOLPHIN TALES' DUNN EDWARDS
E	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5719 'ECOLOGICAL' DUNN EDWARDS
F	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE6363 'POINTED ROCK' DUNN EDWARDS
G	FIBER CEMENT SIDING	COLONIAL ROUGHSAWN	'TERRA COTTA' JAMES HARDIE
H	BRICK VENEER	THIN BRICK ECONOMO MODULAR	ENGLISH GRAY VELOUR BELDEN BRICK
I	CMU WALL	RUNNING BOND VARY COLOR BY ROW	BLACK 100 MW & GRAY ORCO BLOCK
J	SOFFIT	6" ALUMABOARD	AMBER BAMBOO
K	STOREFRONT SYSTEM	ANODIZED ALUMINUM	DARK BRONZE
L	GUARDRAIL	PERFORATED METAL	MATCH DE6363 'POINTED ROCK' McNICHOLS
M	GUARDRAIL	PERFORATED METAL	MATCH DE6091 'RED HOOK' McNICHOLS
N	GUARDRAIL	CABLE RAIL	DARK BRONZE W/ STAINLESS STEEL CABLES

project title

LA MESA VILLAGE

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EXTERIOR ELEVATIONS

Stephen Dalton Architects

444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
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1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXT. FINISH SCHEDULE			
MARK	ELEMENT	DESCRIPTION	MANUF / COLOR
(A)	METAL SIDING	SNAP BATTEN	'HEMLOCK GREEN' BRIDGERSTEEL
(B)	METAL SIDING	CAST STRIPE	DARK GRAY CERACLAD
(C)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5507 'SOUR APPLE' DUNN EDWARDS
(D)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE1600 'DOLPHIN TALES' DUNN EDWARDS
(E)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5719 'ECOLOGICAL' DUNN EDWARDS
(F)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE6363 'POINTED ROCK' DUNN EDWARDS
(G)	FIBER CEMENT SIDING	COLONIAL ROUGHSAWN	'TERRA COTTA' JAMES HARDIE
(H)	BRICK VENEER	THIN BRICK ECONOMO MODULAR RUNNING BOND VARY COLOR BY ROW	ENGLISH GRAY VELOUR BELDEN BRICK BLACK 100 MW & GRAY ORCO BLOCK
(J)	SOFFIT	6" ALUMABOARD	AMBER BAMBOO
(K)	STOREFRONT SYSTEM	ANODIZED ALUMINUM	DARK BRONZE
(L)	GUARDRAIL	PERFORATED METAL	'POINTED ROCK' McNICHOLS
(M)	GUARDRAIL	PERFORATED METAL	MATCH DE6091 'RED HOOK' McNICHOLS
(N)	GUARDRAIL	CABLE RAIL	DARK BRONZE W/ STAINLESS STEEL CABLES

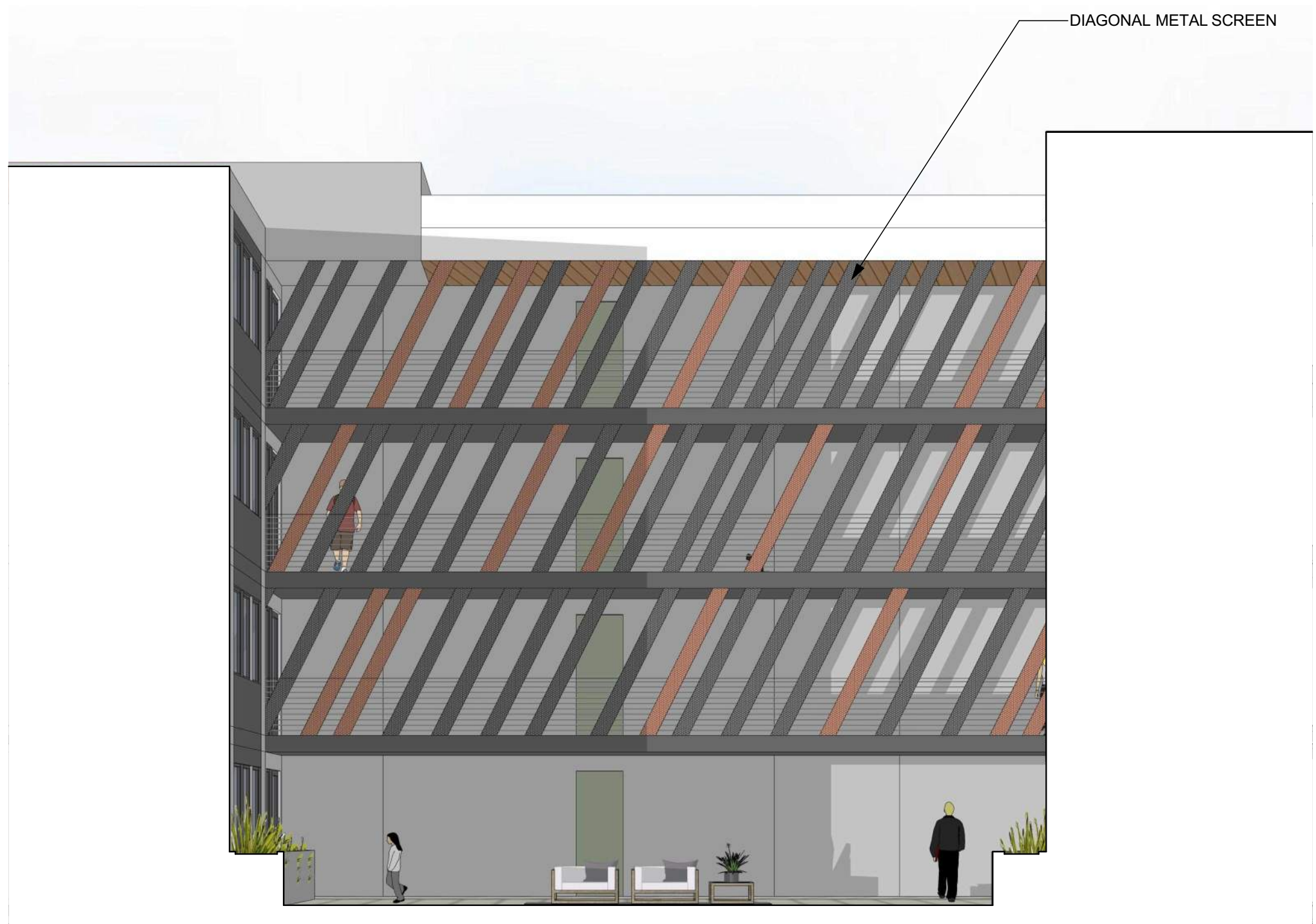
project title
LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

stamp
EXTERIOR ELEVATIONS
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
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3 NORTH COURTYARD
SCALE: 1/8" = 1'-0"



2 EAST COURTYARD
SCALE: 1/8" = 1'-0"



1 SOUTH COURTYARD
SCALE: 1/8" = 1'-0"

EXT. FINISH SCHEDULE			
MARK	ELEMENT	DESCRIPTION	MANUF / COLOR
(A)	METAL SIDING	SNAP BATTEN	"HEMLOCK GREEN" BRIDGERSTEEL
(B)	METAL SIDING	CAST STRIPE	DARK GRAY CERACLAD
(C)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5507 "SOUR APPLE" DUNN EDWARDS
(D)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE1600 "DOLPHIN TALES" DUNN EDWARDS
(E)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE5719 "ECOLOGICAL" DUNN EDWARDS
(F)	EXTERIOR CEMENT PLASTER	20/30 SAND FINISH	MATCH DE6363 "POINTED ROCK" DUNN EDWARDS
(G)	FIBER CEMENT SIDING	COLONIAL ROUGHSAWN	"TERRA COTTA" JAMES HARDIE
(H)	BRICK VENEER	THIN BRICK ECONOMO MODULAR RUNNING BOND VARY COLOR BY ROW	ENGLISH GRAY VELOUR BELDEN BRICK BLACK 100 MW & GRAY ORCO BLOCK
(J)	SOFFIT	6" ALUMABOARD	AMBER BAMBOO
(K)	STOREFRONT SYSTEM	ANODIZED ALUMINUM	DARK BRONZE
(L)	GUARDRAIL	PERFORATED METAL	MATCH DE6363 "POINTED ROCK" McNICHOLS
(M)	GUARDRAIL	PERFORATED METAL	MATCH DE6091 "RED HOOK" McNICHOLS
(N)	GUARDRAIL	CABLE RAIL	DARK BRONZE W/ STAINLESS STEEL CABLES

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LA MESA VILLAGE
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stamp
COURTYARD ELEVATIONS
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NORTH PERSPECTIVE



NORTHWEST PERSPECTIVE



WEST PERSPECTIVE



SOUTHWEST PERSPECTIVE

project title

stamp

EXTERIOR PERSPECTIVES

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LA MESA VILLAGE

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SOUTH PERSPECTIVE



EAST PERSPECTIVE



NORTHEAST PERSPECTIVE



RESIDENTIAL A LONG ALLISON



RESIDENTIAL A LONG PALM



COMMERCIAL CORNER



COMMERCIAL FRONT

project title

stamp

EXTERIOR PERSPECTIVES

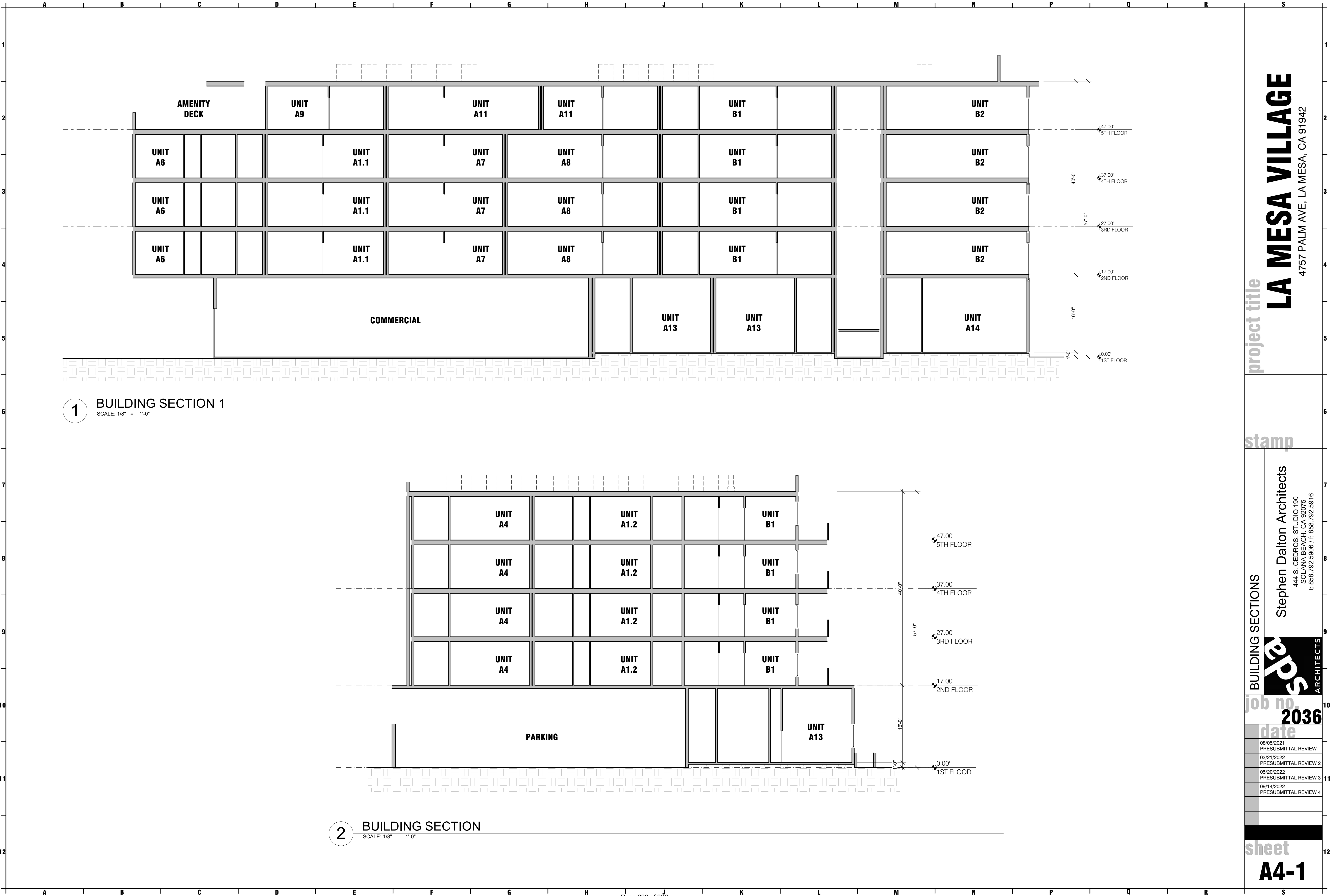
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ARCHITECTS



1 BUILDING SECTION 1
SCALE: 1/8" = 1'-0"

2 BUILDING SECTION
SCALE: 1/8" = 1'-0"

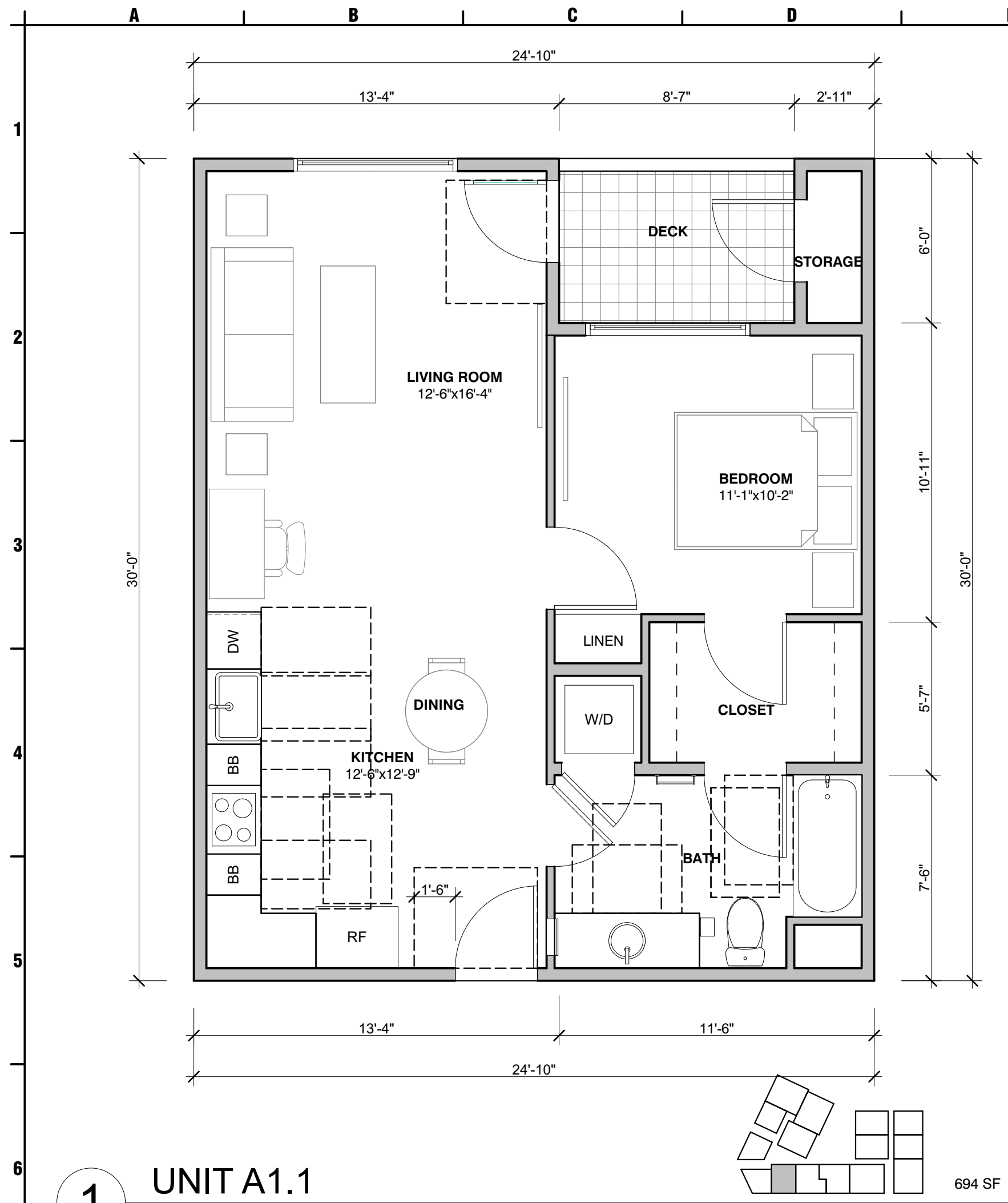
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LA MESA VILLAGE
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stamp
BUILDING SECTIONS
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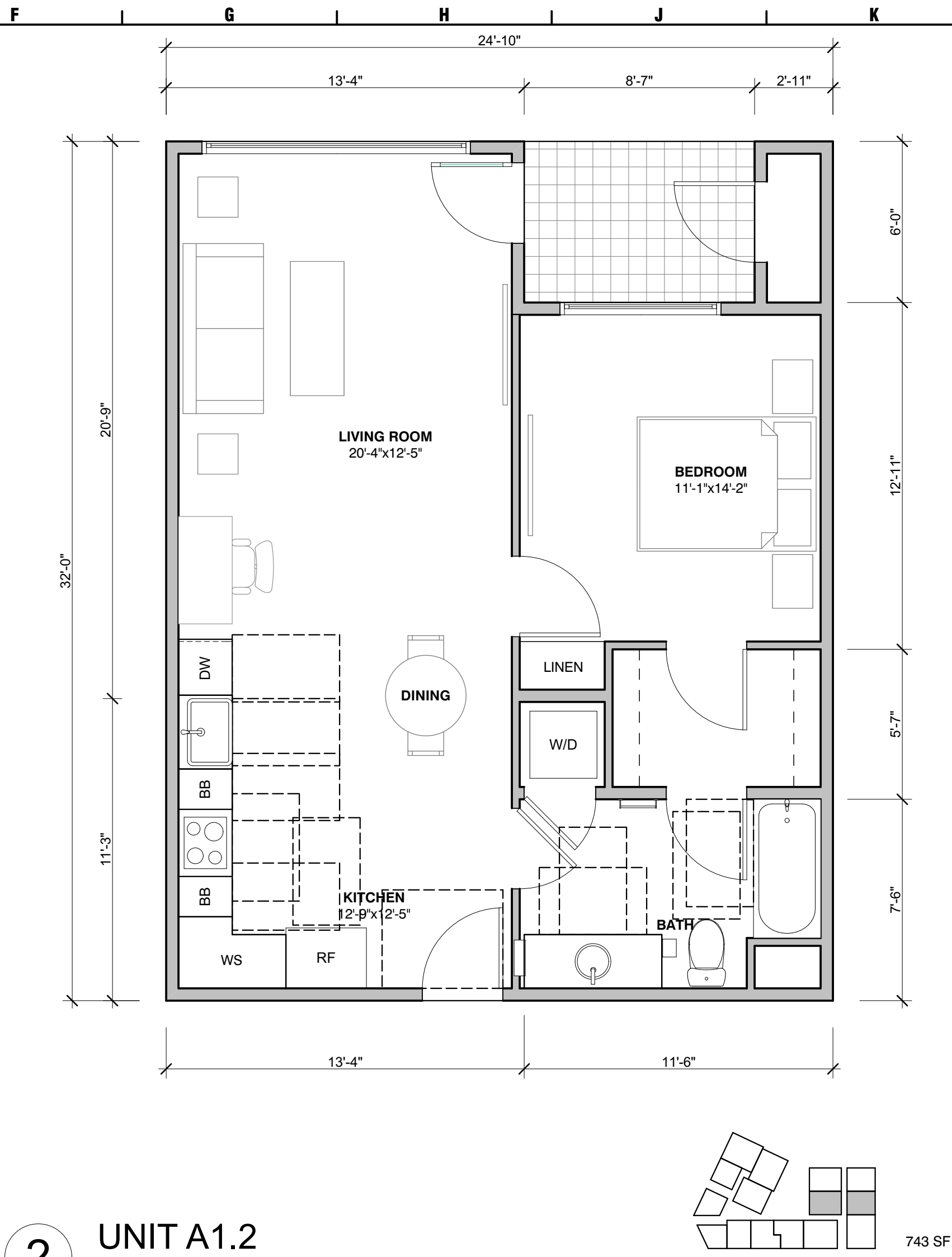


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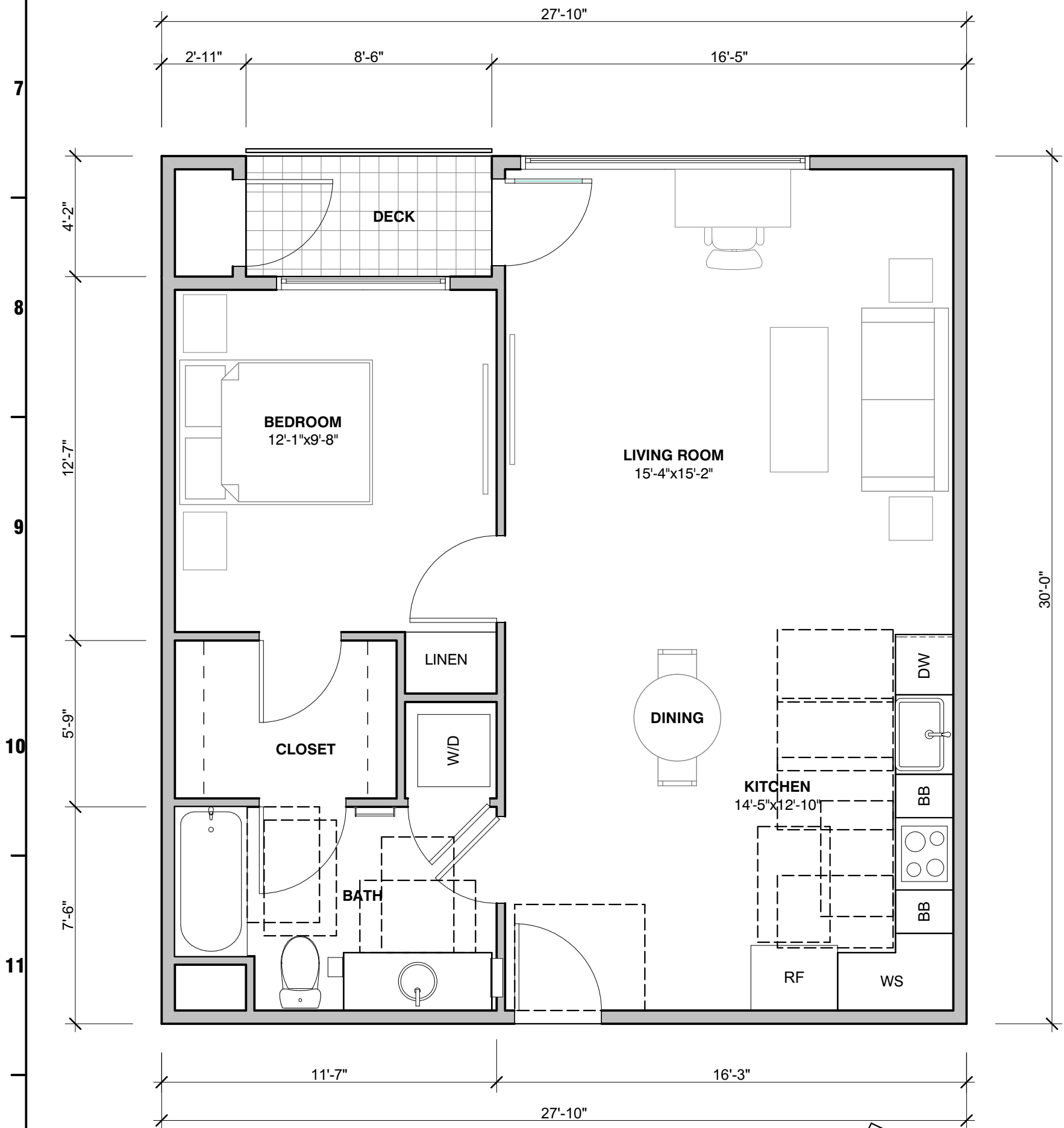
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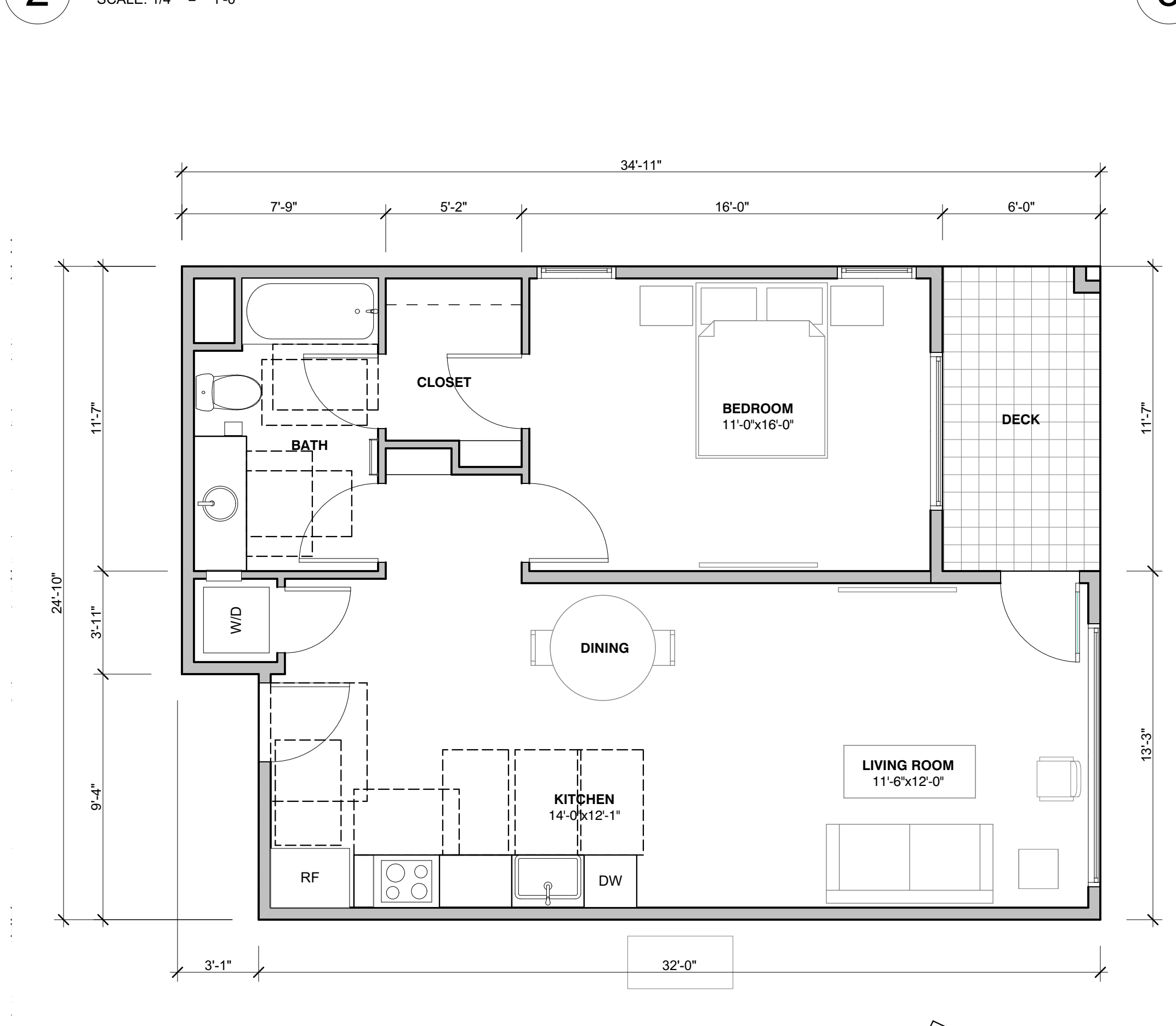
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4 UNIT A3
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5 UNIT A4
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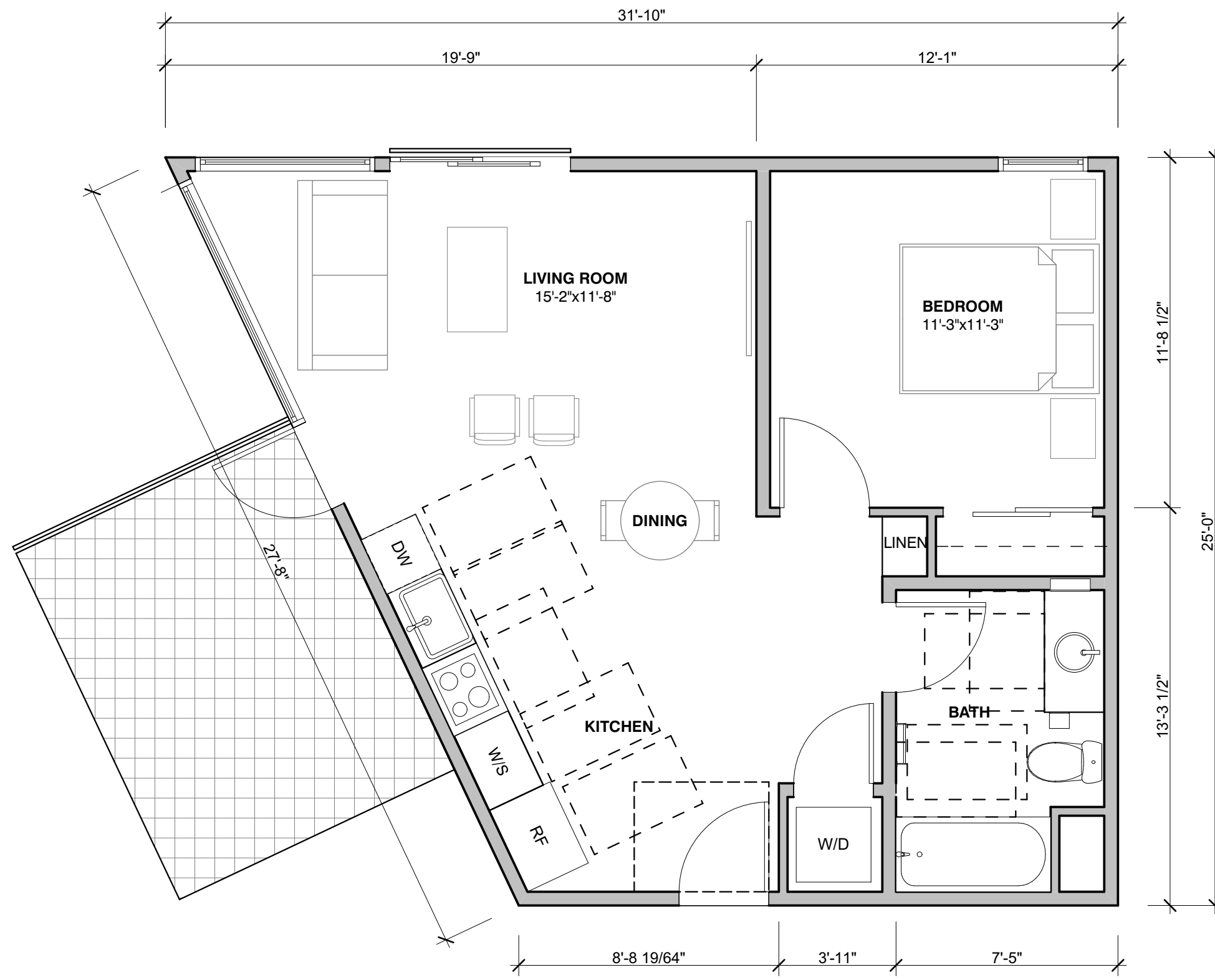
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LA MESA VILLAGE
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UNIT PLANS
Stephen Dalton Architects
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SOLANA BEACH, CA 92075
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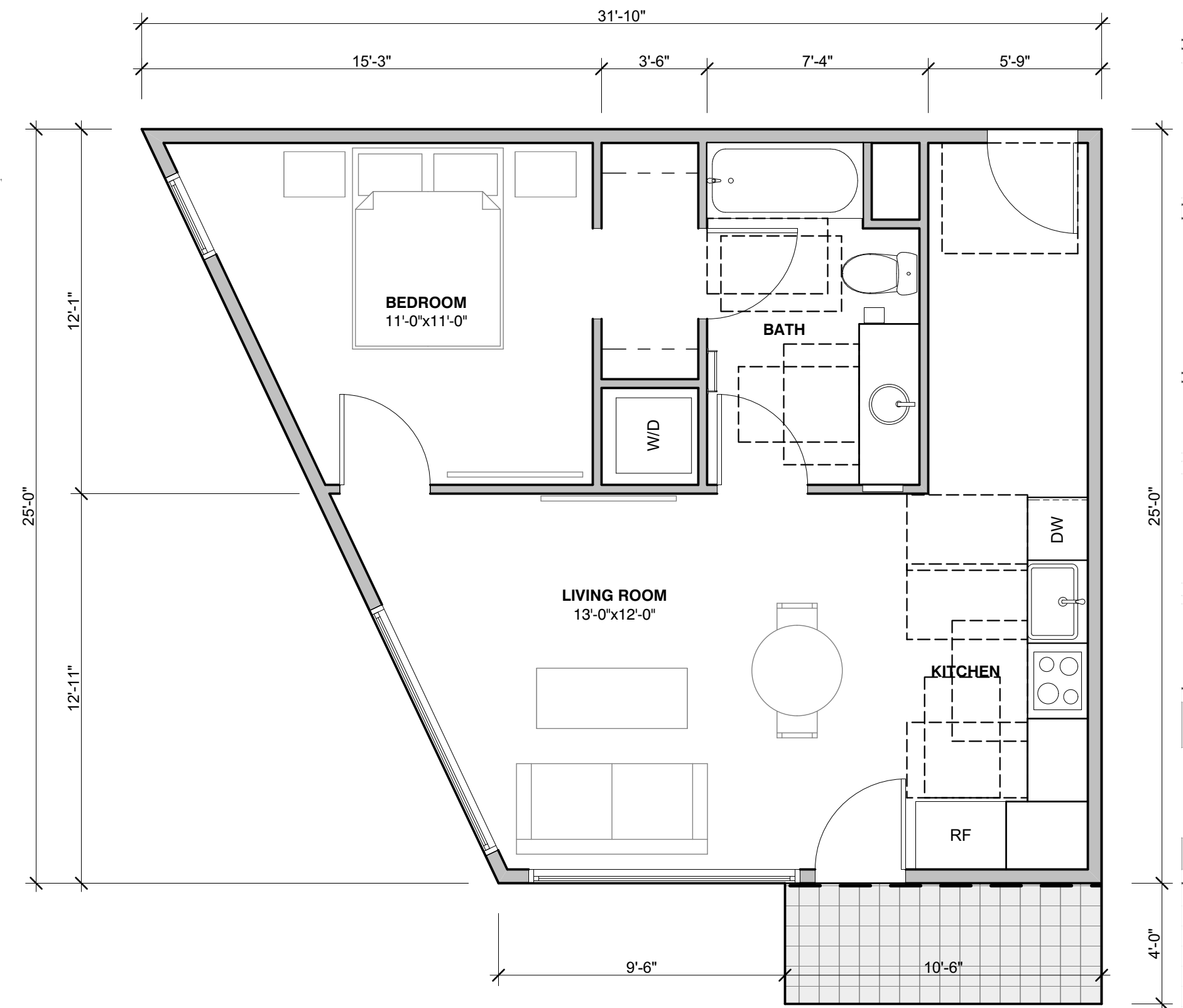
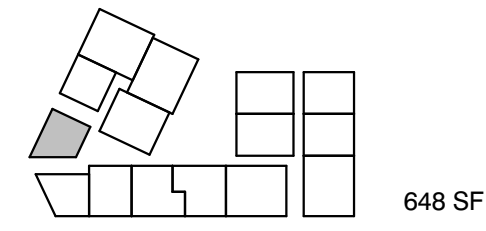
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2036
date

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03/21/2022
PRESUBMITTAL REVIEW 2
05/20/2022
PRESUBMITTAL REVIEW 3
09/14/2022
PRESUBMITTAL REVIEW 4

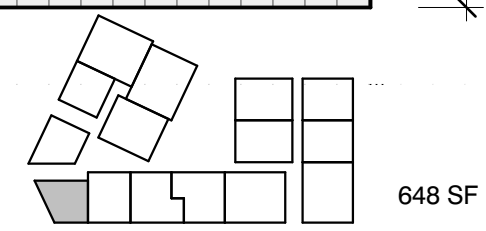
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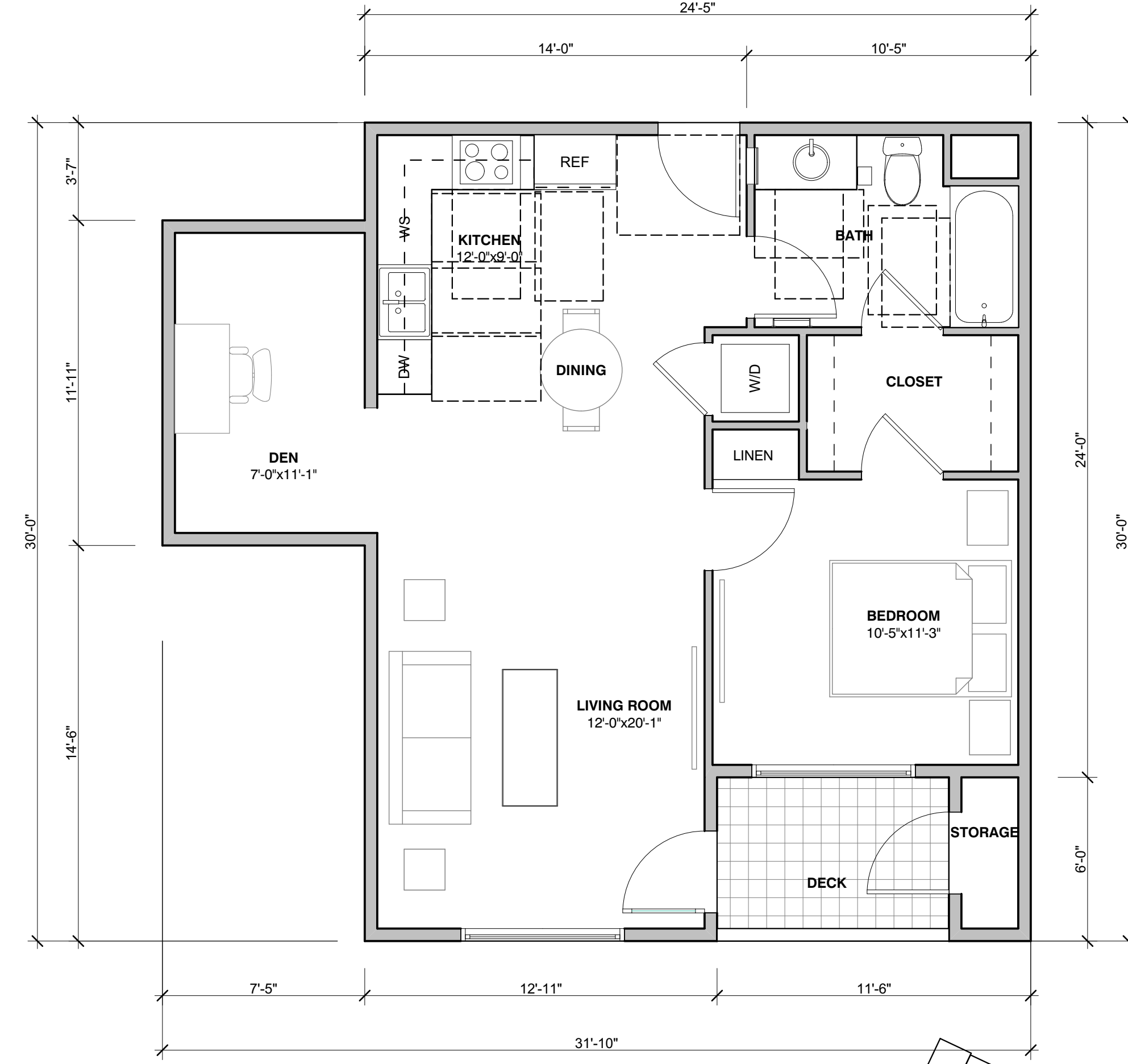
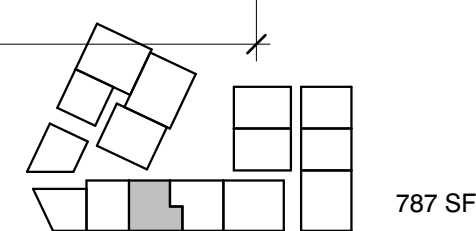
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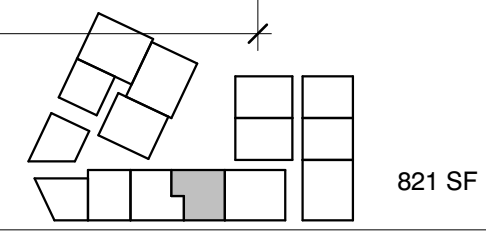
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3 UNIT A7
SCALE: 1/4" = 1'-0"



4 UNIT A8
SCALE: 1/4" = 1'-0"



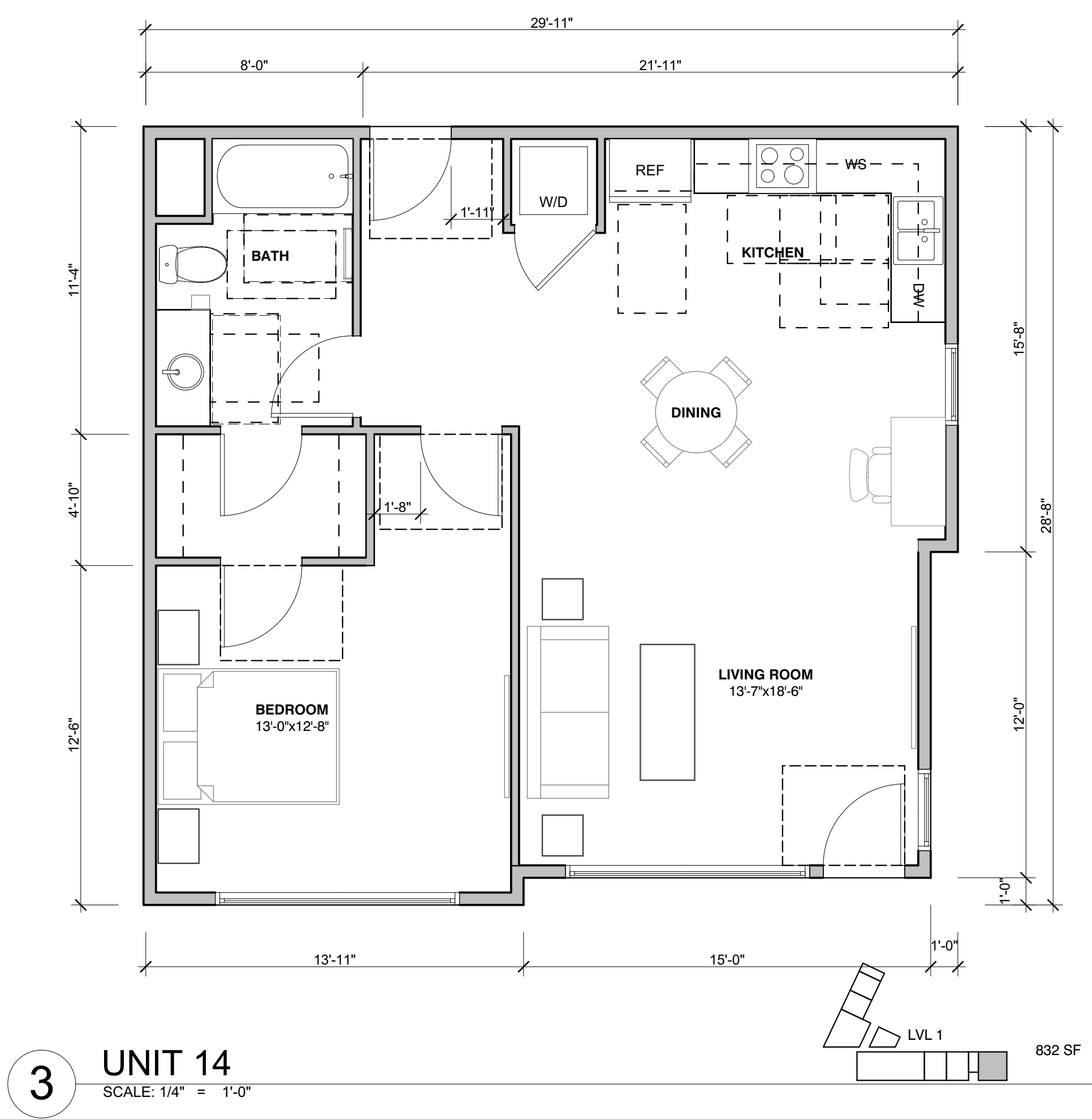
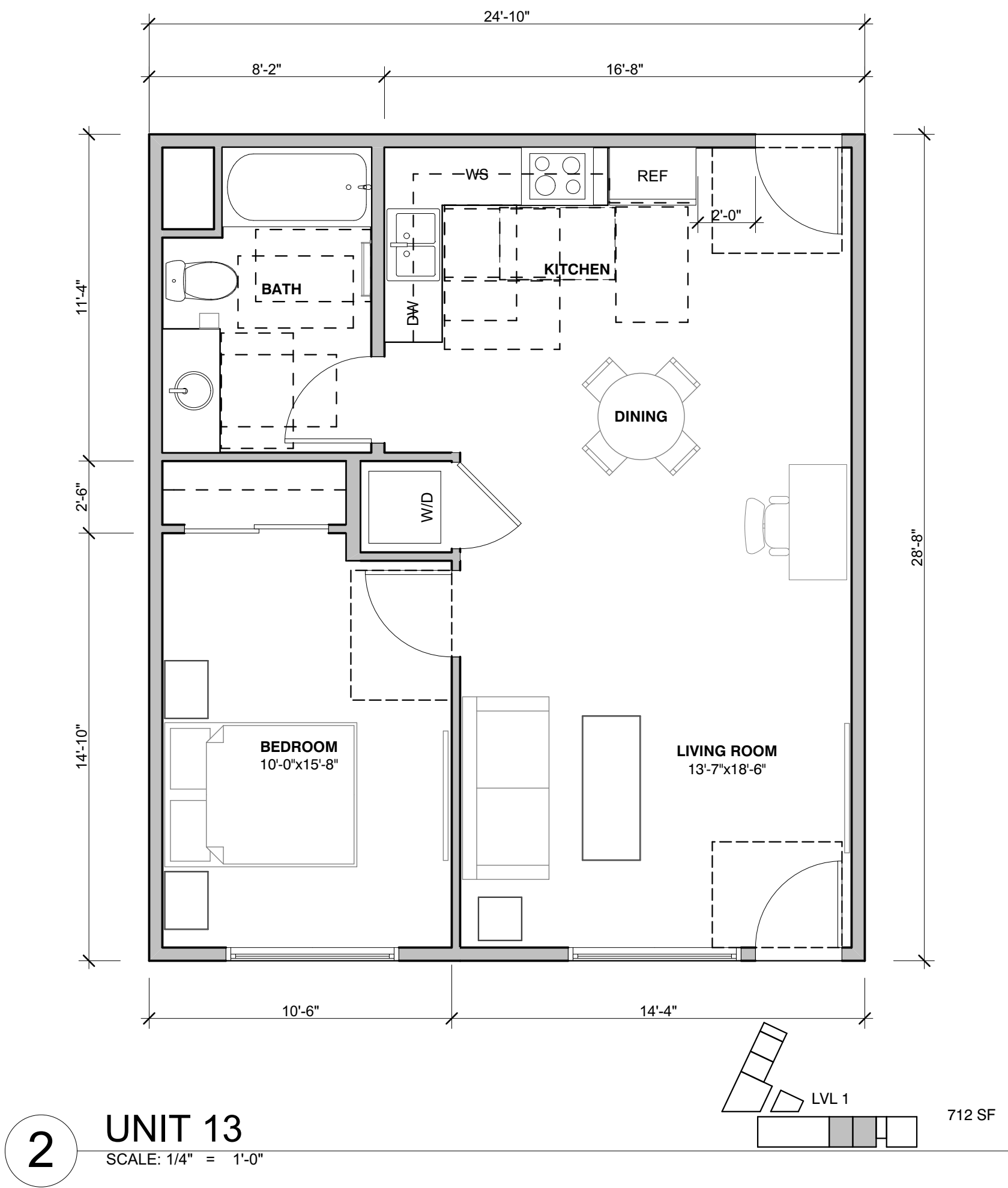
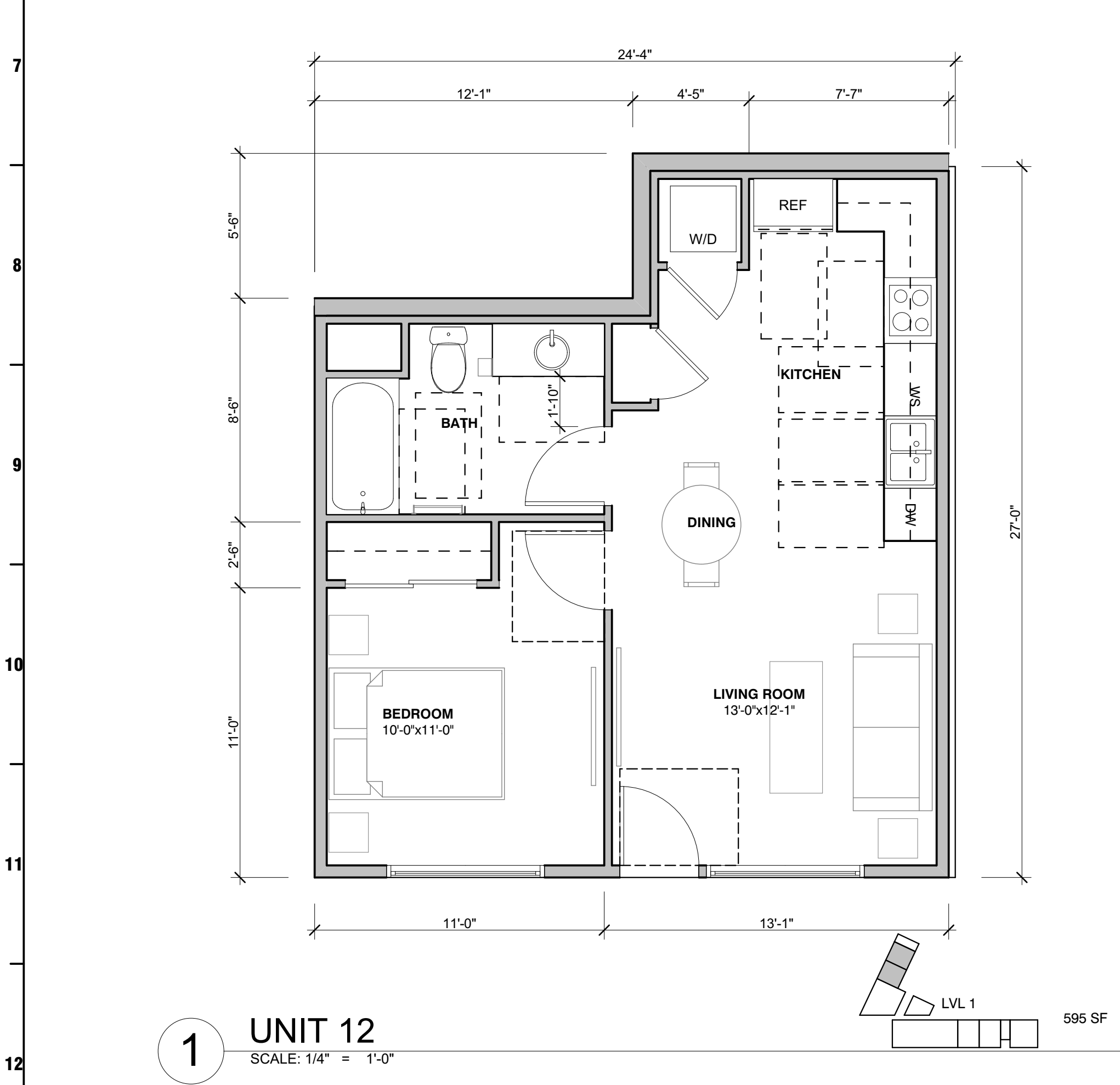
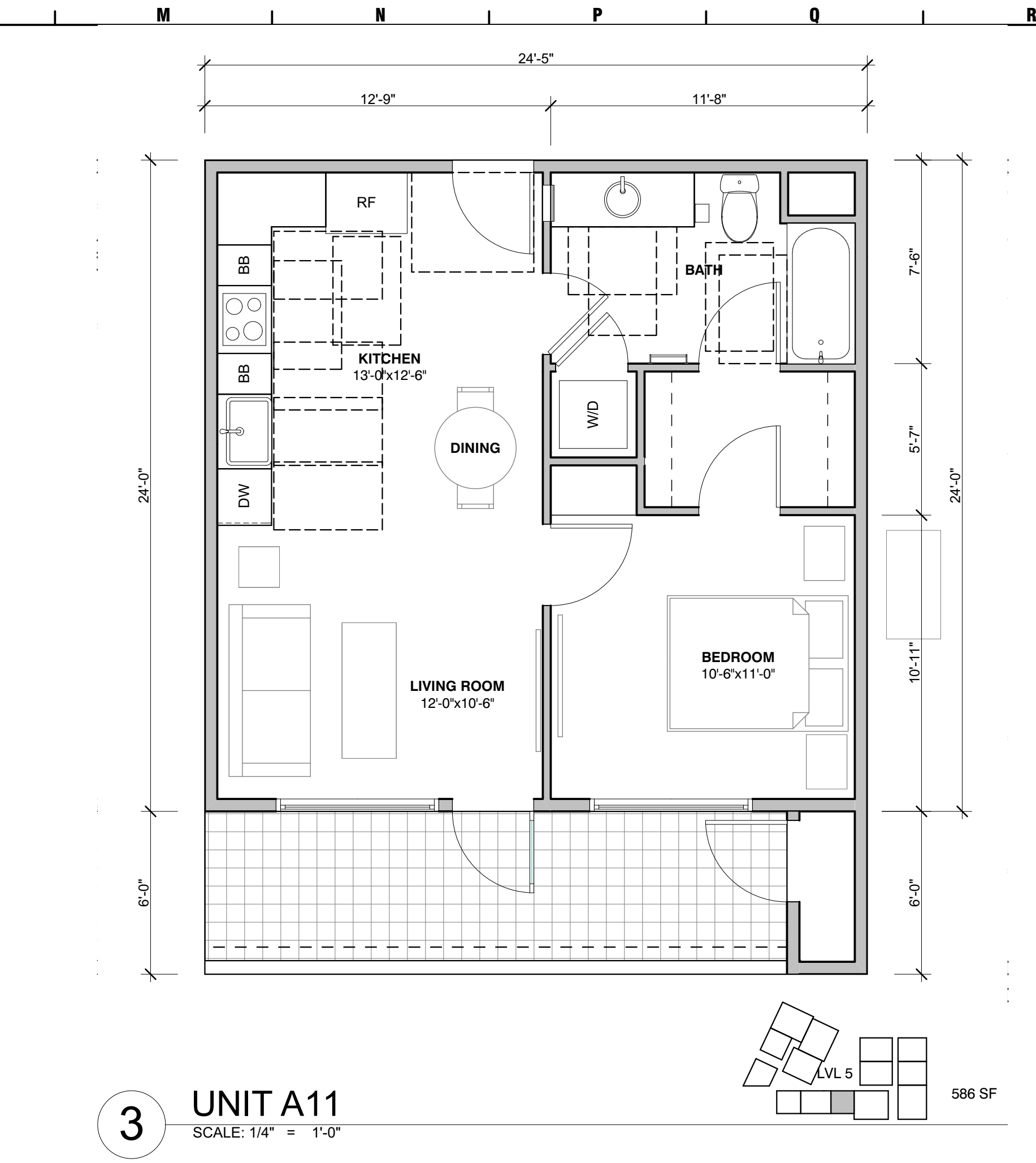
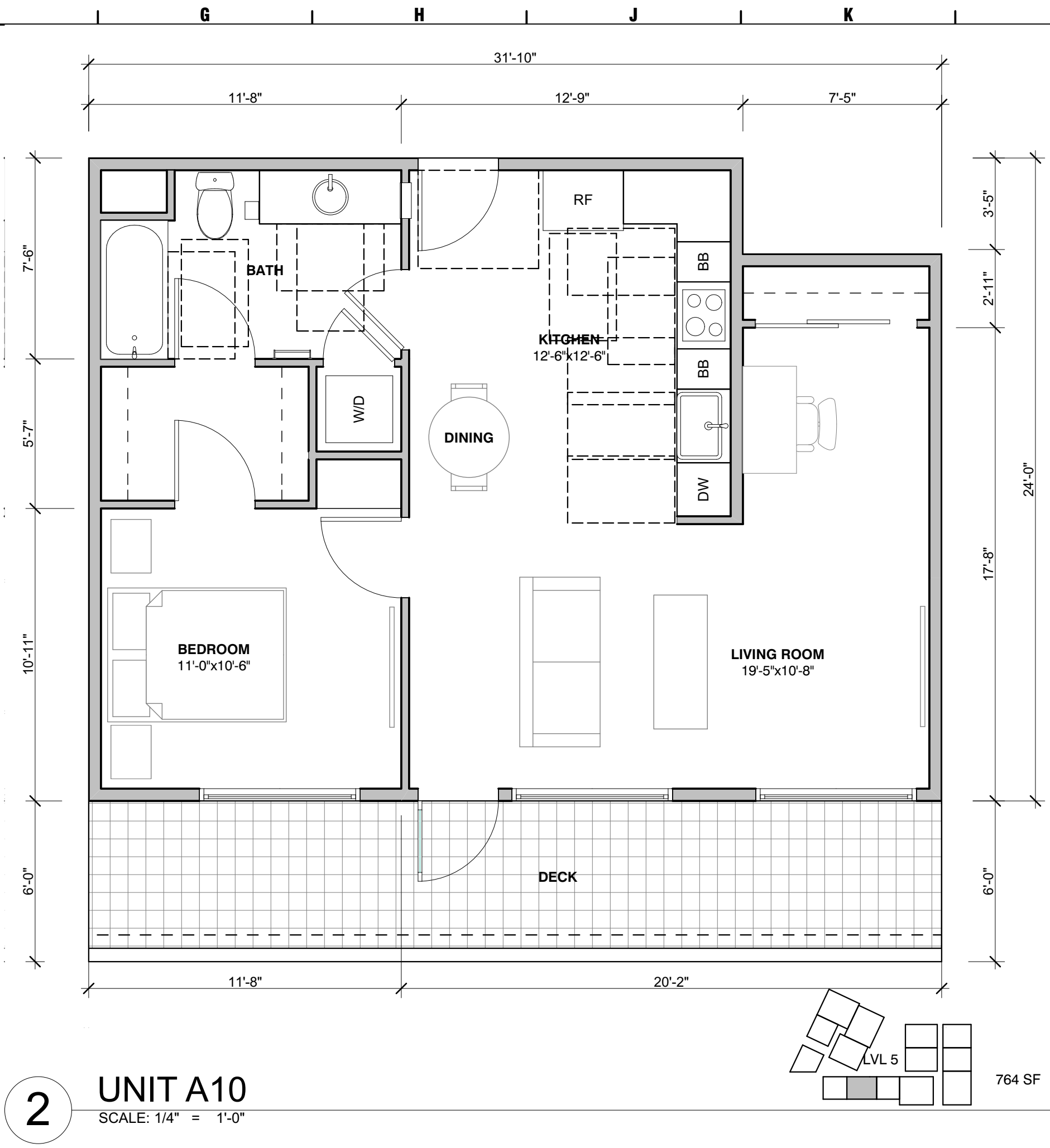
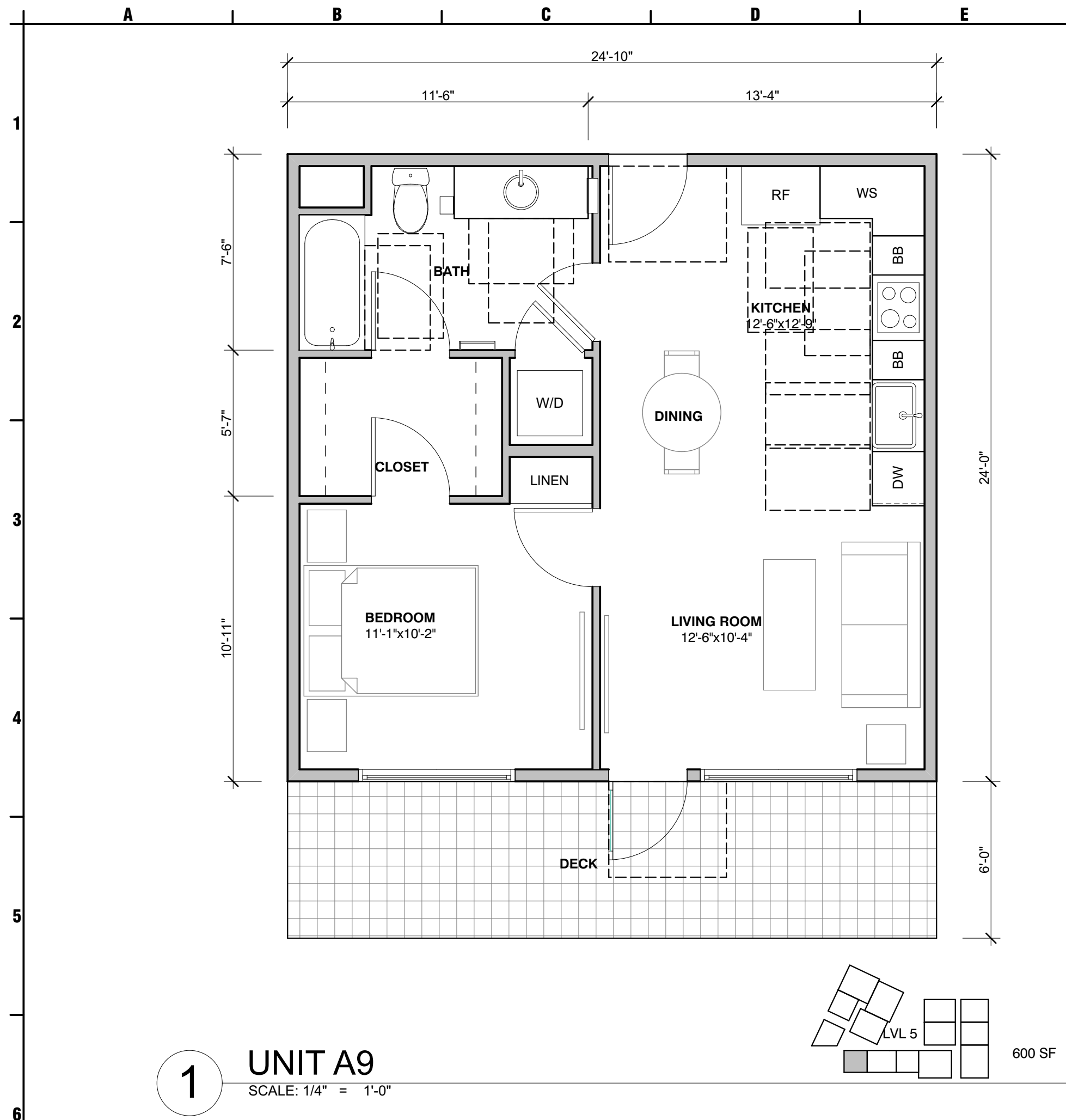
project title
LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

stamp
UNIT PLANS
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

job no.
2036
date

08/05/2021
PRESUBMITTAL REVIEW
03/21/2022
PRESUBMITTAL REVIEW 2
05/20/2022
PRESUBMITTAL REVIEW 3
09/14/2022
PRESUBMITTAL REVIEW 4

sheet
A6-2



LA MESA VILLAGE

project title

stamp

UNIT PLANS

job no. 2036

date

08/05/2021
PRESUBMITTAL REVIEW
03/21/2022
PRESUBMITTAL REVIEW 2
05/20/2022
PRESUBMITTAL REVIEW 3
09/14/2022
PRESUBMITTAL REVIEW 4

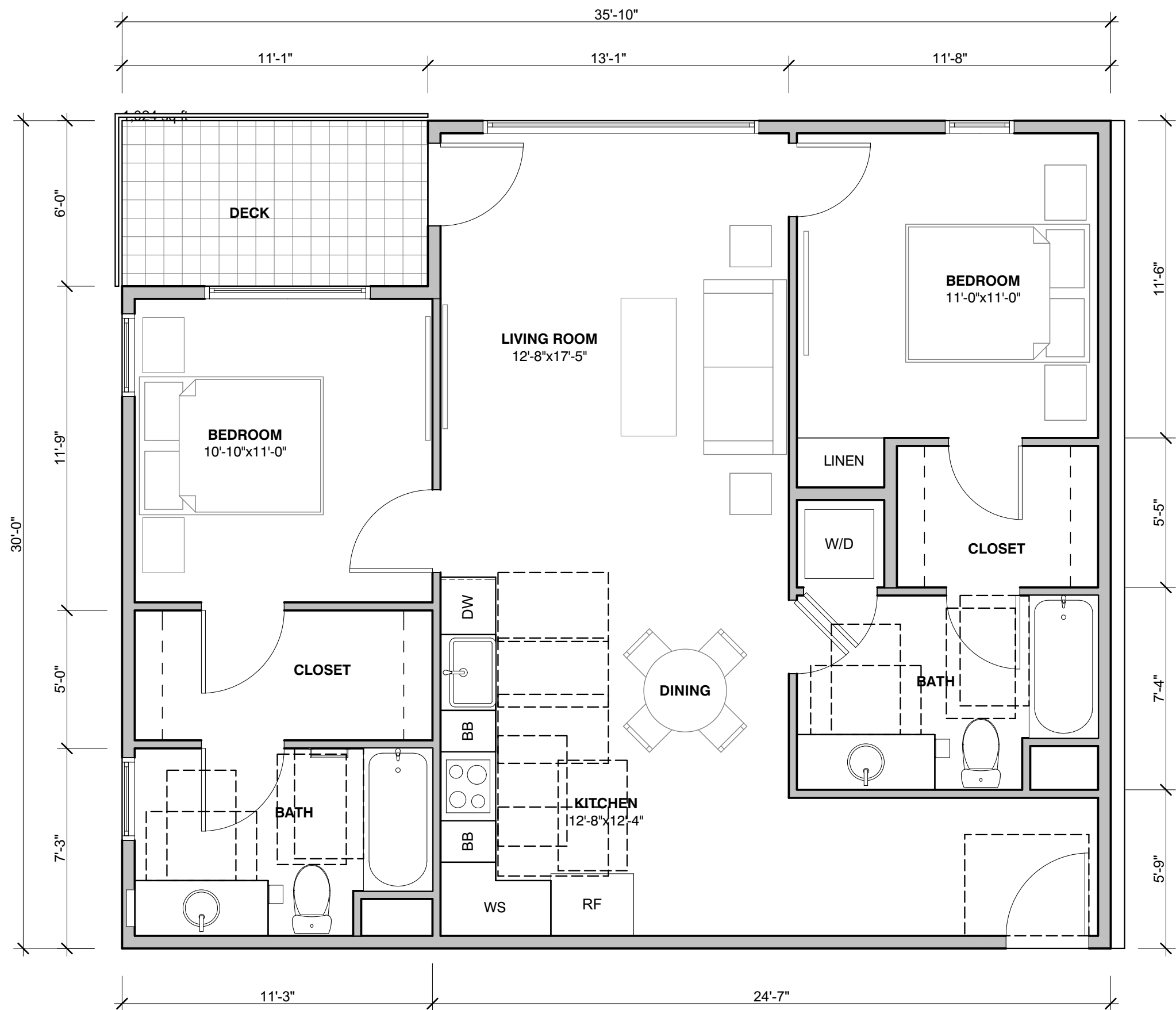
sheet A6-3

Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916



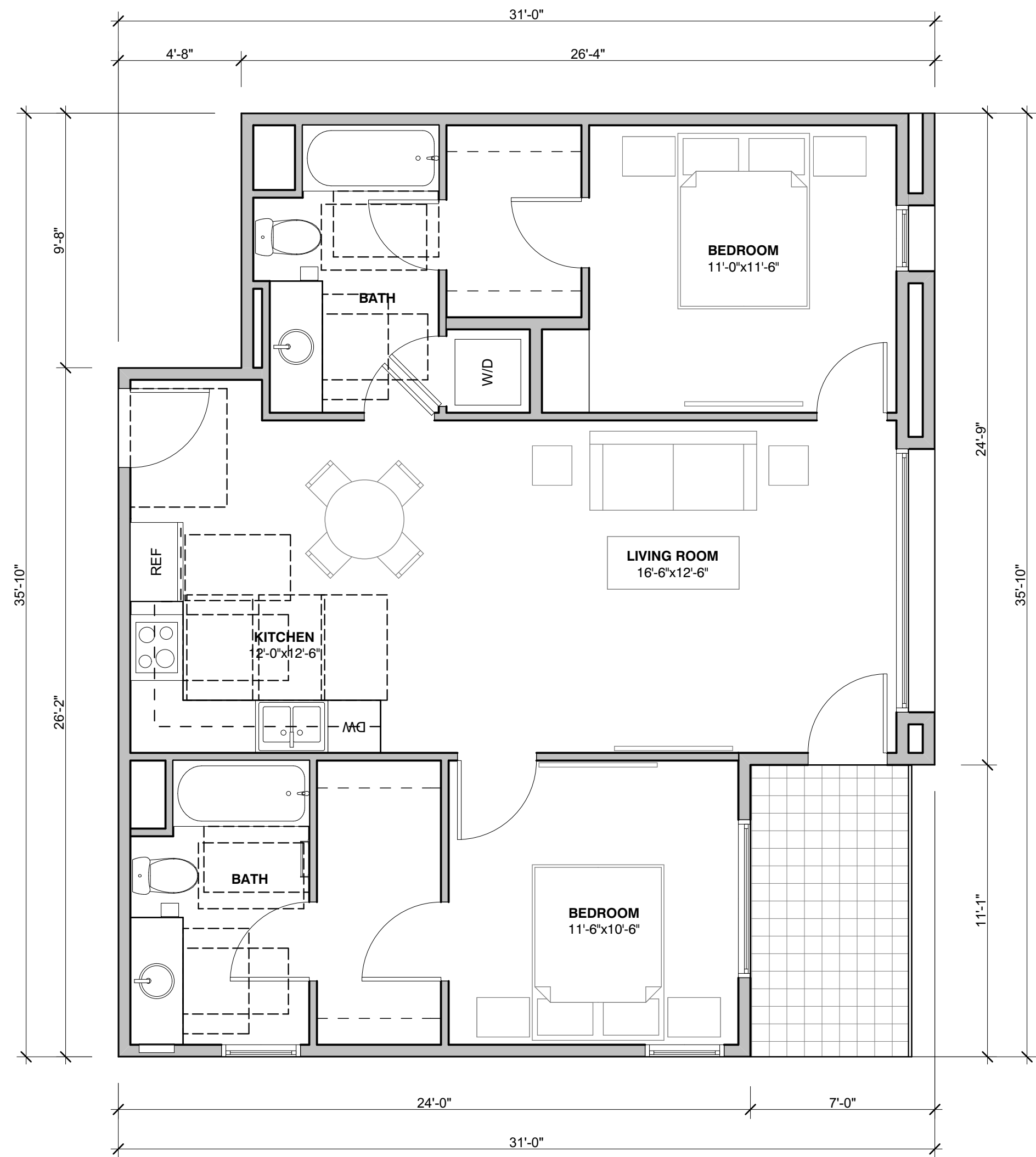
1 UNIT B1
SCALE: 1/4" = 1'-0"

1,013 SF



2 UNIT B2
SCALE: 1/4" = 1'-0"

1,024 SF



3 UNIT B3
SCALE: 1/4" = 1'-0"

1,030 SF

project title

stamp

UNIT PLANS

job no.
2036

date

08/05/2021
PRESUBMITTAL REVIEW
03/21/2022
PRESUBMITTAL REVIEW 2
05/20/2022
PRESUBMITTAL REVIEW 3
09/14/2022
PRESUBMITTAL REVIEW 4

sheet

A6-4

LA MESA VILLAGE
4757 PALM AVE, LA MESA, CA 91942

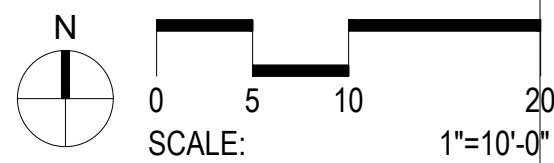
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

sd
ARCHITECTS

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Diego, California 92101 100
619.296.3150



CONSTRUCTION SCHEDULE - L1		
01 PAVEMENTS, RAMPS, CURBS		
SYMBOL	DESCRIPTION	QTY
01-01	UNILOCK PAVERS	928 SF
01-02	WOOD DECKING	350 SF
05 SITE FURNISHINGS		
SYMBOL	DESCRIPTION	QTY
05-01	BISTRO TABLE - SQUARE	10
05-02	BISTRO TABLE - RECTANGLE	2
05-03	BISTRO CHAIR	24
05-04	TREE GRATE - SQUARE	5
05-05	LIGHT BOLLARD	8
05-06	WOOD BENCH	24 SF
05-07	TWIG BENCH	85 SF
06 RAILINGS, BARRIERS, FENCING		
SYMBOL	DESCRIPTION	QTY
06-01	CORTEN STEEL	18 LF
09 PLANTING AND LANDSCAPE		
SYMBOL	DESCRIPTION	QTY
09-01	PLANTING AREA	873 SF
EXISTING TO REMAIN		
SYMBOL	DESCRIPTION	QTY
E-101	POST FOR STRING LIGHTS	3
E-102	PARKING METER	10
E-103	UNDERDRAIN	2
REFERENCE SCHEDULE		
SYMBOL	DESCRIPTION	QTY
R-101	BMP PER CIVIL	



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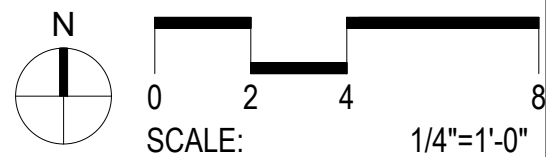
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Issue Date	Project Number
03/21/2022	22127

CONSTRUCTION
PLAN L2

L-2.01

CONSTRUCTION SCHEDULE - L2			
SYMBOL		01 PAVEMENTS, RAMPS, CURBS	QTY
01-01		DESCRIPTION	
		UNILOCK PAVERS	169 SF
01-02		WOOD DECKING	717 SF
SYMBOL		05 SITE FURNISHINGS	QTY
05-03		DESCRIPTION	
		BISTRO CHAIR	12
SYMBOL		05 SITE FURNISHINGS	QTY
05-08		DESCRIPTION	
		BISTRO TABLE - ROUND	3
05-09		DINING TABLE	1
05-10		DINING CHAIR	4
05-11		DINING BENCH	1
05-12		3 SEATER SOFA	1
05-13		2 SEATER SOFA	1
05-14		LOUNGE CHAIR	3
05-15		SIDE TABLE	3
05-16		BBQ GRILL	2
SYMBOL		06 RAILINGS, BARRIERS, FENCING	QTY
06-01		DESCRIPTION	
		CORTEN STEEL	87 LF
SYMBOL		09 PLANTING AND LANDSCAPE	QTY
09-01		DESCRIPTION	
		PLANTING AREA	720 SF
09-02		ARTIFICIAL TURF	320 SF
SYMBOL		10 MISCELLANEOUS ELEMENTS	QTY
10-01		DESCRIPTION	
		COUNTERTOP	42 SF



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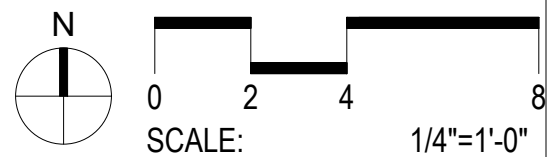
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Issue Date	Project Number
03/21/2022	22127

CONSTRUCTION
PLAN ROOF
DECK

L-2.03

CONSTRUCTION SCHEDULE - ROOF DECK		
01 PAVEMENTS, RAMPS, CURBS		
SYMBOL	DESCRIPTION	QTY
01-02	WOOD DECKING	595 SF
05 SITE FURNISHINGS		
SYMBOL	DESCRIPTION	QTY
05-07	BUILT-IN BENCH	37 SF
05-09	DINING TABLE	1
05-10	DINING CHAIR	3
05-12	3 SEATER SOFA	1
05-13	2 SEATER SOFA	1
05-17	BAR HEIGHT TABLE	3
05-18	BAR HEIGHT STOOL	7
05-19	SQUARE TABLE	4
05-20	ARM CHAIR	2
05-21	PLANTER POTS	9
05-22	FIRE PIT	1
06 RAILINGS, BARRIERS, FENCING		
SYMBOL	DESCRIPTION	QTY
06-01	CORTEN STEEL	31 LF
09 PLANTING AND LANDSCAPE		
SYMBOL	DESCRIPTION	QTY
09-01	PLANTING AREA	77 SF
REFERENCE SCHEDULE		
SYMBOL	DESCRIPTION	QTY
R-102	RAISED PLANTER	



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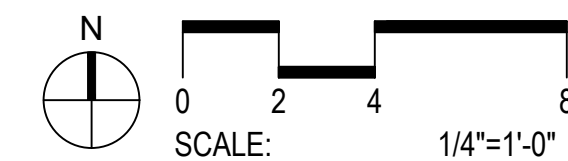
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Issue Date	Project Number
03/21/2022	22127

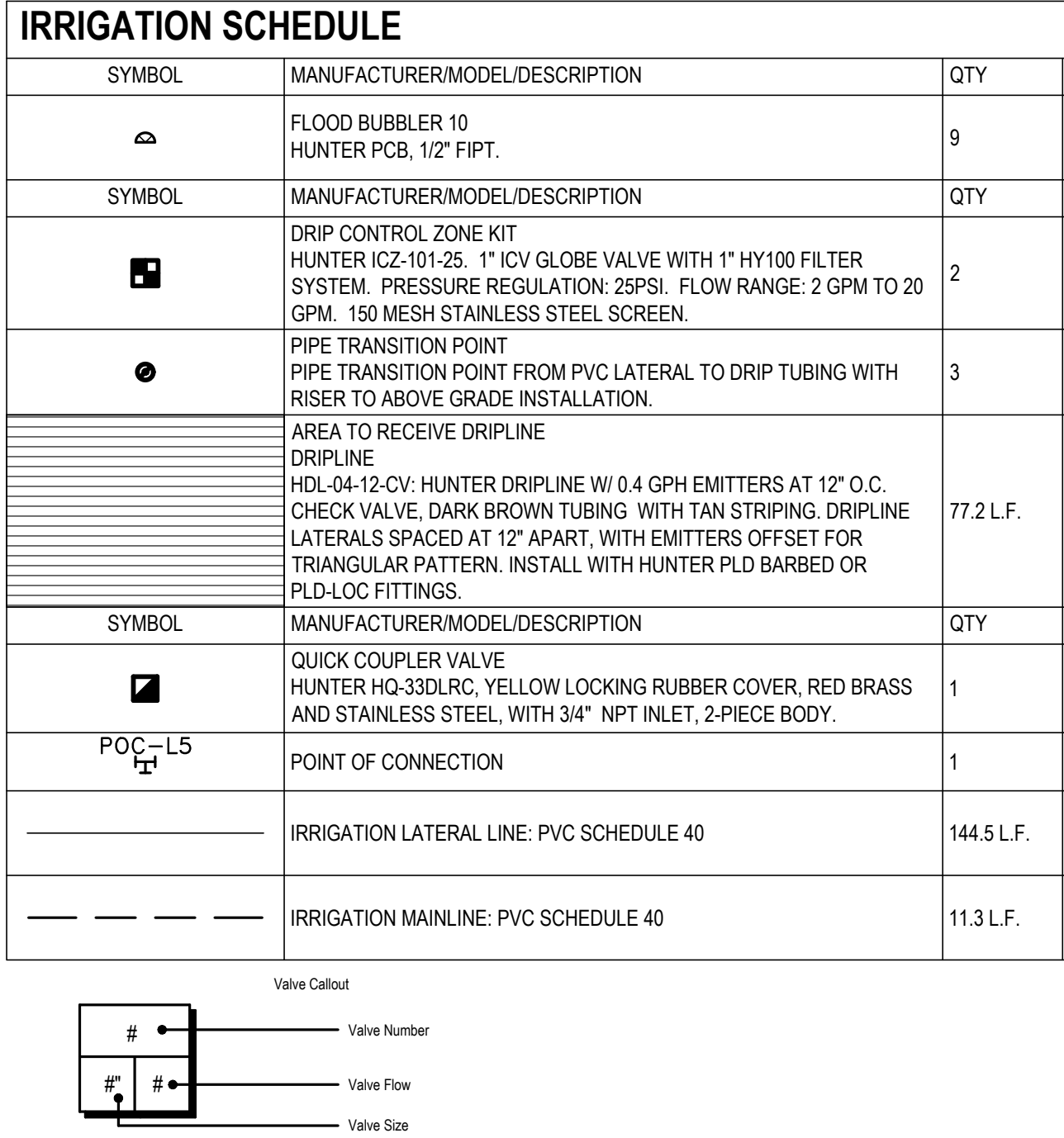
L-3.01



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Generated:	2021-08-05 11:18
P.O.C. NUMBER: 04	
Water Source Information:	
FLOW AVAILABLE	
Custom Max Flow:	3 GPM
Flow Available:	3 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	41.00 PSI
Pressure Available:	41.00 psi
DESIGN ANALYSIS	
Maximum Station Flow:	3 GPM
Flow Available at POC:	3 GPM
Residual Flow Available:	0 GPM
Critical Station:	
Design Pressure:	2
Friction Loss:	0.01 PSI
Fittings Loss:	0.01 PSI
Elevation Loss:	0 PSI
Loss through Valve:	10 PSI
Pressure Req. at Critical Station:	40.01 PSI
Loss for Fittings:	0 PSI
Loss for Main Line:	0.01 PSI
Loss for POC Valve Elevation:	0 PSI
Loss for Backflow:	0 PSI
Critical Station Pressure at POC:	40.02 PSI
Pressure Available:	41 PSI
Residual Pressure Available:	0.98 PSI

[illegible]

Issue Date	Project Number
03/21/2022	22127

IRRIGATION PLAN
ROOF DECK

L-3.02

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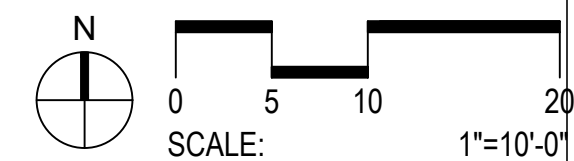
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[illegible]

PLANTING PLAN L1

L-4.00



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Issue Date	Project Number
03/21/2022	22127

L-4.01












PLANTING SCHEDULE - L 2			
TREES	QTY	BOTANICAL / COMMON NAME	CONT
	2	ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE	15 GAL
	5	PLATANUS X ACERIFOLIA LONDON PLANE TREE	15 GAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	10	AGAVE ATTENUATA 'VARIEGATA' VARIEGATED AGAVE	5 GAL
	41	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	5 GAL
	99	CAREX OSHIMENSIS 'EVERLITE'™ EVERCOLOR EVERLITE JAPANESE SEDGE	5 GAL
	35	DIANELLA CAERULEA 'VARIEGATA' VARIEGATED FLAX LILY	5 GAL
	6	DRACAENA TRIFASCIATA SNAKE PLANT	5 GAL
	18	HESPERALOE PARVIFLORA BRAKELIGHTS RED YUCCA	5 GAL
	7	LEUCOSPERMUM CORDIFOLIUM 'CALIFORNIA SUNSHINE' CALIFORNIA SUNSHINE PINCUSHION	5 GAL
	43	LOMANDRA CONFERTIFOLIA RUBIGINOSA 'SEASCAPE' SEASCAPE MAT RUSH	5 GAL
	72	LOMANDRA LONGIFOLIA 'LM300' BREEZE MAT RUSH	5 GAL
	32	LOMANDRA LONGIFOLIA PLATINUM BEAUTY VARIEGATED DWARF MAT RUSH	5 GAL
	4	MONSTERA DELICIOSA SPLIT-LEAF PHILODENDRON	5 GAL
	100	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY' BURGUNDY BUNNY DWARF FOUNTAIN GRASS	5 GAL
	11	STRELITZIA REGINAE 'DWARF' DWARF BIRD OF PARADISE	5 GAL



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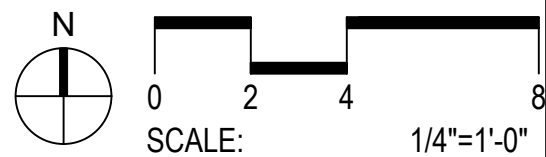
PLANTING SCHEDULE - ROOF DECK				
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	5	DIANELLA CAERULEA 'VARIEGATA' VARIEGATED FLAX LILY	5 GAL	
	18	DRACAENA TRIFASCIATA SNAKE PLANT	5 GAL	
	1	FICUS LYRATA FIDDLE LEAF FIG	5 GAL	
	2	LEUCOSPERMUM CORDIFOLIUM 'CALIFORNIA SUNSHINE' CALIFORNIA SUNSHINE PINCUSHION	5 GAL	
	18	LOMANDRA CONFERTIFOLIA RUBIGINOSA 'SEASCAPE' SEASCAPE MAT RUSH	5 GAL	
	3	MONSTERA DELICIOSA SPLIT-LEAF PHILODENDRON	5 GAL	
	7	PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' SILVER SHEEN TAIWHIWHI	5 GAL	
	16	SEDUM MORGANIANUM BURRO'S TAIL	5 GAL	
	4	STRELITZIA REGINAE 'DWARF' DWARF BIRD OF PARADISE	5 GAL	

[illegible]

PLANTING PLAN

ROOF DECK

L-4.02





GROUND FLOOR ENTRY PLAZA



GROUND FLOOR ENTRY PLAZA



GROUND FLOOR ENTRY PLAZA



2ND FLOOR COURTYARD



2ND FLOOR COURTYARD



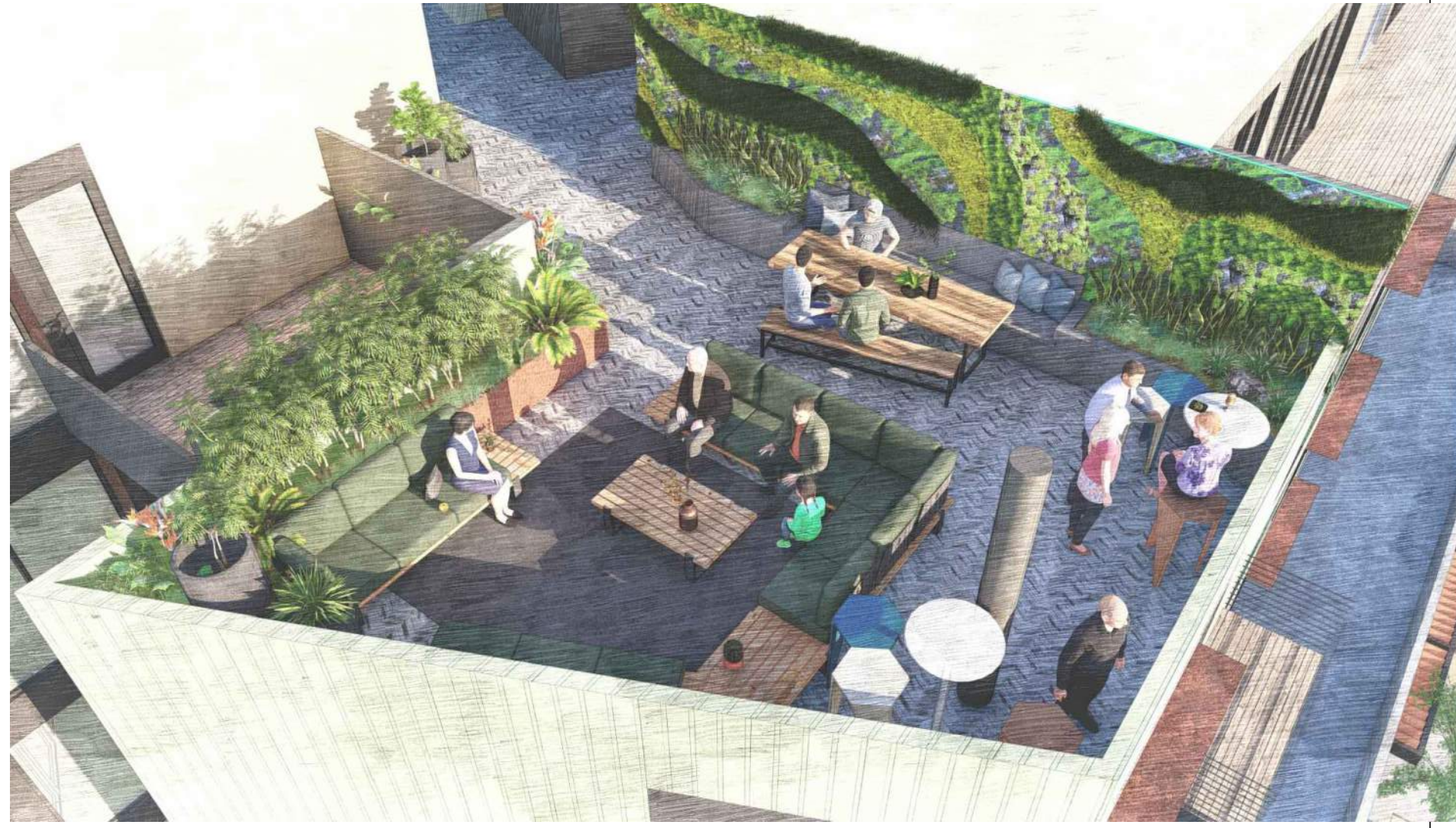
2ND FLOOR COURTYARD



TOP FLOOR AMENITY DECK



TOP FLOOR AMENITY DECK



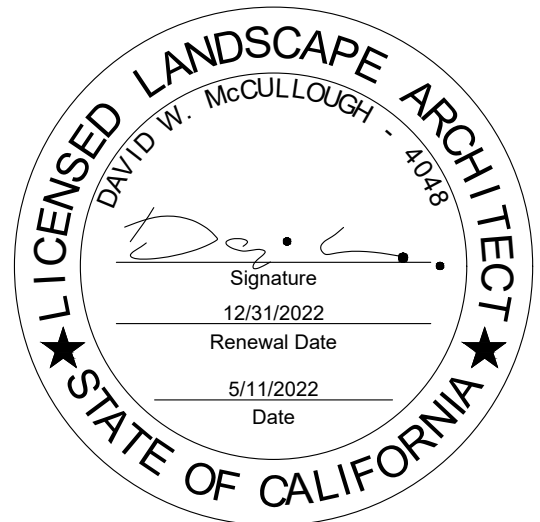
TOP FLOOR AMENITY DECK

LA MESA VILLAGE

New Construction
4757 Palm Avenue
La Mesa, CA 91942

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SUBMITTALS | REVISIONS

No.	Description	Date
XX	1st Submittal	XX.XX.XX

Issue Date	Project Number
03/21/2022	22127

RENDER VIEWS

L-5.00

Project Name:

Type:

Quantity:

FIXTURE SPECIFICATIONS

INTENDED USE

Featuring a modern design, this aluminum frame fixture with a clear seeded glass shade offers a color select switch capable of switching from 3K/4K/5K temperatures. Our clear seeded glass outdoor wall sconce features a 500 Lumen output suitable for residential and commercial spaces such as entry ways, stairwells, garages, patios and more.

DIMENSIONS

Medium: L 13 3/4" x W 4 3/4" x H 2 1/2"

Large: L 18" x W 4 3/4" x H 2 1/2"

FEATURES

Construction: Aluminum Frame

Lens: Clear Seeded Glass

Finish: Black

Beam Spread: 180° beam angle

Color Temperature Switch: Capable of switching color temperatures from 3000K 4000K 5000K

CRI: 80

Voltage: 120V

Wattage: 11.5 W

Lumen: 500L

Driver: TRIAC dimming from 100% to 10%

CRI: 80 CRI

Life: 50,000 Hours

Operating Temperature: -4°F to 122°F

Listings: cULus certified, Suitable for Wet Location

Warranty: 5 Years Carefree for Parts & Components (Labor Not Included)



Alcon 11247 Architectural Outdoor LED Clear Seeded Lens Wall Sconce

ORDERING INFORMATION Example: (11247-13)

Model

Length

11247

M 13" Tall
L 18" Tall



Pitch Single Outdoor Wall Sconce

ITEM NUMBER

TLG345586


BRAND

Tech Lighting

DESCRIPTION

Pitch Single Outdoor Wall Sconce features modern architectural design and significant light output making this LED wall fixture suitable for both indoor and outdoor applications. A die-cast metal body in Black, Silver, Bronze or Charcoal finish with frosted acrylic lens. Includes 26.1 watt LED module, 2700K or 3000K color temperature, 80CRI, 823 net lumens. ADA compliant. ETL listed. Title 24. IP65 for wet locations. Can be mounted for up lighting or down lighting.



Shown in: Black

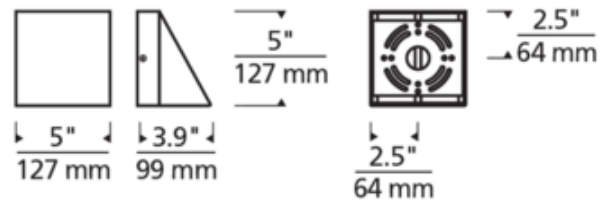
SHADE COLOR	N/A
BODY FINISH	Black
WATTAGE	26.1W
DIMMER	Low Voltage Electronic
DIMENSIONS	5"W x 5"H x 3.9"D
LAMP	1 x LED/26.1W/120V LED

Technical Information

LUMINOUS FLUX	823 lumens
LUMENS/WATT	31.53
LAMP COLOR	3000 K
COLOR RENDERING	80 CRI

ITEM NUMBER

TLG345586



COMPANY

PROJECT

FIXTURE TYPE

APPROVED BY

DATE

FIXTURE SPECIFICATIONS

INTENDED USE

The specification grade **Zen Architectural LED 4 Inch Round Cylinder Wall Mount Light Fixture** delivers continuous clean lines and clear wall light to commercial, hospitality and residential exterior wall lighting applications. Our slim profiles and stylish modern wall sconces offer excellent direct and indirect lighting, exceptional performance, and versatility for outdoor structural lighting applications.

PRODUCT FAMILY

SHORT | Dia \varnothing 4" x H 8" x W 5-3/4"

TALL | Dia \varnothing 4" x H 12" x W 5-3/4"

FEATURES

Construction: Die-cast Aluminum

Color Temperature Switching: Capable of switching from 3 color temperatures: 3000K/4000K/5000K

Voltage: 120V AC

Dimming: TRIAC

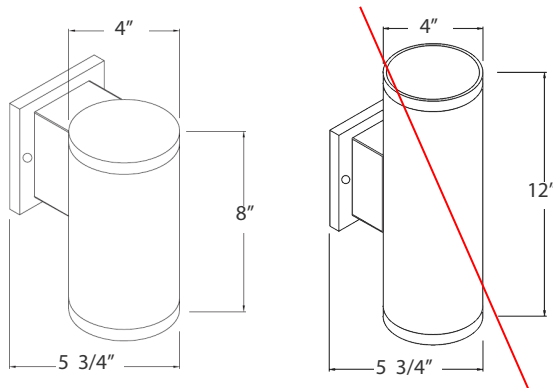
Beam Spread: 45° Flood

CRI: 80

Maximum Ambient Temperature: -68°F to 104°F

Warranty: 7 Years Carefree for Parts & Components (Labor Not Included)

Listings: cETLus Listed, Suitable for Wet Locations, IP44



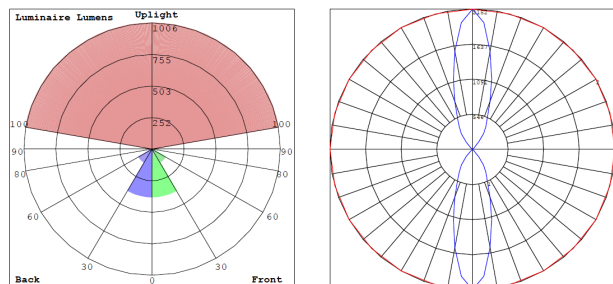
The color temperature switch is located under the arm of the fixture.



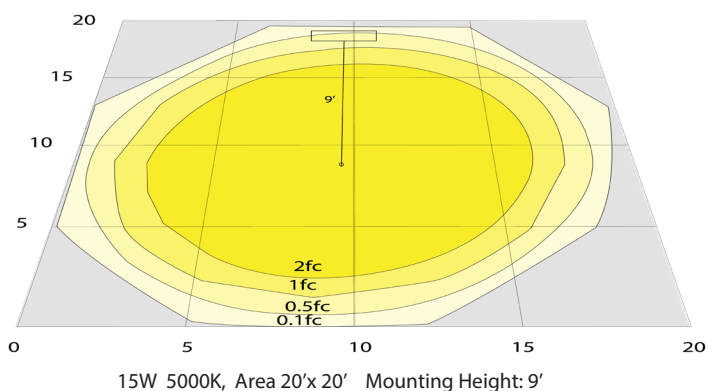
ORDERING INFORMATION Example: (11240-1-BK)

Model	Size Light Direction Wattage Lumens	Finish
11240	1 Short Down Light Only 15W 1200lm	BK Black
Zen	2 Tall Up and Down Light 30W 2400lm	WH White
		BR Bronze
		BN Brushed Nickel

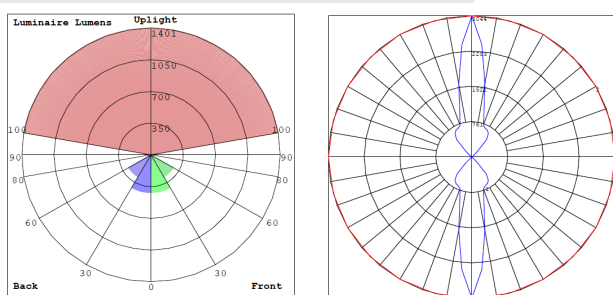
Photometrics: 11240-1 (Downlight)



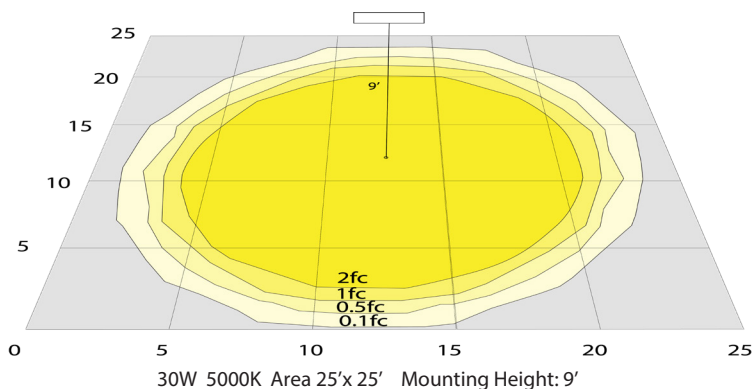
BUG Rating: B1-U5-G0



Photometrics: 11240-2 (Up & Down Light)



BUG Rating: B1-U5-G0



COLOR TEMPERATURE GUIDE



STUCCO COLORS



MANUF: DUNN EDWARDS
COLOR: DOLPHIN TALES



MANUF: DUNN EDWARDS
COLOR: SOUR APPLE



MANUF: DUNN EDWARDS
COLOR: ECOLOGICAL



PERFORATED METAL
MANUF: MCNICHOLS
COLOR: 1" ROUND STAINLESS STEEL



STUCCO
MANUF: LA HABRA
FINISH: 20/30 SAND FINISH



METAL SIDING
MANUF: BRIDGERSTEEL
COLOR: HEMLOCK GREEN



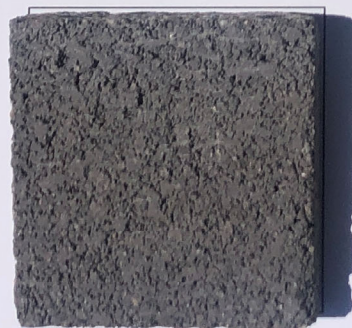
STOREFRONT
MANUF: MILGARD
COLOR: DARK BRONZE



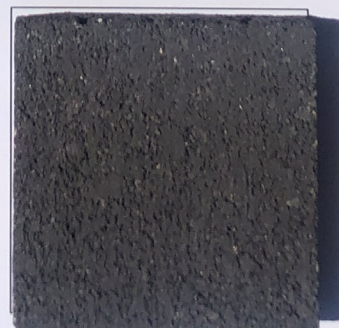
WOOD SIDING / SOFFIT
MANUF: ALUMABOARD
COLOR: AMBER BAMBOO



MANUF: RCP
COLOR: NATURAL PUMICE



MANUF: RCP
COLOR: CHARCOAL



MANUF: RCP
COLOR: ONYX



FIBER CEMENT BOARD
MANUF: JAMES HARDIE
COLOR: TERRA COTA

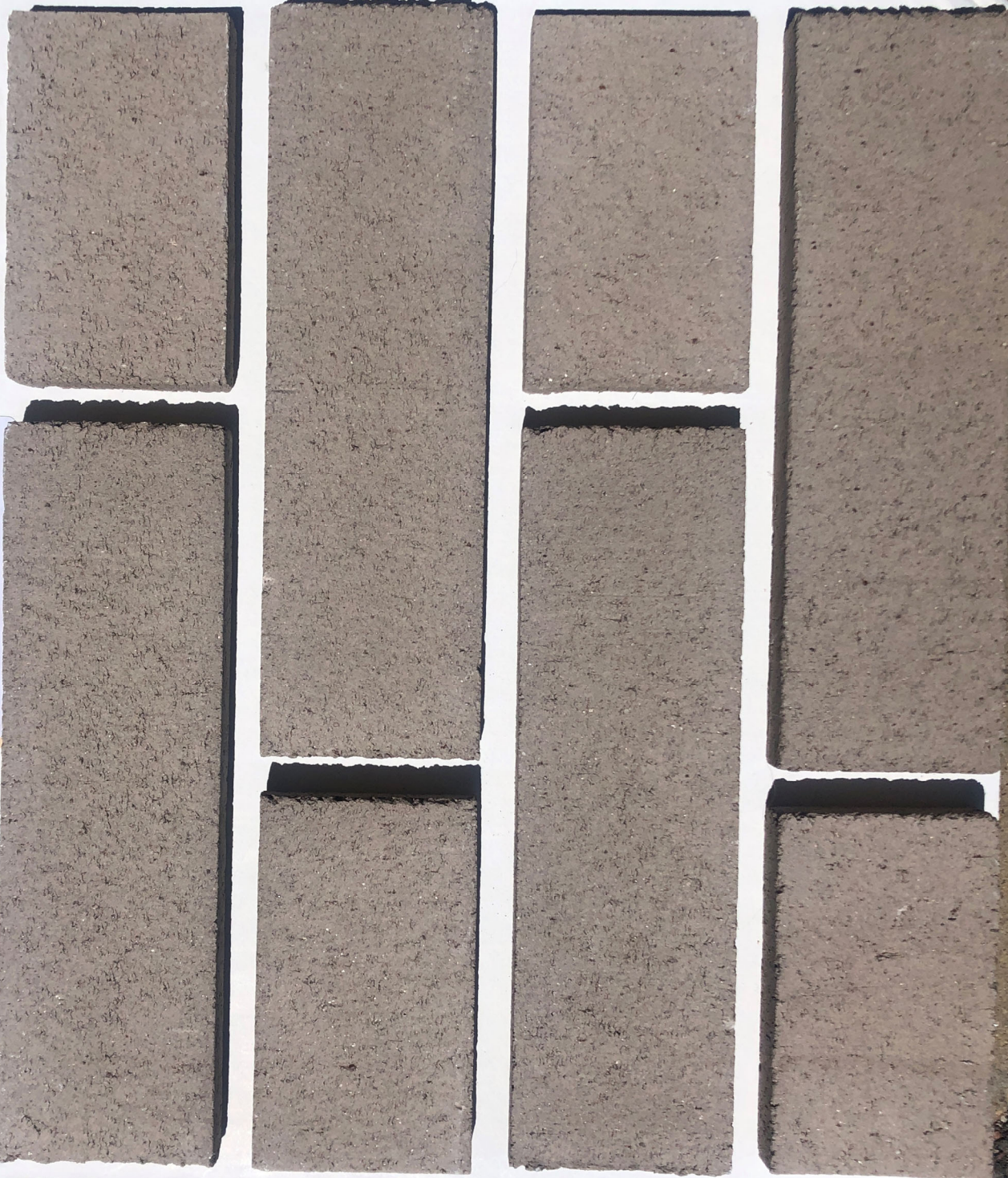
Carolina Series



An American Brick Revolution

WWW.EVOLUTIONBRICK.COM

#760 MILKY WAY





REPORT to the MAYOR and MEMBERS of the CITY COUNCIL
From the CITY MANAGER

DATE: October 11, 2022

SUBJECT: RESOLUTION AUTHORIZING CONTRACT CHANGE
ORDER NO. 1 FOR THE CITYWIDE PEDESTRIAN SIGNAL
UPGRADES PROJECT, BID NO. 22-08, TO YUNEX, LLC.

ISSUING DEPARTMENT: Public Works

SUMMARY:

Issues:

Should the City of La Mesa authorize Contract Change Order No. 1 for the Citywide Pedestrian Signal Upgrades Project, Bid No. 22-08, to Yunex, LLC. for \$28,875?

Recommendation:

Adopt the attached resolution authorizing Contract Change Order No. 1 for the Citywide Pedestrian Signal Upgrades Project, Bid No. 22-08, to Yunex, LLC. for \$28,875.

Fiscal Impact:

Funds for the change order are available and will be funded through Highway Safety Improvement Program grant monies, in CIP account no. 30220AOT. No General Fund monies will be used.

City's Strategic Goals:

- Effective and efficient traffic circulation and transportation
- Climate Action Plan Reduction Strategy: T-1 Bicycle and Pedestrian Infrastructure – Encourage active transportation options through planning and development of safe active transportation infrastructure and facilities in the City.

BACKGROUND

On March 8, 2022, a construction contract for Bid 22-08, Citywide Pedestrian Signal and Pushbutton Upgrade Project, was awarded to Siemens Mobility, Inc. DBA Yunex Traffic, LLC. The scope of work included the installation of pedestrian pushbuttons and signals at the following nine locations:

- Lake Murray Blvd at Aztec Dr
- Lake Murray Blvd at Dallas St
- Fletcher Pkwy at Trolley Ct
- Murray Dr at Health Care Cir
- University Av at 70th St
- El Cajon Blvd at Parks Av
- Spring St at La Mesa Blvd
- La Mesa Blvd at Glen St
- Lemon Av at Bancroft Dr

This project is part of the City's broader transportation safety strategy consistent with Vision Zero Plan, which is intended to reduce traffic fatalities to zero by 2025.

DISCUSSION:

Contract Change Order No. 1, in an amount of \$28,875, will include the addition of new accessible pedestrian push button systems at the following three locations:

- Spring Street at University Avenue
- Spring Street at Allison Avenue
- Spring Street at Lemon Avenue

Administrative Instruction F-13 requires approval by the City Council for Public Works Construction Change Orders over \$25,000.

CONCLUSION:

Staff recommends that City Council adopt the attached resolution authorizing Contract Change Order No. 1 for the Citywide Pedestrian Signal and Pushbutton Upgrade Project, Bid No. 22-08 to Yunex, LLC., for \$28,875.

Report to Mayor and Councilmembers
Date: October 11, 2022
Page: 3 of 3

Reviewed by:



Greg Humora
City Manager

Respectfully submitted by:



Michael Throne
Director of Public Works/City Engineer

Attachments: A. Resolution

RESOLUTION NO. 2022-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LA MESA
AUTHORIZING CONTRACT CHANGE ORDER NO. 1 FOR THE CITYWIDE
PEDESTRIAN SIGNAL UPGRADES PROJECT, BID NO. 22-08, TO YUNEX,
LLC

WHEREAS, the City of La Mesa has adopted a Vision Zero Plan to reduce traffic fatalities in the City of La Mesa to zero by 2025;

WHEREAS, a contract has been awarded to Yunex, LLC. to provide construction services for the Citywide Pedestrian Signal Upgrades Project;

WHEREAS, the Citywide Pedestrian Signal Upgrades Project has grant funding available to install pedestrian signal upgrades at three additional locations within the City;

WHEREAS, the locations of Spring Street at University Avenue, Allison Avenue, and Lemon Avenue were selected due to their high pedestrian use; and

WHEREAS, Administrative Instruction F-13 requires approval by the City Council for Public Works construction change orders over \$25,000.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED by the City Council of the City of La Mesa, California, that the Mayor is hereby authorized and instructed to execute for and on behalf of said City, Contract Change Order No. 1 for additional construction services between the City of La Mesa and Yunex, LLC., for an amount of \$28,875, for the Citywide Pedestrian Signal Upgrades Project. Said contract change order is on file in the office of the City Clerk.

PASSED AND ADOPTED at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be a true and exact copy of Resolution No. 2022-, duly passed and adopted by the City Council of said City on the date and by the vote therein recited.

MEGAN WIEGELMAN, CMC, City Clerk

(SEAL OF CITY)

CERTIFICATE OF CITY/DIRECTOR OF FINANCE

Certification of Unappropriated Reserves

I HEREBY CERTIFY that the money required for the appropriation of funds for the purpose as docketed is available in the Treasury, or is anticipated to come into the Treasury, and is otherwise unappropriated.

Amount \$ _____ Fund _____

Purpose _____

Director of Finance
City of La Mesa

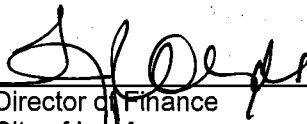
Date _____ By _____

Unappropriated Reserves Available Balance \$ _____

Certification of Unencumbered Balance

I HEREBY CERTIFY that the indebtedness and obligation as docketed can be incurred; that sufficient monies to meet the obligations are actually in the Treasury, or are anticipated to come into the Treasury to the credit of the appropriation from which the same are to be drawn; and that said monies now actually in the treasury, together with the monies anticipated to come into the Treasury, to the credit of said appropriation are otherwise unencumbered.

Amount Not to Exceed \$28,875.00



Director of Finance
City of La Mesa

Date: 10/11/2022

By: Michael Throne

Fund:
30220AO
I

Dept./Activity:
6830

\$28,875 from account 30220AOT-6830 (amount available \$189,900.00)

Purpose:

Resolution Authorizing Contract Change Order No 1. For The Citywide Pedestrian Signal Upgrades Project Bid NO. 22-08, To Yunex, LLC.

CERTIFICATE NO. 1807



REPORT to the MAYOR and MEMBERS of the CITY COUNCIL
From the CITY MANAGER

DATE: October 11, 2022

SUBJECT: RECREATION AND PARKS MASTER PLAN

DESCRIPTION: RESOLUTION AWARDING RFP 23-08 AND AUTHORIZING EXECUTION OF A PROFESSIONAL SERVICES AGREEMENT WITH KTUA TO PREPARE THE CITYWIDE RECREATION AND PARKS MASTER PLAN AND TO APPROPRIATE FUNDING FOR THE PROJECT

ISSUING DEPARTMENT: Community Services

SUMMARY:

Issues:

Should the City Council approve a resolution awarding RFP 23-08 and authorizing execution of a Professional Services Agreement with KTUA to prepare the Citywide Recreation and Parks Master Plan and appropriate funding for the project from General Fund Unallocated Reserves?

Recommendation:

That City Council approve a resolution awarding RFP 23-08 and authorizing execution of a Professional Services Agreement with KTUA to prepare the Citywide Recreation and Parks Master Plan and appropriate funding for the project from General Fund Unallocated Reserves.

Fiscal Impact:

The cost for the project is \$248,000, and is an unfunded Capital Improvement Project and staff recommends allocating funding from General Fund Unallocated Reserves into the FY 2022-23 budget.

City's Strategic Goals:

- Continue to improve high quality municipal services
- Revitalize neighborhoods and corridors
- Enhanced recreation and quality of life opportunities

BACKGROUND:

The City desires to update the 2012 Parks Master Plan with additional analysis for recreation facilities and programs to anticipate the needs and desires of a growing and changing demographic population and plan for park, open space, facility and recreation program improvements for the next 10 years.

In August 2022, the City advertised a request for proposals (RFP) and held a formal selection process to select a highly professional, experienced and qualified firm to prepare a comprehensive Recreation and Parks Master Plan. KTUA was selected.

DISCUSSION:

The overall goal of the Recreation and Parks Master Plan is to create a roadmap of recommendations for upgrades, replacement, expansion, and/or potential additions to the City of La Mesa's parks, open space, facilities, urban respite areas, and recreation programs to meet community needs. An overview of new improvements, programming and funding recommendations will be considered as part of the study. The City has contracted for a statistically valid community needs assessment survey separately from this plan, in conjunction with the Library Feasibility Study that is currently underway.

The creation of the Recreation and Parks Master Plan will be a shared process that taps the opinions and ideas of all stakeholders and includes a review of existing assets inventory, demographics and current planning standards. KTUA will focus on three components: Facilities and Program Assessment; Recommendation of Modifications, Improvements and Additions to Parks/Facilities/Programs; and Financial Implementation Recommendations. Tasks include:

- Site visits
- Public input
- Analysis of recreation programs
- Mapping and baseline data
- Draft master plan
- CEQA – Draft CEQA document circulated for public review
- Finalize master plan
- Public hearings
- Adoption of the Recreation and Parks Master Plan

KTUA specializes in community planning, transportation planning, park planning, urban design, placemaking, and landscape architecture focused on the creation of livable communities. KTUA has assisted with multiple projects within the City of La Mesa, and were selected through a formal selection as the most qualified to complete the Recreation and Parks Master Plan.

According to the City's Municipal Code Section 2.40.180 (f), any professional services agreements exceeding \$50,000 requires the City Council's approval.

CONCLUSION:

It is staff's recommendation, that City Council approve a resolution awarding RFP 23-08 and authorize execution of a Professional Services Agreement with KTUA to prepare the Citywide Recreation and Parks Master Plan and appropriate funding in the amount of \$248,000 for the project into the FY 2022-23 budget from General Fund Unallocated Reserves.

Reviewed by:



Greg Humora
City Manager

Respectfully submitted by:



Susan Richardson
Director of Community Services

Attachments: A. Resolution
 B. Professional Services Agreement

RESOLUTION NO. 2022-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LA MESA AWARDING
RFP 23-08 AND AUTHORIZING EXECUTION OF A PROFESSIONAL SERVICES
AGREEMENT WITH KTUA TO PREPARE THE CITYWIDE RECREATION AND
PARKS MASTER PLAN AND TO APPROPRIATE FUNDING FOR THE PROJECT

WHEREAS, the City desires to update the 2012 Parks Master Plan with additional analysis for recreation facilities and programs into this plan to anticipate the needs and desires of a growing and changing demographic population and plan for park, open space, facility and recreation program improvements for the next 10 years;

WHEREAS, the City of La Mesa has selected KTUA through a formal Request for Proposals (RFP) selection process to prepare the Citywide Recreation and Parks Master Plan;

WHEREAS, the Plan is intended to create a roadmap of recommendations for upgrades, replacement, expansion, and/or potential additions to the City of La Mesa's parks, open space, facilities, urban respite areas, and recreation programs to meet community needs;

WHEREAS, the Plan will be a shared process that seeks the opinions and ideas of all stakeholders and includes a review of existing assets inventory, demographics and current planning standards; and

WHEREAS, the cost of the project in the amount of \$248,000, is an unfunded Capital Improvement Project and staff recommends allocating funding from the General Fund Unallocated Reserves into the FY 2022-23 budget.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED by the City Council of the City of La Mesa, California, as follows:

1. Award RFP 23-08 and authorize execution of a Professional Services Agreement with KTUA to prepare the Citywide Recreation and Parks Master Plan and appropriate funding in the amount of \$248,000 for the project from the General Fund Unallocated Reserves into the FY 2022-23 budget.

PASSED AND ADOPTED at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, CMC, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be a true and exact copy of Resolution No. 2022-, duly passed and adopted by the City Council of said City on the date and by the vote therein recited.

MEGAN WIEGELMAN, CMC, City Clerk

(SEAL OF CITY)

STANDARD AGREEMENT FOR PROFESSIONAL SERVICES
BETWEEN THE CITY OF LA MESA AND
KTUA FOR RECREATION AND PARK MASTER PLAN

This Agreement is entered into by City of La Mesa as of this ____ day of _____, 2022, by and between the City of La Mesa, a municipal corporation, hereinafter referred to as "the City", and KTUA, hereinafter referred to as "Contractor."

WITNESSETH THAT:

WHEREAS, the City has adopted Resolution No. _____;

WHEREAS, the City has need for professional services create a Citywide Recreation and Park Master Plan and is willing to compensate Contractor for such services;

WHEREAS, the City desires to engage Contractor to render certain technical and professional services in the providing of said professional services; and

WHEREAS, Contractor is qualified to provide said professional services to create a recreation and park master plan.

NOW THEREFORE, the parties do mutually agree as follows:

SECTION 1: ENGAGEMENT OF CONTRACTOR

The City hereby agrees to engage Contractor and Contractor hereby agrees to perform the services set forth in this Agreement. This Agreement shall be for an initial term from the execution date of the Agreement through month day, year and may be renewed for an additional four one-year terms by mutual written consent of both parties. The City Manager shall have sole and exclusive right to exercise any options contained in this agreement on behalf of the City.

SECTION 2: SERVICES TO BE PERFORMED BY CONTRACTOR

Contractor shall commence performance of the Project upon execution of this Agreement by both parties. The term "Project" as used in this Agreement shall include all of the tasks and items listed and described in Exhibit "A", attached hereto and incorporated herein as part of this Agreement.

SECTION 3: KEY PROJECT PERSONNEL

Contractor agrees to provide the services of the names/titles of contractors listed in Exhibit A for the full term of this contract. No substitutions will be made without prior written approval by the City. The City reserves the right to request specific qualifications for personnel substituted under this section.

SECTION 4: CONTRACTORS

Contractor will utilize the services of the following sub-contractors during the course of this study:

Matrix Consulting Group and Baranek Consulting Group

Payment for such services shall be the responsibility of the Contractor. No substitution of proposed sub-contractors shall be made without prior written approval by the City.

SECTION 5: CITY REPRESENTATION

The Community Services Department Director for the City of La Mesa, or its designated representative, shall represent the City in all matters pertaining to the services rendered pursuant to this Agreement and shall administer said Agreement on behalf of the City. This person shall hereinafter be referred to as the "City's Representative."

SECTION 6: RESPONSIBILITIES OF THE CITY

The City will provide the Contractor, or cause to be provided with, the following electronic documents and site information, at no charge to the Contractor.

- A. Zoning maps
- B. Existing master plans
- C. General plan
- D. GIS information

SECTION 7: PERFORMANCE SCHEDULE

Both Contractor and the City recognize that time is of the essence in the completion of this work and the following schedule is dependent upon timely actions by the Contractor and the City. Accordingly, the Contractor shall complete all of the work outlined in Exhibit "A" and described in this Agreement in accordance with the following schedule:

<u>TASK</u>	<u>TARGET DATE</u>
Task 1. Project Kickoff	October 2022
Task 2. Site Visits	November 2022
Task 3. Public Input	January 2023
Task 4. Analysis	February 2023
Task 5. Analysis of Recreation Programs	January 2023
Task 6. Mapping and Baseline Data	February 2023
Task 7. Draft Master Plan Document	March 2023
Task 8. Review of Draft Master Plan	April 2023
Task 9. CEQA – Draft CEQA for Public Review	May 2023
Task 10. City Review	June 2023

Task 11. Finalize Master Plan
Task 12. Public Hearings
Task 13. Adoption of the Master Plan

July 2023
August 2023
August 2023

The Contractor shall not be responsible for damages or be in default or deemed to be in default by reason of strikes, lockouts, accidents, or acts of God, or failure of City to furnish timely information or to approve or disapprove Contractor's work promptly, or delay or faulty performance by City, or governmental agencies.

SECTION 8: COMPENSATION TO CONTRACTOR

Final payment of fees shall be upon delivery of approved final documents. Progress payments shall be made based upon evidence that the work is progressing satisfactorily as determined by the City's Project Manager and substantiated with detailed invoices. The amount to be billed shall be based on the Contractor schedule of fees for professional services and the actual time required for each activity. The schedule of fees and estimated time for the project are as shown in Exhibit "A" attached hereto and incorporated herein as part of this Agreement.

The total fee for professional services shall be billed on a time-and-material basis with a total amount not to exceed Two Hundred, Forty-Eight Thousand (\$248,000) Dollars as described on page // of Exhibit "A".

SECTION 9: RECORDS

Contractor shall maintain adequate records to permit inspection audit of Contractor's time-and-material charges under this Agreement. Contractor shall make such records available to the City and to other public agencies responsible for approval, funding or auditing the project, during normal business hours upon reasonable notice. Nothing herein shall convert such records into public records and they will be available only to the City or to public agencies involved with approval, funding or audit functions. Such records shall be maintained by the Contractor for three (3) years following completion of the work under this Agreement.

SECTION 10: METHOD OF COMPENSATION

The City shall compensate Contractor for the services performed hereunder on a monthly basis within thirty (30) calendar days of receipt of Contractor's invoice for the services performed. The Contractor shall provide documentation regarding time-and-material charges sufficient to meet normal auditing practice. Copies of the invoices for materials in excess of \$500 and sub-contractor charges shall be submitted with the request for periodic payment.

The City shall promptly review invoicing and notify Contractor of any objection thereto in writing within fifteen (15) days of receipt of the invoice; absent such objection the invoice shall be deemed proper and acceptable.

In the event that any undisputed invoice is not paid within thirty (30) calendar days after receipt of the invoice by the City, it shall commence bearing interest on the date that the invoice was rendered at the rate of 1% per month and the City agrees to pay all accrued interest, together with the charges for services rendered.

SECTION 11: ITEMS TO BE DELIVERED TO CITY

The following items shall be delivered by the Contractor to the City of La Mesa:

Citywide Recreation and Parks Masterplan Document (digital and 20 hard copies) including all information from Tasks 1-13 listed in Section 7 above.

SECTION 12: DESIGN CHANGES OR REVISIONS

No design changes or revisions will be required and no payment therefor will be made except pursuant to the provisions of this Agreement. No extra compensation shall be paid the Contractor for revisions required by reason of omissions or errors by the Contractor in the preparation of the original document, plans, working drawings, or specifications. Changes to the scope of this Agreement shall be negotiated prior to commencement of extra work.

SECTION 13: ADDITIONAL SERVICES OUTSIDE SCOPE

Only after written authorization from the City, additional services that Contractor could provide, or cause to be provided, include the following:

- A. Additional work related to the Project but not included in the Scope of Work.
- B. Additional work caused by changes unrelated to the Scope of Work described herein.

Contractor will be compensated for Contractor time and direct personnel expenses as approved by the City. Payment for such additional services shall include Contractor's time at the rates shown on Exhibit "A".

SECTION 14: INDEMNIFICATION AND HOLD HARMLESS

Indemnity for Professional Liability:

When the law establishes a professional standard of care for Contractor's Services, to the fullest extent permitted by law, Contractor shall indemnify, protect, defend, and hold harmless City and any and all of its officials, employees and agents from and against any and all losses, liabilities, damages, costs, and expenses, including legal counsel's fees and costs but only to the extent the Contractor (and its Subcontractors), are responsible for such damages, liabilities and costs on a

comparative basis of fault between the Contractor (and its Subcontractors) and the City in the performance of professional services under this agreement.

Indemnity for Other Than Professional Liability:

Other than in the performance of professional services and to the full extent permitted by law, Contractor shall indemnify, defend, and hold harmless City, and any and all of its employees, officials and agents from and against any liability (including liability for claims, suits, actions, arbitration proceedings, administrative proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including legal counsel's fees and costs, court costs, defense costs, and expert witness fees), where the same arise out of, are a consequence of, or are in any way attributable to, in whole or in part, the performance of this Agreement by Consultant or by any individual or City for which Contractor is legally liable, including, but not limited to officers, agents, employees, or subcontractors of Contractor, except when caused by the active negligence or willful misconduct of the City.

If Contractor should subcontract all or any portion of the services to be performed under this Agreement, Contractor shall require each subcontractor to indemnify, hold harmless and defend City and its members, board members, officers, officials, employees, agents and volunteers in accordance with the terms of the preceding paragraphs.

This section shall survive termination or expiration of this Agreement.

SECTION 15: INSURANCE

Throughout the life of this Agreement, Contractor shall pay for and maintain in full force and effect all policies of insurance required hereunder with an insurance company(ies) either (i) admitted by the California Insurance Commissioner to do business in the State of California and rated not less than "A:VII" in Best's Insurance Rating Guide, or (ii) as may be authorized in writing by the City Manager or his/her designee at any time and in his/her sole discretion. The following policies of insurance are required:

(i) COMMERCIAL GENERAL LIABILITY insurance which shall be at least as broad as the most current version of Insurance Services Office (ISO) Commercial General Liability Coverage Form CG 00 01 and include insurance for "bodily injury," "property damage" and "personal and advertising injury" with coverage for premises and operations (including the use of owned and non-owned equipment), products and completed operations, and contractual liability (including, without limitation, indemnity obligations under the Agreement) with limits of liability of not less than the following:

\$1,000,000 per occurrence
\$2,000,000 general aggregate

(ii) AUTOMOBILE LIABILITY insurance which shall be at least as broad as the most current version of Insurance Service Office (ISO) Business Auto Coverage Form CA 00-01, and include coverage for all owned, hired, and non-owned automobiles or other licensed vehicles (Code 1 - Any Auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned), with limits of liability of not less than \$1,000,000 per accident for bodily injury and property damage.

(iii) WORKERS' COMPENSATION insurance as required by the State of California, with Statutory Limits, and EMPLOYERS' LIABILITY insurance with limits of no less than \$1,000,000 per accident for bodily injury or disease.

(iv) PROFESSIONAL LIABILITY (ERRORS AND OMISSIONS) insurance appropriate to Contractor's profession, with limits of liability of not less than \$2,000,000 per occurrence or claim, and \$2,000,000 aggregate.

If the Contractor maintains broader coverage and/or higher limits than the minimums shown above, City requires and shall be entitled to the broader coverage and/or the higher limits maintained by Contractor. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to City.

Contractor shall be responsible for payment of any deductibles contained in any insurance policies required hereunder and Contractor shall also be responsible for payment of any self-insured retentions. Any deductibles or self-insured retentions must be declared to, and approved by, the City Manager or his/her designee. At the option of the City Manager or his/her designee, either: (i) the insurer shall reduce or eliminate such deductibles or self-insured retentions as respects to City, its elected officials, officers, officials, employees, agents and volunteers; or (ii) Contractor shall provide a financial guarantee, satisfactory to City Manager or his/her designee, guaranteeing payment of losses and related investigations, claim administration and defense expenses. At no time shall City be responsible for the payment of any deductibles or self-insured retentions.

All policies of insurance required hereunder shall be endorsed to provide that the coverage shall not be cancelled, non-renewed, reduced in coverage or in limits except after 30 calendar day written notice has been given to City. Upon issuance by the insurer, broker, or agent of a notice of cancellation, non-renewal, or reduction in coverage or in limits, Contractor shall furnish City with a new certificate and applicable endorsements for such policy(ies). In the event any policy is due to expire during the work to be performed for City, Contractor shall provide a new certificate, and applicable endorsements, evidencing renewal of such policy not less than 15 calendar days prior to the expiration date of the expiring policy.

The General Liability and Automobile Liability insurance policies shall be written on an occurrence form and shall name City, its elected officials, officers, officials, employees, agents and volunteers as an additional insured. Such policy(ies) of insurance shall be endorsed so Contractor's insurance shall be primary and no contribution shall be required of City, its elected

officials, officers, officials, employees, agents and volunteers. The coverage shall contain no special limitations on the scope of protection afforded to City, its elected officials, officers, officials, employees, agents or volunteers. The Workers' Compensation insurance policy shall contain a waiver of subrogation as to City, its elected officials, officers, officials, employees, agents and volunteers.

If the Professional Liability (Errors and Omissions) insurance policy is written on a claims-made form:

1. The retroactive date must be shown, and must be before the effective date of the Agreement or the commencement of work by Contractor.
2. Insurance must be maintained and evidence of insurance must be provided for at least 5 years after any expiration or termination of the Agreement or, in the alternative, the policy shall be endorsed to provide not less than a 5-year discovery period.
3. If coverage is canceled or non-renewed, and not replaced with another claims-made policy form with a retroactive date prior to the effective date of the Agreement or the commencement of work by Contractor, Contractor must purchase extended reporting coverage for a minimum of 5 years following the expiration or termination of the Agreement.
4. These requirements shall survive expiration or termination of the Agreement.

Contractor shall furnish City with all certificate(s) and applicable endorsements effecting coverage required hereunder. **All certificates and applicable endorsements are to be received by City and approved by City Manager or his/her designee prior to City's execution of the Agreement and before work commences.** However, failure to obtain the required documents prior to work beginning shall not waive the Contractor's obligation to provide them. Upon request of City, Contractor shall immediately furnish City with a complete copy of any insurance policy required under this Agreement, including all endorsements, with said copy certified by the underwriter to be a true and correct copy of the original policy. Entity reserves the right to modify these requirements, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.

If at any time during the life of this Agreement or any extension, Contractor or any of its subcontractors fail to maintain any required insurance in full force and effect, all work under this Agreement shall be discontinued immediately, and all payments due or that become due to Contractor shall be withheld until notice is received by City that the required insurance has been restored to full force and effect and that the premiums therefore have been paid for a period satisfactory to City. Any failure to maintain the required insurance shall be sufficient cause for City to terminate this Agreement. No action taken by City hereunder shall in any way relieve Contractor of its responsibilities under this Agreement.

The fact that insurance is obtained by Contractor shall not be deemed to release or diminish the liability of Contractor, including, without limitation, liability under the indemnity provisions of this Agreement. The duty to indemnify City and its elected officials, officers, officials, employees, agents and volunteers shall apply to all claims and liability regardless of whether any insurance policies are applicable. The policy limits do not act as a limitation upon the amount of indemnification to be provided by Contractor. Approval or purchase of any insurance contracts or policies shall in no way relieve from liability nor limit the liability of Contractor, its principals, officers, employees, agents, persons under the supervision of Contractor, vendors, suppliers, invitees, Contractors, sub-Contractors, or anyone employed directly or indirectly by any of them.

If Contractor should subcontract all or any portion of the services to be performed under this Agreement, Contractor shall require each subcontractor to provide insurance protection in favor of City, its elected officials, officers, officials, employees, agents and volunteers in accordance with the terms of each of the preceding paragraphs, except that the subcontractors' certificates and endorsements shall be on file with Contractor and City prior to the commencement of any work by the subcontractor.

SECTION 16: OWNERSHIP OF WORK

All finished or unfinished documents, studies, reports, computer files and materials prepared by Contractor and subcontractors under this Agreement shall be considered the property of the City and will be turned over to the City upon demand, but in any event, upon completion of the Project. The Contractor shall be allowed to retain copies of documents for his permanent records, if desired.

SECTION 17: ASSIGNABILITY

Contractor shall not assign, delegate, or transfer this Agreement or any work hereunder, nor assign any monies due or to become due hereunder, except as expressly stated herein. In no event shall any contractual relation be created between any third party and the City without prior written consent of the City. A consent to one assignment shall not be deemed to be consent to any subsequent assignment.

SECTION 18: AMENDMENTS

This Agreement sets forth the entire understanding of the parties with respect to the subject matter herein. There are no other agreements, expressed or implied, oral or written, except as set forth herein. This Agreement may be amended upon written mutual consent of both parties hereto. Amendment requiring changes in compensation shall be subject to the City's change order procedures.

SECTION 19: NOTICES

Notices and requests to the City or Contractor shall be delivered at the following addresses, either served personally on the designated representative or by U.S. Postal Service at the following addresses:

City:

Director of Community Services
4975 Memorial Drive
La Mesa, CA 91942
(619) 667.1308

Contractor:

Mike Singleton
KTUA
3916 Normal Street
San Diego, CA 92103
(619) 294-4477 ext. 134

SECTION 20: DISPUTE RESOLUTION

The City shall require that all Contractors agree to submit any unresolved claims, counterclaims, disputes, controversies and other matters between them and the City or the Contractor and/or any sub-contractors of any tier arising out of or relating to their agreement with the City or the breach thereof (“disputes”) first to mediation and then if not resolved, to non-binding arbitration prior to initiating suit or judicial proceeding.

If applicable – As provided in Public Contract Code section 9204, any claim filed by the Contractor on a public works project shall be reviewed by the City with 45 days and a written statement will be provided to the Contractor identifying what portion of the claim is disputed and what portion is undisputed. Upon receipt of a claim, the City and the Contractor may, by mutual agreement, extend the time period or it may be extended to allow City Council approval. The Contractor shall include reasonable documentation to support the claim. Any payment due on an undisputed portion of the claim shall be processed and made within 60 days after the City issues its written statement.

SECTION 21: TERMINATION OF AGREEMENT FOR CAUSE OR CONVENIENCE

If, through any cause, the Contractor shall fail to fulfill in timely and proper manner his obligations under this Agreement, or if the Contractor shall violate any of the covenants, agreements, or stipulations of this Agreement, the City shall thereupon have the right to terminate this Agreement immediately by giving written notice to the Contractor of such termination and specifying the effective date thereof. In such event, all finished or unfinished documents, data, studies, surveys, drawings, maps, models, photographs and reports prepared by the Contractor under this Agreement shall, at the option of the City, become its property and the Contractor shall be entitled to receive just and equitable compensation for any work satisfactorily completed hereunder.

In addition to termination for cause, the City may terminate this Agreement for City’s convenience upon not less than fifteen (15) days written notice to Contractor. Upon receipt of said notice, the Contractor shall immediately cease all work under this Agreement unless said notice provides otherwise. If this Agreement is terminated as provided in this paragraph for City’s convenience,

the Contractor shall be required to provide to City all finished or unfinished documents, data, studies, services, etc., prepared by the Contractor as may be requested by City and such work shall become City's property upon payment to Contractor for the value of the work performed, less payments of compensation previously made.

Notwithstanding the above, the Contractor shall not be relieved of liability to the City for damages sustained by the City by virtue of any breach of the Agreement by the Contractor, and the City may withhold any payments to the Contractor for the purpose of set-off until such time as the exact amount of damages due the City from the Contractor is determined.

SECTION 22: BUSINESS LICENSE

The Contractor, including all sub-contractors, shall obtain a business license for work within the City of La Mesa pursuant to La Mesa Municipal Code Sections 6.08.010 through 6.08.240.

No payments shall be made to any Contractor until such business license has been obtained, and all fees paid therefor, by the Contractor and all sub-contractors. Business license applications and information may be obtained from the Finance Department, City Hall, 8130 Allison Avenue, La Mesa, CA 91942-5502, (619) 667-1118 or online at cityoflamesa.us/buslic.

SECTION 23: INTEREST OF MEMBERS OF THE CITY

No member of the governing body of the City and no other officer, employee, or agent of the City who exercises any functions or responsibilities in connection with the planning and carrying out of the program, shall have any personal financial interest, direct or indirect, in this Agreement; and the Contractor shall take appropriate steps to assure compliance.

SECTION 24: INTEREST OF CONTRACTOR AND EMPLOYEES; STATEMENT OF ECONOMIC INTERESTS

The Contractor covenants that he presently has no interest and shall not acquire interest, direct or indirect, in the study area or any parcels therein or any other interest which would conflict in any manner or degree with the performance of his services hereunder. The Contractor further covenants that in the performance of this Agreement, no person having any such interest shall be employed. City may require Contractor to complete and submit a Form 700, Statement of Economic Interests, in accordance with applicable law, to City Clerk.

SECTION 25: FACILITIES AND EQUIPMENT

Contractor shall, at its sole cost and expense, furnish all facilities and equipment which may be required for furnishing services pursuant to this Agreement.

SECTION 26: INDEPENDENT CONTRACTOR

At all times during the term of this Agreement, Contractor shall be an independent contractor and shall not be an employee of City. City shall have the right to control Contractor only insofar as the results of Contractor's services rendered pursuant to this Agreement; however, City shall not have the right to control the means by which Contractor accomplishes services rendered pursuant to this Agreement.

SECTION 27: PERS ELIGIBILITY INDEMNIFICATION

In the event that Contractor's employee providing services under this Agreement claims or is determined by a court of competent jurisdiction or the California Public Employees Retirement System (PERS) to be eligible for enrollment in PERS of the City, Contractor shall indemnify, defend, and hold harmless City for the payment of any employer and employee contributions for PERS benefits on behalf of the employee as well as for payment of any penalties and interest on such contributions which would otherwise be the responsibility of the City.

Notwithstanding any other agency, state or federal policy, rule, regulation, law or ordinance to the contrary, Contractor's employees providing service under this Agreement shall not qualify for or become entitled to, and hereby agree to waive any claims to, any compensation and benefit including but not limited to eligibility to enroll in PERS as an employee of City and entitlement to any contributions to be paid by City for employer contributions and/or employee contributions for PERS benefits.

SECTION 28: TIME

Contractor shall devote such time to the performance of services pursuant to this Agreement as may be reasonably necessary for satisfactory performance of Contractor's obligations pursuant to this Agreement.

SECTION 29: CONTRACTOR NOT AGENT

Except as City may specify in writing, Contractor shall have no authority, express or implied, to act on behalf of City in any capacity whatsoever as an agent. Contractor shall have no authority, express or implied, pursuant to this Agreement to bind City to any obligation whatsoever.

SECTION 30: NON-DISCLOSURE

The designs, plans, reports, investigations, materials and documents prepared or acquired by the Contractor pursuant to this Agreement (including any duplicate copies kept by the Contractor) shall not be shown to any other public or private person or entity, except as authorized by the City. The Contractor shall not disclose to any other public or private person or entity any information regarding the activities of the City except as authorized by the City.

SECTION 31: SUBCONTRACTING

None of the services covered by the Agreement shall be subcontracted without the prior consent of the City. The Contractor shall be as fully responsible to the City for the acts and omissions of his subcontractors, and of persons either directly or indirectly employed by them, as he is for the acts and omissions of persons directly employed by him. The Contractor shall insert in each subcontract appropriate provisions requiring compliance with the labor standards provisions of this Agreement.

SECTION 32: CHANGES

The City may, from time to time, request changes in the Scope of Services of the Contract to be performed hereunder. Such changes, including any increase or decrease in the amount of the Contractor's compensation, which are mutually agreed upon by and between the City and the Contractor shall be incorporated to this Contract.

SECTION 33: JOB SITE SAFETY

The general or prime Contractor who is responsible for means, methods and procedures of the project shall be responsible for job site safety.

The prime contractor and all sub-contractors of all tiers shall:

- A. Be responsible for the safety of their respective employees as required by law.
- B. Come under the jurisdiction and supervision of the general or prime contractor's job site safety program.
- C. Exercise reasonable care to avoid risk of injury to others as required by the professional standard of care.

SECTION 34: PREVAILING WAGES FOR PUBLIC WORKS PROJECTS– IF APPLICABLE

- A. No professional Contractor or sub-Contractor subject to the requirements of State of California's prevailing wages may be awarded a contract, or contracted with, for a public works project (submitted on or after April 1, 2015) unless registered with the Department of Industrial Relations pursuant to Labor Code section 1725.5 [with limited exceptions from this requirement for bid purposes only under Labor Code section 1771.1(a)].
- B. This project is subject to compliance monitoring and enforcement by the Department of Industrial Relations.

SECTION 35: CONFLICT BETWEEN AGREEMENT AND OTHER DOCUMENTS

In the event of a conflict between this Agreement and any documents incorporated by reference in this Agreement, the terms and conditions of this Agreement shall supersede those contained in any such document incorporated by reference.

SECTION 36: DATE OF AGREEMENT

The date of this Agreement shall be the date it shall have been signed by a duly authorized representative of City.

IN WITNESS WHEREOF, City and Contractor have executed the Agreement.

KTUA

Date: _____

By: _____
Mike Singleton, Principal

CITY OF LA MESA,
A Municipal Corporation

Date: _____

By: _____
Mark Arapostathis, Mayor

Date: _____

By: _____
Greg Humora, City Manager

Date: _____

By: _____
Susan Richardson, Community Services Director

APPROVED AS TO FORM

CITY ATTORNEY

Attachment: Exhibit A – Scope of Work and Fee Schedule

Exhibit A CITY OF LA MESA RECREATION & PARKS MASTER PLAN		KTUA				Matrix			Baranek		Totals		
		Whalen/ Singleton/L angdon	Jacob Leon	Alex Samarin	KTUA Staff	Alan Pennington	Khushboo Hussain	Matrix Staff	Kim Baranek	TBD			
		Principal Planner	Project Manager	Assist PM/GIS	Park Planners	Senior Analyst	Senior Analyst	TBD	Principal Planner	Staff			
		\$185	\$145	\$145	\$120	\$200	\$185	\$110	\$180	\$110	Hours	Labor	
TASK 1 PROJECT KICKOFF AND MANAGEMENT													
1.1	Project kick-off meeting & site tour with City	4	4	4		2	2		6		22	\$3,750	
1.2	Team progress meetings (12 virtual)	6	18								24	\$3,720	
1.3	Existing document and policy review	1	4		4						9	\$1,245	
1.4	Progress reports, scheduling, and project management	6	20	6							32	\$4,880	
1.5	Quality control	12	8								20	\$3,380	
Total Task 1 Hours:		29	54	10	4	2	2	0	6	0	107		
Total Task 1 Costs:		\$5,365	\$7,830	\$1,450	\$480	\$400	\$370	\$0	\$1,080	\$0		\$16,975	
												check	\$16,975
TASK 2 SITE VISITS													
2.1	Park Inventory												
	Verify park conditions, sizes & amenities		4	4	16						24	\$3,080	
	Identify private/non-profit/school facilities		2	2	2						6	\$820	
	Identify, classify & inventory trails, greenways & other open space		2	6	6						14	\$1,880	
2.2	Park Amenity Assessment												
	Summarize amenities based on age demographics	1	4		6						11	\$1,485	
	Identify amenity standards based on population	1	4		6						11	\$1,485	
	Summarize quantitative/qualitative ranking of amenities	1	4	4	6						15	\$2,065	
2.3	Connectivity and Accessibility Inventory												
	Identify parkshed elements		1	4	8						13	\$1,685	
	Inventory bike, ped, road, transit facilities		1	4	6						11	\$1,445	
	Identify park entrances and trail access		1	2	4						7	\$915	
	Prepare parkshed maps		1	12	12						25	\$3,325	
	Create population tables		1	4	6						11	\$1,445	
Total Task 2 Hours:		3	25	42	78	0	0	0	0	0	148		
Total Task 2 Costs:		\$555	\$3,625	\$6,090	\$9,360	\$0	\$0	\$0	\$0	\$0		\$19,630	
												check	\$19,630

**CITY OF LA MESA
RECREATION & PARKS MASTER PLAN**

KTUA				Matrix			Baranek		Totals	
Whalen/ Singleton/L angdon	Jacob Leon	Alex Samarin	KTUA Staff	Alan Pennington	Khushboo Hussain	Matrix Staff	Kim Baranek	TBD		
Principal Planner	Project Manager	Assist PM/GIS	Park Planners	Senior Analyst	Senior Analyst	TBD	Principal Planner	Staff		
\$185	\$145	\$145	\$120	\$200	\$185	\$110	\$180	\$110	Hours	Labor

TASK 3 PUBLIC INPUT											
3.1	Create outreach plan for equitable input/bilingual strategies	1	4							5	\$765
3.2	Coordination with statistically-valid survey	1	4							5	\$765
3.3	Project publicity										
	Develop project branding		4		8					12	\$1,540
	Create project website and update monthly		2	6	12					20	\$2,600
	Identify incentives/motivation to attend meetings		1		4					5	\$625
	Prepare social media blasts		4		4					8	\$1,060
3.4	Community/Stakeholder Workshops										
	Focus Group/Stakeholder meetings (10 virtual meetings)	2	20	4	4	2	2			34	\$5,100
	Workshops 1 and 2: Vision, opps/constraints, exist. Conditions	8	12	6	12					38	\$5,530
	Workshop 3: Workshop 1 input summary & priorities	1	6	2	6					15	\$2,065
	Workshop 4: Master plan recommendations	1	6	2	6					15	\$2,065
Total Task 3 Hours:		14	63	20	56	2	2	0	0	0	157
Total Task 3 Costs:		\$2,590	\$9,135	\$2,900	\$6,720	\$400	\$370	\$0	\$0	\$0	\$22,115
											<i>check</i> \$22,115

TASK 4 ANALYSIS											
4.1	Community Profile										
	Prepare most recent demographics & socio-economic data & maps		1	2	4					7	\$915
	Characterize future population projects and demographics		1	2	4					7	\$915
	Project ex. population into future population using growth areas		1	2	4					7	\$915
	Create population tables served by each city & non-profit asset		1	2	4					7	\$915
4.2	Comparative Analysis										
	Determine existing/future populations and growth areas		2		4					6	\$770
	Review NRPA/CAPRA benchmarks for trends		2		4					6	\$770
	Review facilities of similar cities and compare LOS		4		2					6	\$820
4.3	Park Resources Assessment										
	Prepare park classifications and city-wide maps		1	4	4					9	\$1,205
	Identify LOS acres and amenities for current/future parks		1	2	6					9	\$1,155
	Quantify existing park distribution gaps & park inequities		1	2	6					9	\$1,155
	Quantify future park distribution gaps & changes for equity		1	2	6					9	\$1,155
	Map current/future populations with gaps & strategies		1	4	4					9	\$1,205
Total Task 4 Hours:		0	17	22	52	0	0	0	0	0	91
Total Task 4 Costs:		\$0	\$2,465	\$3,190	\$6,240	\$0	\$0	\$0	\$0	\$0	\$11,895
											<i>check</i> \$11,895

CITY OF LA MESA
RECREATION & PARKS MASTER PLAN

CITY OF LA MESA RECREATION & PARKS MASTER PLAN		KTUA				Matrix			Baranek		Totals	
		Whalen/ Singleton/L angdon	Jacob Leon	Alex Samarin	KTUA Staff	Alan Pennington	Khushboo Hussain	Matrix Staff	Kim Baranek	TBD		
		Principal Planner	Project Manager	Assist PM/GIS	Park Planners	Senior Analyst	Senior Analyst	TBD	Principal Planner	Staff		
		\$185	\$145	\$145	\$120	\$200	\$185	\$110	\$180	\$110	Hours	Labor
TASK 5 ANALYSIS OF RECREATION PROGRAMS												
5.1	Community Services Program Inventory											
	Identify recreation program providers					1	2	2			5	\$790
	Analyze programs, resources, use levels & revenues					4	8	12			24	\$3,600
	Identify best practices for recreation services & programs					1	2	4			7	\$1,010
	Interview program managers (4 virtual meetings)					4	4	8			16	\$2,420
5.2	Trends Analysis											
	Analyze programs, resources, use levels & revenues					4	8	8			20	\$3,160
	Identify best practices for recreation services & programs					4	8	8			20	\$3,160
	Benchmark La Mesa with local and regional program standards					4	8	8			20	\$3,160
5.3	Community Services Department Analysis											
	Community needs analysis for underserved population					4	8	12			24	\$3,600
	Analysis of services gaps/duplicate services					4	8	12			24	\$3,600
	Identify program budget realities, revenue offsets, partnership options					4	8	12			24	\$3,600
5.4	Fiscal Capacity and Projected Fiscal Resources											
	Identify cost of new parkland	1	4		4	4	8	12			33	\$4,845
	Identify funding gaps for construction, mainenance, operations	1	4		4	4	8	12			33	\$4,845
	Identify resources to support expansion of parks and programs					4	8	12			24	\$3,600
5.5	Alternative Funding and Parternships											
	Identify alternative funding opportunities					4	8	12			24	\$3,600
	Identify funding sources for prioritized parks, amenities, programs					4	8	12			24	\$3,600
	Identify enhance services through collaboration					2	4	8			14	\$2,020
5.6	Analysis of Programs, Fees, and Services											
	Determine direct/indirect cost recovery opportunities					4	8	12			24	\$3,600
	Summarize operating, maintenance, capital costs, funding sources					4	8	12			24	\$3,600
Total Task 5 Hours:		2	8	0	8	64	124	178	0	0	384	
Total Task 5 Costs:		\$370	\$1,160	\$0	\$960	\$12,800	\$22,940	\$19,580	\$0	\$0		\$57,810
check \$57,810												

TASK 6 MAPPING AND BASELINE DATA												
6.1	Park Level of Service Analysis											
	Determine adequacy of park LOS, gap analysis, recreation providers		1	4	4						9	\$1,205
	Determine program shortages and supporting facility needs		1	2	8						11	\$1,395
	Review local park and amenity standards for benchmarking		1	2	8						11	\$1,395
	Review NRPA standards for trens and apply to existing local conditions		1	2	8						11	\$1,395
	Classify parks to meet park needs for existing population		1	2	12						15	\$1,875
	Total Task 6 Hours:		0	5	12	40	0	0	0	0	0	57
Total Task 6 Costs:		\$0	\$725	\$1,740	\$4,800	\$0	\$0	\$0	\$0	\$0		\$7,265

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check\$7,265

CITY OF LA MESA
RECREATION & PARKS MASTER PLAN

KTUA				Matrix			Baranek		Totals	
Whalen/ Singleton/L angdon	Jacob Leon	Alex Samarin	KTUA Staff	Alan Pennington	Khushboo Hussain	Matrix Staff	Kim Baranek	TBD		
Principal Planner	Project Manager	Assist PM/GIS	Park Planners	Senior Analyst	Senior Analyst	TBD	Principal Planner	Staff		
\$185	\$145	\$145	\$120	\$200	\$185	\$110	\$180	\$110	Hours	Labor

TASK 7 | DRAFT MASTER PLAN DOCUMENT

7.1	Parks and Facilities										
	Identify needs for each park and conflicts in current layout		1	2	6					9	\$1,155
	Prioritize projects and investment priorities per park		1	2	6					9	\$1,155
	Identify goals, priorities, policies, standards per park		1	2	6					9	\$1,155
	Identify phasing to improve equity and meet standards		1	2	6					9	\$1,155
	Determinine minimum maintenance standards		1	2	6					9	\$1,155
	Summarize usage and identify minimum maintenance per park		1	2	6					9	\$1,155
7.2	Amenities										
	Recommend universal access for playgrounds and seating		1		6					7	\$865
	Balance shortages of high prioritiy amenities and suggest parks to solve		1		6					7	\$865
	Identify park infill and amenitiy opportunities		1		6					7	\$865
	Develop public safety guidelines including lighting		1		6					7	\$865
	Identify trail opportunities and other physical workout opportunities		1	0	6					7	\$865
7.3	Connectivity and Accessibility										
	Map barriers to safe access to parks within parksheds		1	2	6					9	\$1,155
	Verotu existing/proposed walk/bike facilities in parkshed		1	2	6					9	\$1,155
	Identify connectivity opportunities		1	2	6					9	\$1,155
	Identify new linear parks, urban greening, active transportation routes		1	2	6					9	\$1,155
7.4	Development of New Parks and Open Space										
	Prepare project descriptions & infill amenity graphics		4		12					16	\$2,020
	Prepare general planning costs for new and expanded parks		2		12					14	\$1,730
	Prepare general planning costs for infill amenity projects		2		8					10	\$1,250
	Prepare GIS maps of vacant and underutilized parcels		1	8						9	\$1,305
	Identify land for park connections or to address park gaps		1	4	8					13	\$1,685
	Recommend new parks to meet demand and recreation gaps		4	2	8					14	\$1,830
7.5	Draft Master Plan										
	Prepare text, tables, maps	2	8	12	24					46	\$6,150
	Prepare renderings and other graphics for priority projects	2	8	8	24					42	\$5,570
	Prepare executive summary and presentation materials	2	6	4	12					24	\$3,260
Total Task 7 Hours:		6	51	58	198	0	0	0	0	0	313
Total Task 7 Costs:		\$1,110	\$7,395	\$8,410	\$23,760	\$0	\$0	\$0	\$0	\$0	\$40,675

check \$40,675

TASK 8 | REVIEW OF DRAFT MASTER PLAN

8.1	Submit draft master plan for review	2	4	4	6						16	\$2,250
Total Task 8 Hours:		2	4	4	6	0	0	0	0	0	16	
Total Task 8 Costs:		\$370	\$580	\$580	\$720	\$0	\$0	\$0	\$0	\$0		\$2,250

check \$2,250

**CITY OF LA MESA
RECREATION & PARKS MASTER PLAN**

KTUA				Matrix			Baranek		Totals	
Whalen/ Singleton/L angdon	Jacob Leon	Alex Samarin	KTUA Staff	Alan Pennington	Khushboo Hussain	Matrix Staff	Kim Baranek	TBD		
Principal Planner	Project Manager	Assist PM/GIS	Park Planners	Senior Analyst	Senior Analyst	TBD	Principal Planner	Staff		
\$185	\$145	\$145	\$120	\$200	\$185	\$110	\$180	\$110	Hours	Labor

TASK 9 | CEQA - DRAFT CEQA DOCUMENT CIRCULATED FOR PUBLIC REVIEW

9.1	General Plan and CEQA conformance	1	1						4	4	10	\$1,490
9.2	Draft CE document	1	1						20	40	62	\$8,330
9.3	Final CE document	1	1						18	30	50	\$6,870
9.4	Prepare and file CEQA notice of exemption								2	6	8	\$1,020
9.5	Meetings with city		1						6		7	\$1,225
9.6	Conformation review of circulation element and new access options	1	1						8	4	14	\$2,210
9.7	Provide conformance review for GP affecting parks & growth	1	1						8	4	14	\$2,210
Total Task 9 Hours:		5	6	0	0	0	0	0	66	88	165	
Total Task 9 Costs:		\$925	\$870	\$0	\$0	\$0	\$0	\$0	\$11,880	\$9,680		\$23,355

check \$23,355

TASK 10 | CITY REVIEW

10.1	Submit draft CEQA document for review and address comments		2						2	4	8	\$1,090
Total Task 10 Hours:		0	2	0	0	0	0	0	2	4	8	
Total Task 10 Costs:		\$0	\$290	\$0	\$0	\$0	\$0	\$0	\$360	\$440		\$1,090

check \$1,090

TASK 11 | FINALIZE MASTER PLAN

11.1	Incorporate comments from staff and presentations	1	4	4	12						21	\$2,785
11.2	Pre-final document production & review	4	10	20	40						74	\$9,890
Total Task 11 Hours:		5	14	24	52	0	0	0	0	0	95	
Total Task 11 Costs:		\$925	\$2,030	\$3,480	\$6,240	\$0	\$0	\$0	\$0	\$0		\$12,675

check \$12,675

TASK 12 | PUBLIC HEARINGS

12.1	Public hearings											
	Community Services Commission (1)	2	4		4						10	\$1,430
	Community Relations & Veterans Commission (1)	2	4		4						10	\$1,430
	Planning Commission (2)	4	8		8						20	\$2,860
	Arts & Culture Commission (1)	2	4		4						10	\$1,430
	City Council (2)	8	8		4						20	\$3,120
	Two Additional Public Hearing Based Meetings (2)	4	4		6						14	\$2,040
Total Task 12 Hours:		22	32	0	30	0	0	0	0	0	84	
Total Task 12 Costs:		\$4,070	\$4,640	\$0	\$3,600	\$0	\$0	\$0	\$0	\$0		\$12,310

check \$12,310

CITY OF LA MESA RECREATION & PARKS MASTER PLAN		KTUA				Matrix			Baranek		Totals	
		Whalen/ Singleton/L angdon	Jacob Leon	Alex Samarin	KTUA Staff	Alan Pennington	Khushboo Hussain	Matrix Staff	Kim Baranek	TBD		
		Principal Planner	Project Manager	Assist PM/GIS	Park Planners	Senior Analyst	Senior Analyst	TBD	Principal Planner	Staff		
		\$185	\$145	\$145	\$120	\$200	\$185	\$110	\$180	\$110	Hours	Labor
TASK 13 ADOPTION OF THE MASTER PLAN												
13.1	Adoption of Master Plan											
	Incorporate comments from staff and presentations	2	4	4	8						18	\$2,490
	Final document production & review	2	8	8	8						26	\$3,650
	Package all files for final deliverable		2	2	4						8	\$1,060
Total Task 13 Hours:		4	14	14	20	0	0	0	0	0	52	
Total Task 13 Costs:		\$740	\$2,030	\$2,030	\$2,400	\$0	\$0	\$0	\$0	\$0		\$7,200
											check	\$7,200

SUMMARY BASE CONTRACT												
BASE TASK SUMMARY:		KTUA				Matrix			Baranek		Totals	Totals
Project Total Base Hours:		92	295	206	544	68	128	178	74	92	1,677	
Total Base Costs:		\$17,020	\$42,775	\$29,870	\$65,280	\$13,600	\$23,680	\$19,580	\$13,320	\$10,120		\$235,245
GRAND TOTAL LABOR PER FIRM:		\$154,945								\$23,440		\$235,245
Printed Documents (20 Total)		\$740										\$740
Workshop and Outreach Printed Materials		\$200										\$200
Total of Direct Costs		\$940							\$0		\$0	\$940
GRAND TOTAL LABOR AND MATERIALS:		\$155,885							\$56,860		\$23,440	\$236,185
		66.00%							24.07%		9.92%	100%
											check	\$236,185

5% Pulled for Contingency														
Calculated contingency for the project allowing the City to hold for unforeseen scope additions or meeting requirements:													\$11,809	
														\$247,994


CERTIFICATE OF CITY/DIRECTOR OF FINANCE

Certification of Unappropriated Reserves

I HEREBY CERTIFY that the money required for the appropriation of funds for the purpose as docketed is available in the Treasury, or is anticipated to come into the Treasury, and is otherwise unappropriated.

Amount \$ \$248,000.00 Fund 101-4899 General Fund

Purpose: Resolution Awarding RFP23-08 and Authorizing Execution of a Professional Services Agreement to KTUA to Prepare the Citywide Recreation and Parks Master Plan and to Appropriate Funding for the Project.



Director of Finance
City of La Mesa

Date 10/11/2022 By Susan Richardson

Unappropriated Reserves Available Balance \$ 23,037,060.00

Certification of Unencumbered Balance

I HEREBY CERTIFY that the indebtedness and obligation as docketed can be incurred; that sufficient monies to meet the obligations are actually in the Treasury, or are anticipated to come into the Treasury to the credit of the appropriation from which the same are to be drawn; and that said monies now actually in the treasury, together with the monies anticipated to come into the Treasury, to the credit of said appropriation are otherwise unencumbered.

Amount Not to Exceed

Director of Finance
City of La Mesa

Date:

By:

Fund: Dept./Activity:

Purpose:

CERTIFICATE NO. 1809



REPORT to the MAYOR and MEMBERS of the CITY COUNCIL
From the CITY MANAGER

DATE: October 11, 2022

SUBJECT: CONSIDERATION OF AN ORDINANCE TO ADOPT BY
REFERENCE THE 2022 EDITION OF THE
CALIFORNIA BUILDING STANDARDS CODE, AND TO
REPEAL PREVIOUS ORDINANCES IN CONFLICT
THEREWITH

ISSUING DEPARTMENT: Community Development

SUMMARY:

Issues:

Should the City Council adopt an Ordinance amending Title 14 of the La Mesa Municipal Code to adopt the 2022 edition of the California Building Standards Code, Title 24 of the California Code of Regulations, incorporating the 2021 International Building Code, the 2021 International Residential Code, the 2021 Uniform Plumbing Code, the 2021 Uniform Mechanical Code, and the 2020 National Electrical Code, as required by law, and repeal previous ordinances in conflict therewith?

Recommendation:

1. Introduce for First Reading an Ordinance (Attachment A) to amend La Mesa Municipal Code Title 14 to adopt the 2022 edition of the California Building Standards Code, Title 24 of the California Code of Regulations, incorporating the 2021 International Building Code, the 2021 International Residential Code, the 2021 Uniform Plumbing Code, the 2021 Uniform Mechanical Code, and the 2020 National Electrical Code, as required by law, and repeal previous ordinances in conflict therewith.
2. Schedule the Second Reading of the Ordinance and the required public hearing for November 22, 2022.

Fiscal Impact:

There are no direct fiscal impacts related to adoption of the 2022 California Building Code.

City's Strategic Goals:

- Continue to improve high quality municipal services
- Ensure safe and affordable homes for La Mesa's current and future residents

DISCUSSION:

The various model technical codes are updated every three years. The latest editions of the codes were issued in 2021, with the exception of the National Electrical Code, which was published in 2020. State law requires that the City of La Mesa adopt the same editions of the model technical codes as the State adopts. The California Building Standards Commission recently published and adopted the 2022 edition of the California Building Standards Code, Title 24 of the California Code of Regulations, incorporating the 2021 International Building Code, the 2021 International Residential Code, the 2021 Uniform Plumbing Code, the 2021 Uniform Mechanical Code, and the 2020 National Electrical Code.

The State Health and Safety Code limits the ability of local jurisdictions to amend the State Building Standards Code. Accordingly, local technical amendments of the codes are limited to those required to address local climatic, geological or topographical conditions. This 2022 code adoption maintains existing La Mesa amendments related weathering.

In prior code adoption cycles, La Mesa amendments included amendments to Appendix J, Grading, of the California Building Code. The La Mesa amendments exempted grading that resulted in a cut two feet or less, a fill of one foot or less, or 50 cubic yards or less of excavation. Exemptions allowed by other jurisdictions nearby range from one to eight feet of cut or fill and up to 200 yards of excavation (most jurisdictions exempt up to 50 cubic yards). To facilitate development of small projects such as single-family homes, accessory dwelling units, and small commercial structures, the proposed amendments for the 2022 code adoption increase the exemption for cut and fill slopes to three feet each and increases the excavation exemption to up to 100 cubic yards. This change will relieve the burden on small projects while continuing to protect public safety by requiring grading permits for larger projects.

The proposed draft ordinance is attached as **Attachment A**. **Attachment B** is a

summary of code changes relevant to local building construction.

CONCLUSION:

Staff recommends that the City Council:

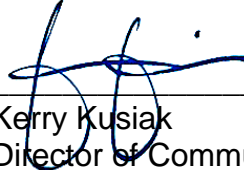
1. Introduce for First Reading an Ordinance (Attachment A) to amend La Mesa Municipal Code Title 14 to adopt the 2022 edition of the California Building Standards Code, Title 24 of the California Code of Regulations, incorporating the 2021 International Building Code, the 2021 International Residential Code, the 2021 Uniform Plumbing Code, the 2021 Uniform Mechanical Code, and the 2020 National Electrical Code, as required by law, and repeal previous ordinances in conflict therewith.
2. Schedule the Second Reading of the Ordinance and the required public hearing for November 22, 2022.

Reviewed by:



Greg Humora
City Manager

Respectfully submitted by:



Kerry Kusiak
Director of Community Development

Attachments:

- A. Draft Ordinance to amend Title 14 to adopt the 2022 California Building Standards Code
- B. Review of changes in the 2022 California Building Standards Code

ORDINANCE NO. 2022-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LA MESA ADOPTING BY REFERENCE THE 2022 EDITION OF THE CALIFORNIA BUILDING STANDARDS CODE, TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS, INCORPORATING THE 2021 INTERNATIONAL BUILDING CODE, THE 2021 INTERNATIONAL RESIDENTIAL CODE, THE 2021 UNIFORM PLUMBING CODE, THE 2021 UNIFORM MECHANICAL CODE, AND THE 2020 NATIONAL ELECTRICAL CODE, AND AMENDING TITLE 14 OF THE LA MESA MUNICIPAL CODE AND ALL OTHER ORDINANCES IN CONFLICT THEREWITH

The City Council of the City of La Mesa, California, DOES HEREBY ORDAIN as follows:

SECTION 1. Findings of Local Conditions. Pursuant to Health and Safety Code Sections 17958.5 and 17958.7, the City Council hereby makes the following findings:

- A. Mediterranean weather conditions, hilly terrain, density of development, canyons with dry dense brush, and the environment existing in the City of La Mesa constitute local conditions which require that the California Building Code and the California Residential Code be modified as expressed herein.
- B. The high water table expansive clay-like soils and history of unregulated grading, including uncompacted fills existing in the City of La Mesa constitute, local conditions which require that the California Building Code be modified as expressed herein.

SECTION 2. Chapter 14.04 of the La Mesa Municipal Code is hereby repealed in its entirety and rewritten to read as follows:

"Chapter 14.04
BUILDING CODE

14.04.010 Adoption of the California Building Code. There is hereby adopted by reference the California Building Code, 2022 Edition (Part 2, Title 24, California Code of Regulations), incorporating the International Building Code, 2021 Edition, published by the International Code Council. Said document is hereby adopted as the Building Code of the City of La Mesa for regulating the erection, construction, enlargement, alteration, repair, moving, removal, demolition, conversion, occupancy, equipment, use, height, area, and maintenance of all buildings or structures within the City of La Mesa. There is one (1) copy of said Code on file in the office of the City Clerk for use and examination by the public as required by law."

SECTION 3. Chapter 14.05 of the La Mesa Municipal Code is hereby repealed in its entirety and rewritten to read as follows:

“Chapter 14.05
GRADING

14.05.010 Adoption of Appendix J of the California Building Code. There is hereby adopted by the City of La Mesa for the purpose of prescribing regulations governing the excavation and grading on private property and the issuance of permits and providing for the inspection thereof, Appendix J of the California Building Code, 2022 Edition, one (1) copy of which is on file in the office of the City Clerk of the City of La Mesa.

14.05.020 Permits Required. Section J103.2 of Appendix J of the California Building Code, 2022 Edition, adopted by reference in Section 14.05.010 hereof is hereby amended to read as follows:

J103.2 Exemptions. A grading permit shall not be required for the following:

8. An excavation or fill which is less than three (3) feet (915 mm) in depth and does not create a slope steeper than two horizontal to one vertical and does not exceed 100 cubic yards (76.5 m³) on any one lot and does not obstruct or alter a drainage course.

SECTION 4. Chapter 14.08 of the La Mesa Municipal Code is hereby repealed in its entirety and rewritten to read as follows:

“Chapter 14.08
PLUMBING CODE

14.08.010 Adoption of the California Plumbing Code. There is hereby adopted by the City of La Mesa for the purpose of prescribing regulations governing the installation, alteration, or repair of plumbing and drainage systems, the California Plumbing Code, 2022 Edition (Part 5, Title 24, California Code of Regulations), incorporating the Uniform Plumbing Code, 2021 Edition, published by the International Association of Plumbing and Mechanical Officials. There is one (1) copy of said Code on file in the office of the City Clerk for use and examination by the public as required by law.”

SECTION 5. Chapter 14.09 of the La Mesa Municipal Code is hereby repealed in its entirety and rewritten to read as follows:

“Chapter 14.09
MECHANICAL CODE

14.09.010 Adoption of the California Mechanical Code. There is hereby adopted by the City of La Mesa for the purpose of prescribing regulations governing the design, installation, alteration, or repair of heating, ventilating, cooling, refrigeration systems, incinerators and other miscellaneous heating producing appliances within the City of La Mesa, the California Mechanical Code, 2022 Edition, (Part 4, Title 24, California Code of Regulations), incorporating the Uniform Mechanical Code, 2021 Edition, published by the International Association of Plumbing and Mechanical Officials. There is one (1) copy of said code on file in the office of the City Clerk for use and examination by the public as required by law.”

SECTION 6. Chapter 14.10 of the La Mesa Municipal Code is hereby repealed in its entirety and rewritten to read as follows:

“Chapter 14.10

ELECTRICAL CODE

14.10.010 Adoption of the California Electrical Code. There is hereby adopted by the City of La Mesa for the purpose of operation and maintenance of all electrical wiring and electrical apparatus of any nature, whether inside or outside of any building, the California Electrical Code, 2022 Edition (Part 3, Title 24, California Code of Regulations), incorporating the National Electrical Code, 2020 Edition, published by the National Fire Protection Association. There is one (1) copy of said Code on file in the office of City Clerk for use and examination by the public as required by law.”

SECTION 7. Chapter 14.12 of the La Mesa Municipal Code is hereby repealed in its entirety and rewritten to read as follows:

“Chapter 14.12 RESIDENTIAL CODE

14.12.010 Adoption of the California Residential Code. There is hereby adopted by reference the California Residential Code, 2022 Edition (Part 2.5, Title 24, California Code of Regulations), incorporating the International Residential Code, 2021 Edition, published by the International Code Council. Said document is hereby adopted as the Residential Code of the City of La Mesa for regulating the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every detached one- and two-family dwelling, efficiency dwelling unit, and townhouse not more than three stories above grade plane in height with a separate means of egress and structures accessory thereto within the City of La Mesa. There is one (1) copy of said Code on file in the office of the City Clerk for use and examination by the public as required by law.

14.12.020 Climatic and Geographic Design Criteria. Table R301.2(1) of the California Residential Code, 2022 Edition, adopted by reference in Section 14.12.010 hereof is hereby amended to read as follows:

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Ground Snow Load	Wind Design		Seismic Design Category	Subject to Damage from			Winter Design Temp ^a	Ice Barrier Underlayment Required ^b	Flood Hazard ^c	Air Freezing Index ^d	Mean Annual Temp ^e
	Wind Speed ^f (mph)	Topo- graphic Effects ^g		Weathering ^a	Frost Line Depth ^b	Termites ^c					
Zero	85	No	D ₁	Negligible	12"	Very Heavy	44°F	No	Footnote 'g'	Zero	60°F

For SI: 1 pound per square foot = 0.0479kPa, 1 mile per hour = 0.447m/s.

Footnotes:

- Weathering may require a higher strength concrete or grade of masonry than necessary to satisfy the structural requirements of this code. The weathering column shall be filled in with the weathering index (i.e., “negligible,” “moderate” or “severe”) for concrete as determined from the Weathering Probability Map [Figure R301.2(3)]. The grade of masonry units shall be determined from ASTM C34, C55, C62, C73, C90, C129, C145, C216 or C652.
- The frost line depth may require deeper footings than indicated in Figure R403.1(1). The jurisdiction shall fill in the frost depth column with the minimum depth of footing below finish grade.

- c. The jurisdiction shall fill in this part of the table to indicate the need for protection depending on whether there has been a history of local subterranean termite damage.
- d. The jurisdiction shall fill in this part of the table with the wind speed from the basic wind speed map [Figure R301.2(4)]. Wind exposure category shall be determined on a site-specific basis in accordance with Section R301.2.1.4.
- e. Temperatures shall be permitted to reflect local climates or local weather experience as determined by the Building Official.
- f. The jurisdiction shall fill in this part of the table with the seismic design category determined from Section R301.2.2.1.
- g. The jurisdiction shall fill in this part of the table with:
 - (a) the date of the jurisdiction's entry into the National Flood Insurance Program (date of adoption of the first code or ordinance for management of flood hazard areas), i.e., City of La Mesa Ordinance 2002-2721 06/25/2002,
 - (b) the date(s) of the Flood Insurance Study, i.e., Study date 01/31/2001 adopted by Ordinance 2002-2721;
 - (c) the panel numbers and dates of all currently effective FIRMs and FBFMs or other flood hazard map adopted by the authority having jurisdiction, as amended, i.e., Panel 06073C1643H current effective date 09/28/2006; Panel 06073C1644G current effective date 09/05/2006.
- h. In accordance with Sections R905.2.7.1, R905.4.3.1, R905.5.3.1, R905.6.3.1, R905.7.3.1 and R905.8.3.1, where there has been a history of local damage from the effects of ice damming, the jurisdiction shall fill in this part of the table with "YES". Otherwise, the jurisdiction shall fill in this part of the table with "NO".
- i. The jurisdiction shall fill in this part of the table with the 100-year return period air freezing index (BF-days) from Figure R403.3(2) or from the 100-year (99%) value on the National Climatic Data Center data table "Air Freezing Index – USA Method (Base 32o)" at www.ncdc.noaa.gov/fpsf.html.
- j. The jurisdiction shall fill in this part of the table with the mean annual temperature from the National Climatic Data Center data table "Air Freezing Index – USA Method (Base 32oF)" at www.ncdc.noaa.gov/fpsf.html.
- k. In accordance with Section R301.2.1.5, where there is local historical data documenting structural damage to buildings due to topographic wind speed up effects, the jurisdiction shall fill in this part of the table with "YES." Otherwise the jurisdiction shall indicate "NO" in this part of the table."

SECTION 8. Chapter 14.13 of the La Mesa Municipal Code is hereby repealed in its entirety and rewritten to read as follows:

“Chapter 14.13
GREEN BUILDING CODE

14.13.010 Adoption of the California Green Building Standards Code. There is hereby adopted by reference the California Green Building Standards Code, 2022 Edition (Part 11, Title 24, California Code of Regulations). Said document is hereby adopted as the Green Building Code of the City of La Mesa for establishing minimum standards to improve public health, safety and general welfare by enhancing the design and construction of buildings through the use of building concepts having a reduced negative impact or positive environmental impact and encouraging sustainable construction practices. There is one (1) copy of said Code on file in the office of the City Clerk for use and examination by the public as required by law.”

SECTION 9. Chapter 14.14 of the La Mesa Municipal Code is hereby repealed in its entirety and rewritten to read as follows

“Chapter 14.14
EXISTING BUILDING CODE

14.14.010 Adoption of the California Existing Building Code. There is hereby adopted by reference the California Existing Building Code, 2022 Edition (Part 10, Title 24, California Code of Regulations), based on the 2021 International Existing Building Code. Said document is hereby adopted as the Existing Building Code of the City of La Mesa for regulating alteration, repair, addition, and change of occupancy or relocation of existing building and structures. There is one (1) copy of said Code on file in the office of the City Clerk for use and examination by the public as required by law.”

SECTION 10. Constitutionality. If any section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be unconstitutional, such decision shall not affect the validity of the remaining portions of this Ordinance. The Council of the City of La Mesa hereby declares that it would have passed this Ordinance and each section, subsection, sentence, clause and phrase thereof, respective of the fact that any one or more sections, subsections, sentences, clauses, or phrases be declared unconstitutional. If any provision of this Ordinance or application thereof to any person or circumstances is held invalid. Such invalidity shall not affect other provisions or applications and, to this end, the provisions of the Ordinance are declared to be severable.

SECTION 11. This Ordinance shall be effective January 1, 2023 and the City Clerk of the City of La Mesa is hereby authorized to use summary publication procedures pursuant to Government Code Section 36933 utilizing the *Daily Transcript*, a newspaper of general circulation published in the City of La Mesa.

INTRODUCED AND READ at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October 2022, and thereafter PASSED AND ADOPTED at a Regular meeting of said City Council held the 22nd day of November 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

APPROVED:

MARK ARAPOSTATHIS, Mayor

ATTEST:

MEGAN WIEGELMAN, CMC, City Clerk

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be a true and correct copy of Ordinance No. 2022-____, duly passed and adopted by the City Council of said City on the date and by the vote therein recited and that the same has been duly published according to law.

MEGAN WIEGELMAN, CMC, City Clerk

(SEAL OF CITY)

Review of changes in the 2022 California Building Standards Code

The following provides a review of the Building Code Adoption process and a summary of significant changes in the 2022 edition of the California Building Standards Code (Title 24, California Code of Regulations) compared to the existing code affecting permits in the City of La Mesa.

Adoption process

State Law requires that the City of La Mesa adopt the same edition of the model technical codes as adopted and amended by the State. The California Building Standards Code incorporating the latest edition of the model technical codes applies in all parts of California. Failure to adopt the codes within 180 days of State adoption results in the codes being enforced by the City by default. The California Building Standards Commission has published and adopted the 2022 Edition of the California Building Standards Code that incorporates the 2021 International Building Code, the 2021 International Residential Code, the 2021 Uniform Plumbing Code, the 2021 Uniform Mechanical Code, 2020 National Electrical Code, 2022 California Green Building Standards Code and the 2022 California Existing Building Code, based on 2021 International Existing Building Code.

Section 18947.5 of the State Health and Safety Code provides that local amendments to the State's Building Standard for all occupancies are limited to those amendments required to address local climatic, geological or topographical conditions.

Summary

The following is a summary of the Building Codes that staff has identified as relevant to future design and development within the City of La Mesa. The Residential Code brings important updates to "Aging in place" design to contribute towards California's housing goals. The 2022 Energy Code encourages the state's clean energy goals with efficient electric heat pumps and electric-ready requirements for new homes. It expands on solar photovoltaic and battery storage standards, strengthens ventilation standards, and more. The 2022 California Green Code brings progressive changes related to electric vehicle (EV) charging that account for the Governor's Executive Orders to achieve over 1.5 million zero emission vehicles (ZEV's) on California roadways in 2025. Furthermore, the Building, Residential, Plumbing and Mechanical codes all officially changed permit expirations from 180 days to 12 months, in agreement with La Mesa's existing Municipal Code.

2022 California Building Code (2021 International Building Code) CCR Title 24 Part 2

CBC 105.5.1 Permit expiration

New section changed permit expiration from 180 days to 12 months.

CBC 310.3 Residential Group R- 2

Amended definition for Group R-2 to meet requirements of SB 234, Small and large family child care in apartment houses can operate in R-2 occupancies when they comply with Health and Safety Codes.

CBC 508 Mixed Use and Occupancy

Amendment permitting the consideration of some uses as accessory occupancies, mainly in medical and long-term care facility occupancy exterior entrances.

CBC 710A Accessory Buildings and Misc Structures

Clarifies that Group U occupancy accessory buildings shall conform to this section.

Amendment and subsections that are organized by categories of distances from applicable buildings and mandate enforcement for buildings greater than 120 sq feet.

CBC 903.3.1.1.3 Solar Photovoltaic power systems

Amendment to delete requirement for the installation of smoke detectors in outdoor locations as a substitute for sprinkler protection.

CBC 11B 108 Maintenance of Accessible Features

Added requirements to include facilities regulated by Ch 11B.

2022 California Residential Code(2021 International Residential Code)

CCR Title 24 Part 2.5

CRC 105 Permit expiration

New section changed permit expiration from 180 days to 12 months.

CRC 326 Habitable Attics

New section that states a habitable attic shall be considered a story above grade plane.

CRC 327 Aging in place design and fall protection

Sets infrastructure in new residential construction for grab bars, electrical control height, and door sizing for at least one bedroom and one bath on the entry level.

2022 California Electrical Code (2020 National Electrical Code)

CCR Title 24 Part 3

Article 404.4 Damp or Wet Locations. (C)

Switches in Tub or Shower Spaces Amendment to reduce the restriction distance for the installation of receptacles from five feet to three feet horizontally.

2022 California Mechanical Code (2020 Uniform Mechanical Code)

CCR Title 24 Part 4

CMC 104.4.3.1 Permit Expiration

New section changed permit expiration from 180 days to 12 months.

2022 California Plumbing Code (2020 Uniform Plumbing Code)

CCR Title 24 Part 5

CPC 105.5.1 Permit Expiration

New section changed permit expiration from 180 days to 12 months.

2022 California Energy Code (2019 California Energy Code)
CCR Title 24 Part 6

A) Residential

Section §150.1(c)6 Space heating equipment must be a heat pump in climate zones 3, 4, 13, and 14. In other climate zones it can be either a heat pump or a gas heating system.

Section §150.1(c)8 Water heating equipment must be a HPWH meeting certain criteria or solar water heating system with electric backup.

Section §150.0(s) New energy storage system (ESS) ready requirements, including interconnection equipment or a dedicated raceway, a minimum of four branch circuits, a minimum busbar rating of 225 amps, and space for future installation of a system isolation equipment or transfer switch.

Section §150.0(t)-(v) New electric ready requirements for space heating, cooking, and clothes dryers when gas equipment is installed. Electrical infrastructure must be provided and reserved to the equipment location for the future installation of electrical appliances.

Section §150.1(c)14 No PV system required when size is less than 1.8 kWdc.

B) Non Residential

Section §140.10 New prescriptive requirements added for PV and battery storage systems for specific building types.

Section §140.1(b) Energy Commission-approved shared solar PV, other renewable electric generation system, or ESS may be used to meet PV or ESS requirements using the performance method.

2022 California Green Building Standards Code
CCR Title 24 Part 11

A) Residential

4.106.4 and subsections. EV charging for new construction

Expanded EV charging requirements to installation of EV charging receptacles and EV chargers (EVSE). Modified Exception 1 to address situations in which there is no local utility power supply or when the local utility is unable to supply adequate power. Repealed references to specific dollar amounts for exceptions due to variations in utility costs based upon locations. Included an exception related to adverse impact to construction cost of a project, similar to the provision for nonresidential EV charging.

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities

New regulation to clarify that calculations for EV spaces are to be rounded up to the

nearest whole number and EV spaces to be counted as parking spaces only for the purposes of meeting parking space requirements at the local level (Vehicle Code Section 22511.2).

4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms

New regulation requiring that ten percent of the total number of parking spaces on a building site support future Level 2 EVSE, the installation of EV ready spaces for twenty-five percent (25%) of the total number of parking spaces equipped with low power Level 2 EV charging receptacles, and clarification that no more than one receptacle must be installed per dwelling unit.

4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms

New regulations requiring that ten percent (10%) of the total number of parking spaces on site support future Level 2 EVSE; the installation of EV-ready spaces for twenty-five percent (25%) of the total number of parking spaces equipped with low power Level 2 EV charging receptacles; and five percent (5%) of the total number of parking spaces shall be equipped with Level 2 EVSE. The use of an ALMS is allowed when low-power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required.

4.106.4.2.2.1 Electric vehicle charging stations (EVCS)

Added requirements for space location and dimensions, with a reference to the California Building Code to address accessibility.

4.106.4.2.3 EV space requirements

Amended requirements for single and multiple EV spaces, and added a requirement for EV-ready space signage.

4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings

Expanded EV charging infrastructure for additions and alterations triggered when new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered, and the work requires a building permit. The new regulation requires that 10 percent (10%) of the total number of parking spaces being added or altered be EV capable to support future Level 2 EVSE.

B) Non-Residential

5.106.5.2 Designated parking for clean air vehicles

Repealed the mandatory requirement for designated parking for clean air vehicles.

5.106.5.3 Electric vehicle (EV) charging and subsections

Amended to increase the EV capable space percentages and add a new requirement for installed Level 2 or DCFC chargers.

5.106.5.4 Electric vehicle (EV) charging: medium-duty and heavy-duty and subsections

Added new regulations for electric vehicle charging readiness requirements for new construction of warehouses, grocery stores and retail stores with planned off-street loading spaces.

REPORT to the MAYOR and MEMBERS of the CITY COUNCIL
From the CITY MANAGER

DATE: October 11, 2022

SUBJECT: PROJECT 2022-0770 (BINOTTI) – CONSIDERATION OF A REQUEST TO DESIGNATE THE PROPERTY LOCATED AT 9190 BRIER ROAD, APN 490-402-72-00 IN THE R1S-BT (SUBURBAN RESIDENTIAL / BRIER TRACT OVERLAY) ZONE AS A HISTORIC LANDMARK AND TO ESTABLISH A PROPERTY PRESERVATION (MILLS ACT) AGREEMENT FOR THE SITE

ISSUING DEPARTMENT: Community Development

SUMMARY:

Issues:

Does the property at 9190 Brier Road known as the Stanley and Virginia Scott House qualify for designation as a historic landmark, and should the City enter into property preservation (Mills Act) agreement with the owner?

Recommendation:

The Historic Preservation Commission recommends that the City Council adopt resolutions to 1) designate the Stanley and Virginia Scott House at 9190 Brier Road as a historic landmark (**Attachment A**) and 2) enter into a Mills Act Property Preservation Agreement with the property owner (**Attachment B**).

Fiscal Impact:

The amount of property tax to the City would be reduced by approximately \$600 annually. In exchange for discounted property taxes, the City receives guaranteed property maintenance and improvements to ensure the ongoing preservation, rehabilitation, and restoration of Mills Act properties. Well maintained historic landmarks can increase property values in the neighborhood.

City's Strategic Goals:

- Revitalize neighborhoods and corridors
- Ensure safe and affordable homes for La Mesa's current and future residents

Environmental Review:

This project is categorically exempt from environmental review pursuant to CEQA Guidelines Sections 15301 and 15331.

BACKGROUND:

Chapter 25.03 of the City's Historic Preservation Ordinance provides for the designation of historic landmarks by the City Council. A cultural resource may be designated a historic landmark if it meets one or more of eight criteria listed below.

- A. It exemplifies or reflects special elements of the City's cultural, social, economic, political, aesthetic, engineering, or architectural history;
- B. It is identified with persons or events significant in local, state, or national history;
- C. It embodies distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship;
- D. It is representative of the notable work of an acclaimed builder, designer, or architect;
- E. It is identified with a person or groups who significantly contributed to the culture and development of the City;
- F. It embodies elements of outstanding attention to architectural design, detail materials, or craftsmanship;
- G. It is an archeological or paleontological site which has the potential of yielding information of scientific value; or
- H. It is a geographically definable area possessing a concentration of sites, buildings, structures, improvements, or objects linked historically through location, design, setting, materials, workmanship, feeling, and/or association, in which the collective value of the improvements may be greater than the value of each individual improvement.

Properties with landmark designation are eligible for a reduced property tax assessment through the Mills Act, and the owners have applied for this benefit in conjunction with the landmark nomination. California Government Code Section 50280 et seq. authorizes cities to enter into property preservation agreements with owners of qualified historical properties to ensure the preservation, maintenance and restoration of historic properties through reduced property tax assessments. This program, known as the Mills Act, provides for a 10-year preservation agreement. Each year, on the anniversary of the effective date of the Agreement, a year is automatically added to the initial term of the agreement unless either party files a notice of non-renewal.

Alterations to historic landmarks are subject to development approval by the Historic Preservation Commission (HPC) to ensure that cultural resources are being maintained in accordance with the Secretary of the Interior's Standards for Rehabilitation.

The owners of 9190 Brier Road have nominated the property to the local historic landmark registry. On September 6, 2022, the HPC voted 4-0 to adopt resolutions recommending that the City Council approve historical landmark designation and enter into a Mills Act Preservation Agreement with the owners. Resolutions memorializing the HPC's actions are provided as **Attachments C and D**.

DISCUSSION:

Located on the east side of Brier Road between Briercrest Drive and Bramble Road, the 1.3-acre site is developed with a single-family residence, attached garage, detached accessory structure, and pool. The improvements are situated on the westerly half of the site, facing the street. Much of the area between the house and the street contains a paved, looped driveway. The rear half of the site slopes downhill towards the east. When the property was originally developed, the lot included an additional 80-foot wide strip of land to the southeast. The southeasterly 80 feet, totaling one-half-acre, was split from the original site by a parcel map recorded in 2020. A vicinity map is shown below, and the Assessor Parcel map is provided as **Attachment E**.



As described in the nomination report, **Attachment G**, the residence is a custom ranch built in 1950 for local developer Stanley Scott and his family. Stanley Scott was a partner in Jackson & Scott Builders, Inc., prolific builders of over 3,000 homes in San Diego County during the post-WWII development boom. The years of residence for the Scott family, 1950-1962, were the peak building period for Jackson & Scott.

The house embodies a typical mid-century aesthetic on both the interior and exterior and is in excellent near-original condition. The house is long and low and sits wide to the street. Exterior character defining features include a low-sloped gable roof with cedar shingles, walls of white brick with weeping mortar and vertical board and batten siding, and a prominent brick chimney. Contributing interior elements include vaulted open beam ceilings, wood parquet flooring, an exposed red brick double-sided fireplace, and unpainted cedar paneling. Contributing site improvements include the pool and basket-weave brickwork in the front and back patios. The driveway layout retains its original configuration as well. Overall, the craftsmanship is of above-average quality and both the house and site improvements retain integrity of location, design, setting, materials, workmanship, feeling and association.



The Historic Preservation Commission concluded that based on the architectural description and analysis contained within the statement of significance the property is eligible for landmark designation under four eligibility criteria. As relates to architecture and design, the resource embodies distinctive characteristics of the Custom Ranch sub-style of Midcentury Modern (Criterion C), and embodies elements of outstanding attention to architectural design, detail materials, and craftsmanship (Criterion F). For being associated with persons significant in local history, the property is significant under Criterion B, and for being the work of a locally acclaimed builder, the resource meets Criterion D.



Mills Act Agreement

Planned improvements identified by the owners are listed below. Those improvements would be funded with the Mills Act tax savings and are proposed for inclusion in the Mills Act agreement, with a recommended timeline of five years for completion:

- Replace cedar shake roofing with shake-like tile, similar in size and texture to the existing shakes (by 2023).
- Repair broken brick mortar from wear/sprinklers in front yard and around the pool (by 2023).
- Repair broken brickwork throughout landscaping (by 2023).
- Replace all rotten/falling fencing street-side with like-kind 2x4 white fencing (by 2023)
- Repair and replace deteriorated board and batten siding in-kind as needed (by 2025)
- Maintain original craftsman woodwork including: built-in closets, doors, and unpainted cedar paneling in main living spaces (ongoing)
- Maintain mature citrus and eucalyptus trees that are important to area history. Replace aging citrus trees with new citrus as needed (ongoing)

Public Notice of Project

Notification of the October 11, 2022, public hearing to consider the historic landmark application and preservation agreement was published in the Daily Transcript and mailed to all property owners within 300 feet of the subject property on September 30, 2022. One comment letter in support of the nomination has been received (**Attachment F**).

Environmental Review

The historic landmark nomination request is exempt from environmental review pursuant to categorical exemption Class 1, Existing Facilities, and categorical exemption Class 31, Historical Resource Restoration/Rehabilitation, as provided by the California Environmental Quality Act (CEQA) Guidelines Sections 15301 and 15331, respectively. Section 15301 exempts activities involving negligible or no expansion of use of an existing facility. Section 15331 exempts the preservation and conservation of historical resources when carried out in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The project serves to

protect the resource by ensuring that future alterations are subject to the standards described in Section 15331. None of the exceptions in Section 15300.2 apply.

CONCLUSION:

The Historic Preservation Commission recommends that the City Council adopt the draft resolutions provided as **Attachments A and B** to designate the Stanley and Virginia Scott House at 9190 Brier Road as a historic landmark and execute the Mills Act Preservation Agreement.

Reviewed by:



Greg Humora
City Manager

Respectfully submitted by:



Kerry Kusiak
Director of Community Development

Attachments:

- A. Draft Council Resolution for Historic Landmark Designation
- B. Draft Council Resolution for Mills Act Agreement
- C. Resolution HPC 2022-04 Recommending Landmark Designation
- D. Resolution HPC 2022-05 Recommending a Mills Act Agreement
- E. Assessor Parcel Map Sheet
- F. Correspondence
- G. Historic Landmark Nomination Report

RESOLUTION NO. 2022-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LA MESA
DESIGNATING THE STANLEY AND VIRGINIA SCOTT HOUSE LOCATED AT
9190 BRIER ROAD, APN 490-402-72-00 AS A HISTORIC LANDMARK

WHEREAS, Bryan and Catherine Binotti, owners of the property located at 9190 Brier Road, APN 490-402-72-00 in the R1S-BT (Suburban Residential/Brier Tract Overlay) zone, have submitted a request to designate the property as a local historic landmark of the City of La Mesa;

WHEREAS, the Historic Preservation Commission of the City of La Mesa held a duly noticed public hearing on September 6, 2022, and accepted public testimony in considering the request;

WHEREAS, the Historic Preservation Commission did adopt Resolution HPC 2022-04 on September 6, 2022, recommending to the City Council designation of the Stanley and Virginia Scott House, located at 9190 Brier Road, as a Historic Landmark;

WHEREAS, the City Council received and considered a staff report on the Historic Preservation Commission's determination; and

WHEREAS, the City Council of the City of La Mesa did hold a duly noticed public hearing on October 11, 2022, and accepted public testimony in considering Project 2022-0770, a request to designate the Stanley and Virginia Scott House at 9190 Brier Road as a historic landmark in the City of La Mesa.

THE CITY COUNCIL FINDS AND DETERMINES AS FOLLOWS:

1. That the project is exempt from environmental review under California Environmental Quality Act Guidelines Sections 15301 and 15331. Section 15301 exempts activities involving negligible or no expansion of use of an existing facility. Section 15331 exempts the preservation and conservation of historical resources when carried out in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The project serves to protect the resource by ensuring that future alterations are subject to the standards described in Section 15331. The project meets the criteria for the exemptions and none of the exceptions listed in Section 15300.2 apply.
2. That the project is consistent with the La Mesa General Plan.
3. That the project complies with Section 25.03.010 of the Historic Preservation Ordinance, Historic Landmark and Historic District Designation Criteria, finding that Criterion B, C, D, and F of the Section apply to the historical and cultural significance of the property.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF LA MESA AS FOLLOWS:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.

2. The City Council designates the Stanley and Virginia Scott House, located at 9190 Brier Road and further described in "Exhibit A", attached thereto and made a part thereof, as a Historic Landmark.

PASSED AND ADOPTED at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October, 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, CMC, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be true and exact copy of Resolution No. 2022-_____, duly passed and adopted by the City Council of said City on the date and by the vote therein recited.

MEGAN WIEGELMAN, CMC, City Clerk

(SEAL OF CITY)

EXHIBIT A

Legal Description

Real property located in the City of La Mesa, County of San Diego, State of California, described as follows:

PARCEL 1 OF PARCEL MAP NO. 21817, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 04, 2020 AS FILE NO. 2020-7000406 OF OFFICIAL RECORDS.

APN 490-402-72-00

RESOLUTION NO. 2022-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LA MESA
AUTHORIZING EXECUTION OF A HISTORIC LANDMARK PROPERTY
PRESERVATION AGREEMENT WITH THE OWNERS OF THE HISTORIC
LANDMARK KNOWN AS THE STANLEY AND VIRGINIA SCOTT HOUSE
LOCATED AT 9190 BRIER ROAD, APN 490-402-72-00

WHEREAS, Bryan and Catherine Binotti, owners of the property located at 9190 Brier Road, APN 490-402-72-00 in the R1S-BT (Suburban Residential/Brier Tract Overlay) zone, wish to protect and preserve the characteristics of historical significance of their historic property by entering into an Historic Landmark Property Preservation Agreement authorized under the Mills Act with the City;

WHEREAS, properties listed on the City of La Mesa Historic Landmarks Registry are eligible, by Historic Landmark Property Preservation Agreement, for an assessment of valuation pursuant to the Provisions of Chapter 3, part 2, of Division 1 of the California Revenue and Taxation Code, also known as the Mills Act;

WHEREAS, on October 11, 2022, the City Council of the City of La Mesa adopted Resolution No. ~~2022-XX~~ designating the Stanley and Virginia Scott House located at 9190 Brier Road as a historic landmark; and

WHEREAS, the City Council of the City of La Mesa did hold a duly noticed public hearing on October 11, 2022, considered a staff report, and accepted public testimony in considering the request for a Historic Landmark Property Preservation agreement.

THE CITY COUNCIL FINDS AND DETERMINES AS FOLLOWS:

1. That the project is exempt from environmental review under California Environmental Quality Act Guidelines Sections 15301 and 15331. Section 15301 exempts activities involving negligible or no expansion of use of an existing facility. Section 15331 exempts the preservation and conservation of historical resources when carried out in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The project serves to protect the resource by ensuring that future alterations are subject to the standards described in Section 15331. The project meets the criteria for the exemptions and none of the exceptions listed in Section 15300.2 apply.
2. That the project is consistent with the La Mesa General Plan.
3. That the project complies with California Government Code Sections 50280 et seq. as set forth in the Historic Landmark Property Preservation Agreement.

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF LA MESA AS FOLLOWS:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.

2. That the Mayor is hereby authorized and instructed to execute for and on behalf of said City that certain Historic Landmark Property Preservation Agreement with Bryan and Catherine Binotti, owners of the Historic Landmark known as the Stanley and Virginia Scott House located at 9190 Brier Road, to be kept on file in the office of the City Clerk, subject to the following improvement schedule that shall be placed in a timeline as an attachment to the agreement:
 - a. Replace cedar shake roofing with shake-like tile, similar in size and texture to the existing shakes (by 2023).
 - b. Repair broken brick mortar from wear/sprinklers in front yard and around the pool (by 2023).
 - c. Repair broken brickwork throughout landscaping (by 2023).
 - d. Replace all rotten/falling fencing street-side with like-kind 2x4 white fencing (by 2023).
 - e. Repair and replace deteriorated board and batten siding in-kind as needed (by 2025).
 - f. Maintain original craftsman woodwork including: built-in closets, doors, and unpainted cedar paneling in main living spaces (ongoing).
 - g. Maintain mature citrus and eucalyptus trees that are important to area history. Replace aging citrus trees with new citrus as needed (ongoing).

PASSED AND ADOPTED at a Regular meeting of the City Council of the City of La Mesa, California, held the 11th day of October, 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

CERTIFICATE OF CITY CLERK

I, MEGAN WIEGELMAN, City Clerk of the City of La Mesa, California, do hereby certify the foregoing to be true and exact copy of Resolution No. 2022-___, duly passed and adopted by the City Council of said City on the date and by the vote therein recited.

MEGAN WIEGELMAN, CMC, City Clerk

(SEAL OF CITY)

RESOLUTION NO. HPC 2022-04

RESOLUTION OF THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LA MESA RECOMMENDING CITY COUNCIL APPROVAL OF PROJECT 2022-0770, A REQUEST TO DESIGNATE THE STANLEY AND VIRGINIA SCOTT HOUSE AT 9190 BRIER ROAD, APN 490-402-72-00 IN THE R1S-BT (SUBURBAN RESIDENTIAL/BRIER TRACT OVERLAY) ZONE AS A HISTORIC LANDMARK

WHEREAS, Bryan and Catherine Binotti, owners of the property located at 9190 Brier Road, APN 490-402-72-00 in the R1S-BT (Suburban Residential/Brier Tract Overlay) zone, have submitted a request to designate the property as a local historic landmark of the City of La Mesa;

WHEREAS, Section 25.03.010 of the Historic Preservation Ordinance provides that a cultural resource may be recommended for designation as a landmark if it meets one or more prescribed criteria;

WHEREAS, the Historic Preservation Commission did receive and consider a staff report for the proposed historic landmark designation of 9190 Brier Road; and

WHEREAS, the Historic Preservation Commission of the City of La Mesa did hold a duly noticed hearing on September 6, 2022, and accepted public testimony in considering Project 2022-0770.

THE HISTORIC PRESERVATION COMMISSION FINDS AND DETERMINES AS FOLLOWS:

1. That the project is exempt from environmental review under California Environmental Quality Act Guidelines Sections 15301 and 15331. Section 15301 exempts activities involving negligible or no expansion of use of an existing facility. Section 15331 exempts the preservation and conservation of historical resources when carried out in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The project serves to protect the resource by ensuring that future alterations are subject to the standards described in Section 15331. The project meets the criteria for the exemptions and none of the exceptions listed in Section 15300.2 apply.
2. That the project complies with Section 25.03.010 of the Historic Preservation Ordinance, Historic Landmark and Historic District Designation Criteria.

NOW, THEREFORE, BE IT FURTHER RESOLVED by the Historic Preservation Commission of the City of La Mesa as follows:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.
2. Project 2022-0770 has been found to be consistent with the established criteria of Section 25.03.010 of the Historic Preservation Ordinance, finding that Criteria B, C, D, and F of the Section applies to the historical and cultural significance of the property.

3. The Historic Preservation Commission recommends that the City Council approve the designation of the Stanley and Virginia Scott House, located at 9190 Brier Road and further described in "Exhibit A", as a historic landmark.

PASSED AND ADOPTED at a regular meeting of the Historic Preservation Commission of the City of La Mesa, California, held the 6th day of September, 2022, by the following vote, to wit:

Aye: Chair Pauli, Commissioners Garcia, Sherman, and Wilcox

Nay:

Abstain:

Absent: Commissioners Cary and Cline

I, Kerry Kusiak, Secretary of the La Mesa Historic Preservation Commission do hereby certify the foregoing to be a true and exact copy of Resolution No. HPC 2022-04, duly passed and adopted by the Historic Preservation Commission.



Kerry Kusiak, Secretary
La Mesa Historic Preservation Commission

Exhibit A

Legal Description

Real property located in the City of La Mesa, County of San Diego, State of California, described as follows:

PARCEL 1 OF PARCEL MAP NO. 21817, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 04, 2020 AS FILE NO. 2020-7000406 OF OFFICIAL RECORDS.

APN 490-402-72-00

RESOLUTION NO. HPC 2022-05

RESOLUTION OF THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LA MESA RECOMMENDING THAT THE CITY COUNCIL ENTER INTO A HISTORIC LANDMARK PROPERTY PRESERVATION AGREEMENT WITH THE OWNERS OF THE PROPERTY LOCATED AT 9190 BRIER ROAD, APN 490-402-72-00 KNOWN AS THE STANLEY AND VIRGINIA SCOTT HOUSE, IN THE R1S-BT (SUBURBAN RESIDENTIAL/BRIER TRACT OVERLAY) ZONE

WHEREAS, Bryan and Catherine Binotti, owners of the property located at 9190 Brier Road, APN 490-402-72-00 in the R1S-BT (Suburban Residential/Brier Tract Overlay) zone, wish to maintain the historical integrity of the property;

WHEREAS, the property owners wish to enter into an Historic Landmark Property Preservation Agreement with the City to both protect and preserve the characteristics of historical significance of the historic property and to qualify the historic property for an assessment of valuation pursuant to the Provisions of Chapter 3, part 2, of Division 1 of the California Revenue and Taxation Code;

WHEREAS, the Historic Landmark Property Preservation Agreement is subject to designation of the property as a local historic landmark;

WHEREAS, the Historic Preservation Commission did receive and consider a staff report for the proposed Historic Landmark Property Preservation Agreement for the property located at 9190 Brier Road; and

WHEREAS, the Historic Preservation Commission of the City of La Mesa did hold a duly noticed public hearing on September 6, 2022, and accepted public testimony in considering Project 2022-0770, a request by the owners to enter into a Historic Landmark Property Preservation Agreement with the City as authorized under the Mills Act.

THE HISTORIC PRESERVATION COMMISSION FINDS AND DETERMINES AS FOLLOWS:

1. That the project is exempt from environmental review under California Environmental Quality Act Guidelines Sections 15301 and 15331. Section 15301 exempts activities involving negligible or no expansion of use of an existing facility. Section 15331 exempts the preservation and conservation of historical resources when carried out in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The project serves to protect the resource by ensuring that future alterations are subject to the standards described in Section 15331. The project meets the criteria for the exemptions and none of the exceptions listed in Section 15300.2 apply.
2. That the project complies with California Government Code Sections 50280 et seq. as set forth in the Historic Landmark Property Preservation Agreement.

NOW, THEREFORE, BE IT FURTHER RESOLVED by the Historic Preservation Commission of the City of La Mesa as follows:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.
2. The Historic Preservation Commission recommends that the City Council approve the Historic Landmark Property Preservation Agreement for the Stanley and Virginia Scott House at 9190 Brier Road, contingent upon designation of said property as a historic landmark, subject to the following improvements to be completed as listed:
 - a. Replace cedar shake roofing with shake-like tile, similar in size and texture to the existing shakes (by 2023).
 - b. Repair broken brick mortar from wear/sprinklers in front yard and around the pool (by 2023).
 - c. Repair broken brickwork throughout landscaping (by 2023).
 - d. Replace all rotten/falling fencing street-side with like-kind 2x4 white fencing (by 2023)
 - e. Repair and replace deteriorated board and batten siding in-kind as needed (by 2025)
 - f. Maintain original craftsman woodwork including: built-in closets, doors, and unpainted cedar paneling in main living spaces (ongoing)
 - g. Maintain mature citrus and eucalyptus trees that are important to area history. Replace aging citrus trees with new citrus as needed (ongoing).

PASSED AND ADOPTED at a regular meeting of the Historic Preservation Commission of the City of La Mesa, California, held the 6th day of September, 2022, by the following vote, to wit:

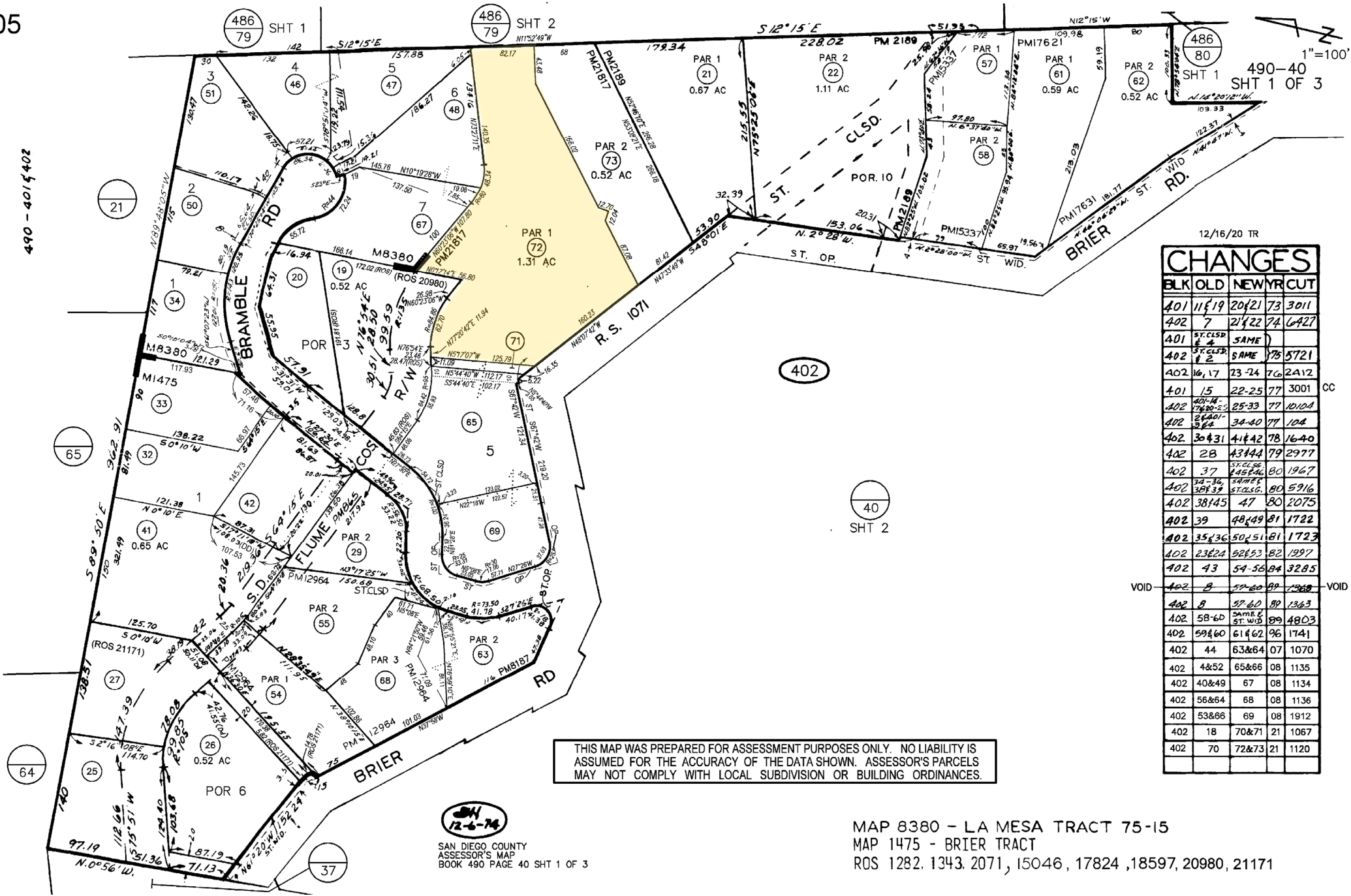
Aye: Chair Pauli, Commissioners Garcia, Sherman, and Wilcox
Nay:
Abstain:
Absent: Commissioners Cary and Cline

I, Kerry Kusiak, Secretary of the La Mesa Historic Preservation Commission do hereby certify the foregoing to be a true and exact copy of Resolution No. HPC 2022-05, duly passed and adopted by the Historic Preservation Commission.



Kerry Kusiak, Secretary
La Mesa Historic Preservation Commission

490 - 401 & 402



CHANGES				
BLK	OLD	NEW	YR	CUT
401	11	19	20	73 3011
402	7	21	22	74 6427
401	ST. CLSD	SAME		
402	ST. CLSD	SAME		
402	16, 17	23-24	76	2412
401	15	22-25	77	3001
402	25-33	77	10104	
402	34-40	77	104	
402	30 & 31	41 & 42	78	1640
402	28	43 & 44	79	2977
402	37	45 & 46	80	1967
402	34-36	SAME		
402	38 & 45	47	80	2075
402	39	48 & 49	81	1722
402	35 & 36	50 & 51	81	1723
402	23 & 24	52 & 53	82	1997
402	43	54-56	84	3285
VOID	402	5	57-60	87 1368
VOID	402	8	57-60	89 1363
402	58-60	SAME		
402	59 & 60	61 & 62	96	1741
402	44	63 & 64	07	1070
402	4 & 52	65 & 66	08	1135
402	40 & 49	67	08	1134
402	56 & 64	68	08	1136
402	53 & 66	69	08	1912
402	18	70 & 71	21	1067
402	70	72 & 73	21	1120

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

SD 12-6-74
SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 490 PAGE 40 SHT 1 OF 3

MAP 8380 - LA MESA TRACT 75-15
MAP 1475 - BRIER TRACT
ROS 1282, 1343, 2071, 15046, 17824, 18597, 20980, 21171



Save Our Heritage Organisation

Protecting San Diego's architectural and cultural heritage since 1969

Tuesday, March 1, 2022

La Mesa Historic Preservation Commission
La Mesa City Hall
8130 Allison Avenue
La Mesa, CA 91942

Re: March 1st agenda, Item 5.2 - 9190 Brier Road

Commissioners,

Save Our Heritage Organisation (SOHO) supports a historic designation nomination report being submitted for 9190 Brier Road, the Stanley and Virginia Scott house. Potentially significant under Criteria B and C, this resource is associated with Stanley Scott, a notable builder and developer during the post-war period within the San Diego region, and appears to be a good example of the Custom Ranch style.

Stanley Scott was a partner in Jackson and Scott Builders, who contributed to San Diego housing development in the post WWII period, and personally contributed to several San Diego organizations. Notable tracts located across the county include Del Cerro, Pamela Park in South Park, Woodland Terrace in Point Loma, Farms Club Estates in La Jolla and Oak Park. Further, Jackson and Scott Builders worked with Master Architect Lloyd Ruocco during the 1940s. Stanley Scott also contributed to the community as a member of various San Diego organizations including the Building Industry Association of San Diego County, the Construction Industry Federation, and the Construction Industry Advancement Fund as well as the California Building Industry Association. These contributions and achievements demonstrate his potential historical significance under Criterion B and should be included and analyzed within a historic designation nomination report.

In addition, renderings of the building's exterior demonstrate the original design appears to be intact and reflect the Custom Ranch style. Notable features include the single-story horizontal massing oriented to the street, a low-pitch gable roof clad in wood shingles with deep overhangs, brick and vertical wood siding exterior, large brick chimney, attached garage, and a high level of craftsmanship. These character defining features illustrate this resource is a good candidate for designation under Criterion C and further supports the preparation of a designation report.

SOHO recommends a historic designation report be prepared for 9190 Brier Road and reviewed by the Historic Preservation Commission, which appears significant under multiple criteria.

Thank you for the opportunity to comment,

Amie Hayes
Senior Historic Resources Specialist

Historic Site Designation Report

March 2022

Stanley and Virginia Scott House



Prepared for/by: Bryan and Catherine Binotti, Property Owners

9190 Brier Road, La Mesa, CA 91942

Submitted to: La Mesa City Planning

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HISTORIC LANDMARK NOMINATION FORM

COMMUNITY DEVELOPMENT DEPARTMENT / PLANNING DIVISION
8130 Allison Avenue, La Mesa, CA 91942
Phone: 619.667.1177 • Fax: 619.667.1380

1. NAME Stanley and Virginia Scott House

Historic:

and/or Common:

2. LOCATION

Address: 9190 Brier Rd.

City: La Mesa

State: CA

Zip: 91942

3. CLASSIFICATION

CATEGORY

- ☐ District
☐ Building(s)
☒ Structure
☐ Site
☐ Object

OWNERSHIP

- ☐ Public
☒ Private
☐ Both

PUBLIC ACQUISITION

- ☐ In progress
☐ Being Considered

STATUS

- ☒ Occupied
☐ Unoccupied
☐ Work in progress

PRESENT USE

- ☐ Agricultural
☐ Commercial
☐ Educational
☐ Entertainment
☐ Government
☐ Industrial
☐ Military
☐ Museum
☐ Park
☒ Private residence
☐ Religious
☐ Scientific
☐ Transportation
☐ Other

4. OWNER OF PROPERTY

Name: Bryan and Catherine Binotti

Address: 9190 Brier Road

City: La Mesa

State: CA

Zip: 91942

5. LOCATION OF LEGAL DESCRIPTION

Courthouse, Registry of Deeds, etc.:

Address: County of San Diego Recorder's Office 1600 Pacific Way

City: San Diego

State: CA

Zip: 92101

6. REPRESENTATION IN EXISTING SURVEYS

Title: N/A

Date:

Depository for Survey Records:

City:

State:

Zip:

7. DESCRIPTION

CONDITION

- ☒ Excellent ☐ Deteriorated
☐ Good ☐ Ruins
☐ Fair ☐ Unexposed

CHECK ONE

- ☐ Unaltered
☒ Altered

CHECK ONE

- ☒ Original site
☐ Moved

Date: 1/5/22

Describe the present and original (if known) physical appearance:

a. WEST ELEVATION (Main Façade)

Original drafts, shown in Appendix A, parallel the current condition of the home in regards to nearly every aspect of this sprawling one-story mid-century ranch home.

The front façade of the home has a strong horizontal emphasis directly facing into a circle driveway arching around a small grove of citrus trees. Board and batten garage doors seamlessly blend the garage with the rest of the body of the home. The home is currently painted a custom "Johnson Green"—a light green with darker shade of moss green for trim and shutters complimented by white crisp eaves. The wide sprawling home is a slight U shape centering on an outdoor east-facing patio. The recessed front porch entry is met with an extra wide original wood door, with an upper glass pane of bottled glass flanked by louvered wood sidelights.

All windows are wood double hung, with simulated divided lite following the panel pattern from the original sketch. Exterior siding is board and batten of 1x3, and 1x12 woodwork, and weeping brick painted white under the front and back areas covered by a wide hip roof and wide eaves for a front porch and rear patio. The front porch walkway is red brick in a basket-weave pattern. Exterior wood louvered shutters are found on all windows of the main home with the exception of the garage and picture window of the front den. The exterior and interior of the home utilizes high end custom details and materials for the Ranch design.

A prominent and wide brick chimney is seen protruding from the left half of the cedar shake roof. Original drawings also note a cedar shake roof. Photos in Appendix D from 1971 show landscaping of grass with a lamppost, and a few citrus planted near the road. Today, areas once covered by grass have been retrofitted for drought tolerant native landscaping, yet the lamppost remains the same.

b. EAST ELEVATION (Rear façade)

The east elevation of the home is viewed through floor to ceiling glass looking over a swimming pool with north facing vistas of Fletcher Hills. The backside façade of the home mirrors the front with a sprawling deep-set roof with weeping mortar, and basket weave brick patio. Unobstructed views to the north, as well as open land slope down the east portion of the property allow for breezes and air to flow through the home from the double back doors to the air inlets flanking the extra-wide front door on the west facade.

The east elevation, or the backyard, has an oval swimming pool and slide, with a detached pool house and covered cabana area. There is evidence of a previous diving board in the cement and in photos in appendix D.

c. NORTH ELEVATION

The north elevation is not viewable from the street, and is comprised of three bedrooms and two bathroom double hung wood windows, as well as the board and batten siding pattern.

d. SOUTH ELEVATION

A three car garage allows ample room for automobilists and storage. The single car garage has access from both the rear and front for privacy in the "shop" and accessibility. The rear of the garage faces an open courtyard area with a basketball hoop and the kitchen window accentuating family life. These characteristics show the modernistic approach as homes were adapted to the enjoyment and convenience of the family residing in them and the natural elements around the property.

Please See Section V for remainder of description of physical attributes.

8. SIGNIFICANCE

PERIOD	AREAS OF SIGNIFICANCE – CHECK AND JUSTIFY BELOW				
<input type="checkbox"/> Prehistoric	<input type="checkbox"/> Archeology-Prehistoric	<input type="checkbox"/> Conservation	<input type="checkbox"/> Landscape Architecture	<input type="checkbox"/> Religion	
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> Archeology-Historic	<input type="checkbox"/> Economics	<input type="checkbox"/> Law	<input type="checkbox"/> Science	
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> Agricultural	<input type="checkbox"/> Education	<input type="checkbox"/> Literature	<input type="checkbox"/> Sculpture	
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> Architecture	<input type="checkbox"/> Engineering	<input type="checkbox"/> Military	<input checked="" type="checkbox"/> Social /	
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> Art	<input type="checkbox"/> Exploration/Settlement	<input type="checkbox"/> Music	<input type="checkbox"/> Humanitarian	
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> Commerce	<input type="checkbox"/> Industry	<input type="checkbox"/> Philosophy	<input type="checkbox"/> Theater	
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> Communications	<input type="checkbox"/> Invention	<input type="checkbox"/> Politics/Government	<input type="checkbox"/> Transportation	
	<input checked="" type="checkbox"/> Community Planning	<input type="checkbox"/> Other (specify)			

SPECIFIC DATES: 1950

BUILDER/ARCHITECT: Jackson- Scott Construction

Statement Of Significance:

This Historic Site Designation report has been prepared for the Stanley and Virginia Scott house, located at 9190 Brier Rd. in the Brier tract of La Mesa northwest of Mt. Helix, by and for the developer Stanley Scott and his family. Stanley Scott was a partner in Jackson & Scott builders Inc- prolific builders in the East San Diego County during the post WWII development boom. The custom ranch residence is a 4 bedroom, 3 bathroom single family 2563 sq ft residence, on 1.31 acre. This report was prepared by property owners Bryan and Catherine Binotti in order to support a designation request to the La Mesa City Historic Board. The aforementioned property owners are seeking La Mesa historical designation in order to enter into a Mills Act Property Abatement contract.

Designed for property owners Stanley and Virginia Scott in 1949, the Scott family resided there from 1950-1962. Tucked into a grove of mature eucalyptus behind a small orchard of orange trees sits a ranch style home boasting a cedar shake roof and weeping white brick. The 9190 Brier Dr dwelling retains a high degree of integrity, maintained meticulously such that the dwelling's appearance has not been significantly changed from the original design and construction. The home embodies the mid-century appeal in interior and exterior work with great individual traits of a classic custom ranch residence. Built during 1950 it exemplifies the shift in modern construction to cater to the family needs and interests. Great skill and detail exhibited by Jackson & Scott Construction went into the home.

The home is historically and architecturally significant for its reflection of Mid-century construction that characterized the La Mesa community in the post WWII development period, masterful craftsmanship, as well as the impact of original owner Stanley Scott to the growth and development of La Mesa and the surrounding community during the peak of his career. The exterior and interior of the dwelling as well as the garage are all contributing elements to the property's significance. Contributory elements of the interior include: vaulted open beam ceiling of entryway, main living room, and front den. Wood parquet wood flooring, exposed red brick fireplace shared between the living room and kitchen, and clear unpainted cedar paneling in the living room. Rear exterior contributory elements include the mid-century oval shaped pool, with classic blue tile edging and brick colored edging, as well as basket-weave brickwork in the front and back patio.

The years of residence for the Scott family in their custom built home was a peak building period for Jackson- Scott, with the business office located locally in La Mesa. With high community involvement, and small desks and shelving throughout the home, it is only assumed that work was often brought into the Scott home in a social and professional capacity. 9190 Brier Road is found to meet criteria B and D due to the association with builder Stanley Scott. Criteria C and F are met due to the exceptional nature of the integrity of the home remaining true to its distinctive design, style, and craftsmanship.

Please see section II, III, and IV below for further expanded detail on the significance and residents of 9190 Brier Road.

9. PLANNED IMPROVEMENTS

- 2023-Replace shake roofing with shake-like tile, similar in size and texture to shake
- 2023-Repair broken brick mortar from wear/sprinklers in front yard and around pool
- 2023-Repair broken brickwork throughout landscape
- 2023-Replace all rotten/falling fencing street-side with like-kind 2x4 white fencing.
- 2025-Repair and replace rotten board and batten as needed.
- Maintain original craftsman woodwork including: built-in closets, doors, and clear cedar paneling in main living spaces
- Maintain mature citrus and eucalyptus that are important to area history. Will replace aging citrus trees with new citrus trees as needed.

10. SOURCES

1. Save Our Heritage Organisation - weekend 2005
2. Modern San Diego
3. Architects Envisioned a 'Spectacular' Postwar La Mesa: Homes Seen in Tour- Ruocco
4. 4421 Mayapan Dr- Zillow
5. City of La Mesa Design Review Board
6. Historic Nomination of the Ben and Ruth Rubin House
7. La Mesa Historical Society website
8. Historical Nomination
9. CA Homebuilding Foundation 1986 Honoree- Stanley C. Scott
10. CA Building Industry Association- 75th Anniversary
11. PCBC- Pacific Coast Building Conference
12. San Diego Union Tribune, January 11, 1993 image
13. San Diego Blood bank- celebrating 70 years
14. Grossmont Healthcare District history
15. San Diego Union Tribune, November 13, 2016
16. American Psychological Association- Laverne C. Johnson
17. Lloyd Ruocco Archive
18. San Diego Modernism Historic Context Statement - 2007
19. Personal documents and photographs
20. San Diego History Center: 1542-1908
21. La Mesa Preservation Element
22. SD Municipal Code: Land Development Code- Historical resources Guidelines
23. James Newland- Historian

11. Geographical Data: SD County Assessor's Parcel No 490-402-72-00 on Map 1475, Brier Tract

12. FORM PREPARED BY:

Catherine Binotti

13. APPLICATION PREPARED BY:

Catherine Binotti

II. EXECUTIVE SUMMARY:

This Historic Site Designation report has been prepared for the Scott house, located at 9190 Brier Rd, in the Brier tract of La Mesa northwest of Mt. Helix, by and for the developer Stanley Scott and his family. Stanley Scott was a partner in Jackson & Scott builders- prolific builders in the East San Diego County during the post WWI development boom. This property is identified as San Diego County Assessor's Parcel No. 490-402-72-00 on Map 1475. The custom ranch residence is a 4 bedroom, 3 bathroom single family 2563 sq ft residence, on 1.31 acre. This report was prepared by property owners Bryan and Catherine Binotti in order to support a designation request to the La Mesa City Historic Board. The aforementioned property owners are seeking La Mesa historical designation in order to enter into a Mills Act Property Abatement contract.

Designed for property owners Stanley and Virginia Scott in 1949, the Scott family resided there from 1950-1962. Tucked into a grove of mature eucalyptus behind a small orchard of orange trees sits a ranch style home boasting a cedar shake roof and weeping white brick. The 9190 Brier Dr. dwelling retains a high degree of integrity, maintained meticulously such that the dwelling's appearance has not been significantly changed from the original design and construction. The home embodies the mid-century appeal in interior and exterior work with great individual traits of a classic custom ranch residence. Built during 1950 it exemplifies the shift in modern construction to cater to the family needs and interests. Great skill and detail exhibited by Jackson & Scott Builders Inc went into the home.

The home is historically and architecturally significant for its reflection of Mid-century construction that characterized the La Mesa community in the post WWI development period, masterful craftsmanship, as well as the impact of original owner Stanley Scott to the growth and development of La Mesa and the surrounding community during the peak of his career. The exterior and interior of the dwelling, as well as the garage, are all contributing elements to the property's significance. Contributory elements of the interior include: vaulted open beam ceiling of the entryway, main living room, and front den. Interior elements also include wood parquet wood flooring, exposed red brick fireplace shared between the living room and kitchen, and clear unpainted cedar paneling in the living room. Rear exterior contributory elements include the mid-century oval shaped pool, and brick colored edging, as well as basket-weave brickwork on the patio.

The years of residence for the Scott family in their custom built home was a peak building period for Jackson- Scott, with the business office located locally in La Mesa. With high community involvement, and small desks and shelving throughout the home, it is only assumed that work was often brought into the Scott home in a social and professional capacity. 9190 Brier Road is found to meet criteria B and D due to the association with builder Stanley Scott. Criteria C and F are met due to the exceptional nature of the integrity of the home remaining true to its distinctive design, style, and craftsmanship. According to the City of La Mesa Code of Ordinances 25.03.010 - Historic landmark and historic district designation criteria: a cultural resource may be recommended for designation as a landmark or historic district, if it meets one of more of the following criteria.

A. It exemplifies or reflects special elements of the City's cultural, social, economic, political, aesthetic, engineering, or architectural history; or

B. It is identified with persons or events significant in local, state, or national history; or

C. It embodies distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship; or

- D. It is representative of the notable work of an acclaimed builder, designer, or architect; or
- E. It is identified with a person or persons or groups who significantly contributed to the culture and development of the City; or
- F. It embodies elements of outstanding attention to architectural design, detail, materials or craftsmanship; or
- G. It is an archeological or paleontological site which has the potential of yielding information of scientific value;
- H. It is a geographically definable area possessing a concentration of sites, buildings, structures, improvements, or objects linked historically through location, design, setting, materials, workmanship, feeling, and/or association, in which the collective value of the improvements may be greater than the value of each individual improvement.

III. HISTORICAL CONTEXT:

a. GROSSMONT-BRIER COMMUNITY

Brier Tract is found in the community of La Mesa, incorporated in 1912. (21) The Brier tract was mapped and subdivided in 1912 per map shown in Appendix B. Land was bought and subdivided in the early 1900's but was not developed until laws and funds made construction available once again following WWII. A La Mesa Scout article, dated June 22, 1950 mentions "33 county roads are now named" Brier Lane being among the newly named roads. La Mesa was annexed into San Diego in 1951. Today the tract has been subdivided multiple times, the original Scott home sitting on one of the largest remaining lots of the tract at 1.31 acre. The La Mesa 1953-1954 Directory shows 6 addresses listed on Brier Rd (also documented as Lane). Brier tract is tucked away immediately north of 8 freeway, and looks westward over the 125 freeway and northward over Fletcher Hills.

The Brier tract was part of the land utilized to carry water to greater San Diego from the Cuyamaca Mountains, with the historical flume defining the northern property line of 9190 Brier Road. San Diego was outgrowing its dependence on well water and in 1872 San Diego's first water company was organized, incorporated January 20, 1873. The next water development hurdle in San Diego was the San Diego Flume Company who sought to irrigate the rich valley of El Cajon and bring water to San Diego. Many barriers stood in their way along the road including financial, man-power, and political boundaries. "Construction began in May, 1886, on Cuyamaca Dam and a wooden flume 35 miles long to bring water to San Diego. The Los Coches Trestle was the highest of all the trestles supporting the San Diego Flume. The flume was completed in 1888." The flume traveled from the San Diego River a short distance below the mouth of Boulder Creek and ends at a reservoir on the side of Cuyamaca Mountain with a capacity of nearly 4,000,000,000 gallons. (20)

This influx of water allowed the land to sustain more development and expand to include agriculture and citrus orchards with packing warehouses as well as health resorts and limited film production facilities at the turn into the twentieth century. (21) Further development in the Brier tract area is described in Historian Jim Newland's article in the winter-spring 2021 edition of Lookout Avenue. The 125 North extension, in addition to the 8 interchange, caused original southern lots in Brier Tract to be removed by CalTrans. Nearby Murray drive and Nokomis street are where the S-L/Grossmont Movie Studio once sat.

Marvin Jackson, of Jackson & Scott Builders Inc, served as President on the board of directors of Grossmont Community hospital (14). He was a leading visionary for the Grossmont hospital which became a reality with a groundbreaking ceremony in April 1954. A dedication ceremony was held in July 1955 in which Jackson said to the audience “This is your hospital. It was your work and money which made this day possible” (14). Scott’s home and the subject of this designation is less than a mile from Grossmont hospital. Jackson and Scott were prominent and successful San Diegans in the building industry and East county community leadership roles.

b. MID-CENTURY ARCHITECTURE

Mid-century modern architecture was birthed with Irving Gill and Rudolf Schindler being credited as pioneers in San Diego modernism at the beginning of the twentieth century. They brought an architecture of simplicity, valuing function over form. Their contributions were valued considerably more after their careers had ended by others that followed in their footsteps.

Post WWI housing demand brought great opportunities for the building industry. Previously when land was sold to individuals the land was provided with utilities and infrastructure, and then an architect was hired to design a custom home. The housing act of 1949 made it beneficial for developers to build tract homes, therefore cutting out the need for the homeowner to seek architectural services. Jackson- Scott is listed as a prominent builder of Rolando, Oak Park, Pt. Loma, and Del Cerro as shown in the table in appx B from the San Diego Modernism Context Statement. (18)

Architectural styles of the mid-century varied, with modernism not fully emerging until the post-war bust of prosperity and construction. Modernist styles are all noted to have a forward looking attitude, utilizing new materials and techniques, expansive glass, integration of indoor-outdoor spaces, functional floor plans, and easy maintenance features. Sub-styles within modernism do not share a uniform design motif. According to San Diego Modernism Historic Context Statement sub-styles in San Diego include

- Streamline Moderne
- Minimal traditional
- International
- Futurist- Googie
- Tiki- Polynesian
- Post and Beam
- Tract Ranch
- Custom ranch
- Contemporary
- Brutalisms
- Organic Geometric
- Organic Free-form

The mass production of the 1940s gave way to the 1950s which brought more variety of styles such as tract ranch, split-level, and contemporary. The rise in the economy paralleled the design of homes, most boasting a two car garage

visually oriented towards the street. Tract Ranch was the most prominent style, largely popularized by Cliff May in the Los Angeles area and the publication "Western Ranch Houses by Cliff May" by Sunset Magazine in 1958. (18)

Mid Century architecture was molded by the changes to the lifestyle of families in the post-WWII era. Technology was rapidly changing while automobiles were becoming more common. Modern Residential Architecture focused on the needs and interests of the residents, leading to a wide range of variability in building materials, form, and appearance.

The garage became a crucial part of the home. Between 1945 and 1955, the number of cars on the road doubled, with around 70 percent of families owning an automobile by 1958 in comparison to the 20 percent at the beginning of the decade. This allowed greater expansive development away from the city. (18) Due to the Great depression, WWII, and interest in developing the fringes of the city surrounding shopping centers, the downtown San Diego area remained stagnant. By the late 1950s no significant building has been constructed in the downtown area in nearly thirty years. Organizations were developed and money was funneled to rehabilitate downtown. New life was breathed into the downtown area through city initiatives, including building a new city hall, convention center and auditorium, and Civic Theater designed by Lloyd Ruocco which opened in 1965. Clean simple design was utilized as seen in the Civic center, reflecting the budget of the time, as well as the growth of modernism seen in commercial buildings. The 1960's also welcomed a new sports arena in Mission Valley as well as large research companies and intellectual pursuits such as UCSD and Salk research institute, driven by the cold war's need for higher education as a driving political force.

San Diego attracted large numbers of architects such as Lloyd Ruocco, Cliff May, John Mortenson, John Lloyd Wright, and Homer Delawie. Outdoor living in San Diego was emphasized with redwood paneling and large glass windows in efforts to bring the outdoors to blend seamlessly with the indoors. Adaptation of house and lot to man, elimination of the sense of confinement while integrating and valuing views, materials and structure.

Modernism evolved to the tract ranch as a prominent style home from 1950-1970 and the suburban areas grew rapidly. Primary characteristics include horizontal massing, single story, and low sloped gabled or hipped roofs with deep overhangs. Roofs were generally finished with wood shingles and wall materials included horizontal wood siding, wood board and batten, stone, and brick. Details such as wood shutters, wide brick or stone chimneys, and wood windows were commonly included. (18)

Custom Ranch homes were built with specific clients in mind and were popularized by San Diego Designers such as Cliff May, Richard Wheeler, CJ Paderewski, and Weir Brothers Construction. Cliff May became a ranch style icon due to his book and articles published in Sunset Magazine.

Custom Ranch homes followed the same characteristics as ranch tract homes but often were much more lavish including deep street setbacks, expansive yard landscaping, "larger garages, motor courts, servant's quarters, expanded kitchens, and generous living spaces". (18) Materials parallel their Ranch tract counterparts with detailing including "paneled wood doors, divided lite windows, wood shutters, and prominent chimneys. Custom ranch often have sprawling floor plans in an "L" or "U" shape surrounding a central courtyard, large attached garages, and expensive building materials with more generous materials and craftsmanship. Due to the custom build of many of these homes, vast individualizations resulted in efforts to meet the client's needs and preferences.

c. REGISTERED DESIGNER

No architect or designer was uncovered through research done on 9190 Brier Rd. It is assumed that as a proficient builder with expansive exposure to various styles, that Scott had his home built with his favorite aspects of multiple designers. The natural landscape of hills and valleys, with large boulders, and panoramic views in east county lent itself to the mid-century modern California architecture.

Although not documented on the original drawings for the home, multiple known architects have been tied to the Scott name through his business. Llyoyd Ruocco has been credited with designing business partner Marvin Jackson's home at 4421 Mayapan Drive in 1949. John Nelson Mortenson, although never an accredited architect, was tied to multiple homes in the Mt. Helix area for his "Mortenson house" design approach. He worked for Jackson and Scott at the beginning of his career, for seven years until 1958. (2)

d. JACKSON-SCOTT CONSTRUCTION

i. Early years:

Richard Marvin Jackson, also known as R. Marvin Jackson, and Stanley Scott formed a building partnership in 1945. Jackson was originally from Oklahoma, and moved to San Diego as a young man with his family where they lived in the North Park neighborhood. He also studied architecture at San Diego State College, similar to Stanley Scott. Jackson married Helen Elizabeth Bates of Reno, Nevada. The 1937 San Diego City Directory shows Jackson as a partner with the now established Master Builder Carl B. Hayes before partnering with Scott in 1945. Jackson and Hayes remained partnered until the early 1940s and worked primarily in the North park region. (6)

Marvin Jackson had an office in North Park from his brief time as an independent builder between working with Carl B. Hayes and partnering with Stanley Scott. Out of this office in North Park Jackson & Scott were able to capitalize greatly on the post war construction boom. Demand for new homes soared with lifted Federal building restrictions following the end of the war in 1945. Promotions and newspaper advertisements are seen prominently displayed in the San Diego Union (SDU) Newspaper and other advertisement materials as seen in Appendix D.

According to the Chamber of Commerce's 1945 Industrial and Commercial Survey, the labor force of the city increased 62%; from 88,140 in 1940 to 142,590 in 1944 (18). This massive growth led to large growing pains in housing, transportation, and schools. Between 1940 and 1943 San Diego managed to increase the housing supply by more than thirty percent to mitigate the enormous need for defense housing. This was largely in part to the Lanham Act, 150 million dollars for the development of housing in defense industry centers, but stipulated that all war housing units had to be either sold or demolished immediately after the war. The 1940 census measured San Diego's population at 203,341 in 1940, and by 1950 the population increased to 334,387. (18)

Post WWI housing demand brought great opportunities for the building industry, further spurred by The Housing act of 1949. Jackson- Scott Builders are listed as a prominent builder of Rolando, Oak Park, Pt. Loma, and Del Cerro as shown in the table in appendix B below from the San Diego Modernism Context Statement.

ii. Construction period

A few noteworthy builds of Jackson and Scott include the Jackson residence designed by modern contemporary master architect Lloyd Ruocco, a Loma Portal Colonial Revival style home for baseball Padre player John “Swede” Jensen (appendix B), and an “All electric house” with all appliances powered by electricity for Mr. and Mrs. Robert Redfield in El Cajon. Other builds include several subdivisions throughout San Diego including Del Cerro, Pamela park subdivision in South park, Woodland Terrace subdivision in Point Loma, and Oak park in SE San Diego. (appendix B) Del Cerro, at 675 acres, was the biggest undertaking of Jackson-Scott as they were responsible for a great portion of the development of that area, approximately 1500 homes. In the mid 1950’s Jackson-Scott also purchased over 100 acres of the William H. Black estate in La Jolla which was subdivided into the La Jolla Farms Club Estates. A few Jackson- Scott homes have been historically designated including the home of Ben and Ruth Rubin, as well as the Marvin Jackson residence. Jackson-Scott are not considered master builders at this time with the information known. (6)

The 1949 Housing Act called for “a decent home and suitable living environment for every American family”. (18) Advertisements around the city began to emphasize family values and upward status mobility such as the ad in appendix B; encouraging homebuyers to “Move up to Del Cerro” which was a “Real family center...a kind of living that has been planned...for a family like yours.” (18) Around 50% of homes were being bought on VA or FHA loans. An advertisement depicts a woman hugging a man holding a luggage price tag stating “Wasn’t this the reason you married him” seen in the 1953 SDU Advertisement for Del Cerro.

Just a segmented search between years of 1949 to 1953 offer dozens of hits on Jackson & Scott Inc throughout San Diego. Advertisements include 2-3 bedroom homes in La Mesa selling for between 10,900-13,400\$, 2-3 bedroom near 54th St. and University Ave. for 7850-8750\$, and Ridge View development located up on a high Mesa at Fairmont and Home avenues. See appendix B for newspaper clippings.

The Mr. and Mrs. Ben Rubin home in Mission Hills, currently historically designated today, was described in the SDU 6/19/1949 with multiple photos. Louvre doors are noted in the photo seen in the article, mirroring louvre doors seen in the Stanley Scott home.

Building permits were found for the Rolando areas and North park. Point Loma also boasted 2-3 bedroom homes that Ruocco may have assisted in. Ruocco and Jackson-Scott also worked together on many custom homes in the Grossmont-Helix area.

Arnold Dahl realtors’ advertised Jackson-Scott 2-3 bedroom homes in the Sweetwater Springs Knolls as having “lots of redwood, steel casement windows, plumbing roughed in for garbage disposal and water softener. All are large quarter acre or more view lots. In picturesque Sweetwater Knolls, climatically perfect (according to government tests); 3 miles east of La Mesa. See them soon, they sparkle, they’re selling just: \$14,000 to \$19,000. FHA terms. Hurry!”

The La Mesa Scout January 1953 announces a new commercial office for Jackson and Scott Inc on El Cajon Boulevard at Fuerte Drive, making use of stone and floor-length windows. Both Jackson and Scott lived in La Mesa at this time, the office reflecting “their faith in the continuing growth and demand for homes. The firm employs a staff of 4 including an architect and engineer.”

iii. Stanley Scott Professional Achievements

Jackson and Scott Builders was established in 1945. (9) They soon became a prolific San Diego home and community builder. According to Stanley C. Scott's profile on the website of the California Homebuilding Foundation, Stanley Scott "became President of Jackson & Scott, Inc. Builders and Developers. The corporation was responsible for the development of some 20 subdivisions within San Diego County, including more than 3,000 homes. The firm also built commercial structures and schools." (9) (San Diego Union Tribune, January 11, 1993).

Stanley Scott was involved in a board capacity on multiple building organizations throughout San Diego including president/Executive Vice President of the Building Industry Association of San Diego County of which he was involved with for over 30 years leading to a lifetime honorary member. Also, as Executive Director of the Construction Industry Federation, Scott directly impacted legislation activity for San Diego's building industry. Scott also served as executive director of the Construction Industry Advancement Fund. (9)

On a state level Stanley Scott proved to add great value to his industry. He was a Lifetime Director of the California Building Industry Association (CBIA). (9) CBIA claims "In 2018 CBIA was proud to celebrate 75 years of industry advocacy, progress and milestones. Since 1943, CBIA has become one of the strongest voices in the building industry in California, growing to 9 regional affiliate offices complete with legislative, technical, communications and membership departments." (10)

Throughout its history CBIA boasts landmarks such as:

- 1978 California homebuilding foundation (CHF) is founded and has now awarded 3.5 million to student and grants supporting home-building in California.
- 1990 CBIA spearheads the creation of California Schools Facilities program
- 2016 CBIA wins Prop 51 a 9\$ billion statewide school bond initiative among other achievements for the building industry. (10)

As president of CBIA in 1959, Scott helped found and launch the Pacific Coast Builders Conference (PCBC) in San Francisco (9) which continues to bring industry professions together yearly for the PCBC conference. He sat as the president of PCBS the following year 1960 and was awarded the prestigious Rodney Radom Award for his efforts. (9) It was this Rodney Radom award for being named the California builder of the year in 1974 that Scott was the most proud of according to an interview (1982 Union Tribune 6).

The conference is "dedicated to advancing the art, science and business of housing, PCBC is the largest homebuilding tradeshow representing the west coast region. In our 60+ year history, we've grown from a small educational conference at San Francisco's Sheraton Palace Hotel to a powerful, annual business exchange of 10,000+ industry professionals with industry-leading education, products, and networking." (11) According to the SDU Oct 3, 1982 (6) Scott helped it become one of the most powerful voice of the building industry in the 11 western states and the second largest builder's conventions in the nation. (6)

San Diego Blood bank historical timeline identified September 11, 1950 as the day SDBB was established by a "group of community leaders who recognized the importance of a local blood bank" (13). In 1954 San Diego Blood bank began their proud partnership with Sharp healthcare system as their blood supplier, a partnership that is still going strong today. (13) Interestingly, Marvin Jackson was on the board of directors for Grossmont hospital from 1952-1965. San Diego Blood bank, of which Stanley Scott was president at some point, joined forces with Sharp in 1954. A dedication ceremony was

held in July 1955 in which board president Marvin Jackson said to the audience “This is your hospital. It was your work and money which made this day possible” (14). Scott’s home and the subject of this designation is less than a mile from Grossmont hospital. Jackson and Scott were prominent and successful San Diegans in the building industry and East county community leadership roles.

Stanley Scott retired in 1982 but the impacts of his work continue to grow through the organizations and people he helped to strengthen and bring together. In 1986 Scott was inducted into the California Business Industry hall of Fame (12), and a write-up is found on California Homebuilders Foundation naming him a 1986 Honoree. (9)

IV. BIOGRAPHICAL INFORMATION

a. STANLEY AND VIRGINIA SCOTT

Stanley Crawford Scott was born on June 9, 1913. His father’s name was Sydney Scott, who emigrated from Belfast Ireland to San Francisco in 1905 to work in the construction industry. (SDU, Oct 13, 1950) His mother, Ethel Christie Sturtevant, a Kansas native, met his father in San Francisco and then moved in 1911 to San Diego. According to the 1920 Census, Stanley had one older brother and lived with his parents in the Normal Heights neighborhood where his father had a long career as a building contractor and his mother was an interior decorator. (6) Stanley Scott learned the business from the ground up by working with his father.

Stanley Scott built and presumably designed 9190 Brier, living there with his family from construction in 1950 to 1962. The La Mesa City Directory shows the Scott family taking up residence previously at 8414 Porter Hill Terrace in La Mesa. The original permit for the home was published in SDU March 16, 1950 “Stanley Scott, res and gar, per Jackson & Scott, Brier, Mount Helix, \$18,500”. For reference, most tract homes would have been around \$10,000 during 1950.

Scott graduated Francis Parker School in 1929 and went on to attend San Diego State College (now San Diego State University) with a pursuit of architecture. The Great Depression forced Scott into quitting college and going to work for his dad, becoming known as “Mr. Builder of San Diego” by his colleagues. He also spent a few years employed at Dixieline Lumber Company. The 1940’s brought exciting changes in Scott’s life as he paired with Marvin Jackson to form Jackson and Scott Construction and develop some 20 subdivisions, the largest being the 675 acre community of Del Cerro. (12)

Scott married his wife Virginia Kerr, also a native San Diegan in 1936 and had two children Stuart and Karen. (6). The SDU 10/1/1961 notes the wedding details of Karen Ann Scott to Donald Hamlin. A picture of Karen is seen in her family home in appendix C.

Outside of his professional achievements Scott was integrated into his San Diego community as a long-time member of both the La Mesa Lions Club and the San Diego yacht Club. (12) An October 3rd, 1982 SDU article (appendix B) has a picture of Stanley Scott relaxing aboard his 36 foot troller named Virginia as he tells his son Stuart about how the housing industry has evolved yet remains the same, “rough”, after his 50 years in the housing industry building 2500 houses and commercial buildings.

Both Mr. and Mrs. Scott were very involved with their community according to the La Mesa Scout (LMS) and the San Diego Union (SDU). Newspaper articles mention Mrs. Scott assisting in local plays and social gatherings. Mr. Scott was on the board of directors for the La Mesa Kiwanis club in 1950, and was responsible for the brick work for Wa-di-ta-ka La Mesa Boy Scout memorial camp. Mr. and Mrs. Scott also sponsored a youth fellowship retreat for the La Mesa Methodist church according to the La Mesa Scout October 5th, 1950. The Scott home was a destination for neighborhood holiday parties and gift exchanges.

Original owners Stanley and Virginia Scott were acquaintances of Leonard M. Smith realtor and Associates "La Mesa's longest established real estate business serving Mt. Helix and east county since 1949". Daughter of Mr. Leonard Smith, Jill Smith was involved in the sale of 9190 Brier and recalls growing up swimming in the pool at the Scott residence.

Scott died at Alvarado Convalescent Hospital on January 9, 1993 according to the SDUTribune January 11, 1993. (6)

b. PAUL WOLCOTT JR.

The SDU Directory lists the second owner, Paul Wolcott Jr., seen in 1963 through 1967 after a purchase price of 55,000\$. Paul Wolcott Jr. was in the business of insurance, an ad in the SDU from 4/18/1949 advertises for "The Wolcott Company" General Insurance Management on 3653 Voltaire St San Diego. Mr. Wolcott was also the San Diego State Director at the time, in charge of the education breakfast panel in LA discussing educational insurance training according to the paper. SDU 2/6/1952 notes that Wolcott merged with the firm of Barney & Barney- San Diego's largest insurance agency. Hitting great achievements at an early age of 35, Wolcott became head of the California Association of Insurance agents in late 1954. Mrs. Wolcott made a newspaper appearance in the SDU in 1964 as a noted guest of the autumn fashion show at Rancho Santa Fe Inn which annually attracts countrywide representation. The Wolcott's did not remain at 9190 for very long, seeking a smaller home in 1967 according to real estate records. (appendix D)

c. RICHARD GAUSTI

Third owner, Richard Guasti, purchased the home for 70,000 in 1967, where he resided until 1971. Described as a ruddy redhead Guasti was the vice president of merchandising for J. Jessop & Sons of San Diego since 1960. Gausti also did not live in the residence for very long, moving to Minneapolis to accept a position as Vice President of Merchandising of Dayton Hudson jewelers.

d. LAVERNE AND MARGARET JOHNSON

Laverne and Margaret Johnson were the longest residents of this midcentury home, buying from Mr. Richard Gausti in 1971. Laverne Johnson was born in Alabama in 1925 and moved with his parents and two brothers to Taft, California in 1936. At 18 years old in 1943 Johnson joined the US Army Air Force where his plane was among the 461 B-29s summoned by President MacArthur to overfly the surrender signing on the USS Missouri in Tokyo Harbor. Demobilized in 1946, Johnson continued his education at Taft junior college, continuing on to receive his BA, MA, and PhD in psychology from Stanford University

The Johnsons were a heavily community centered family. SDU 7/1/1978 noted David Michael Johnson receiving 8,000\$ from the Boys Club of San Diego Scholarship for his pursuit of law at Harvard University.

Mr. Johnson lived in his home at 9190 Brier for 46 years, until his death in 2016. He is survived by his wife Margaret and three children. (15) The Johnsons were highly regarded by those who knew them as a staple of the neighborhood, with weekly Sunday volleyball games and get-togethers in their home, as well as 4th of July neighborhood barbecue and potluck. They had a great love for the neighborhood and their home.

Johnson's greatest professional success involved his pioneering contributions to the study of sleep. Coming from St. Louis, Lavern Johnson moved to San Diego to join the new US Naval Medical Neuropsychiatric Research Unit, now called the Naval Health Research Center. He retired from this group as the second Scientific Director after 26 years of service. (15)

Many recognitions and awards accompanied Johnson's research including the Distinguished Civilian Service Award from the Secretary of the Navy in 1977, appointed a charter member of the US Senior Executive Service in 1979, and In 1993, his career achievements were honored by the Sleep Research Society (which he helped found) which named him its "Distinguished Scientist of the Year". Johnson published over 128 scholarly articles in 45 journals, including Science and Nature, and contributed 28 chapters to books. (15) American Psychology association website notes Johnson's publications attest to the importance of the value he placed on scientific research as a collaborative, team endeavor. As a clinical psychologist studying sleep and its biological rhythms, his emphasis fell on the relation of sleep loss and recovery, and its correlation to human performance. This was particularly relevant to military service operations and their variable work schedules and sustained performance periods, which Johnson had experienced firsthand, as had many in San Diego's military family. (16) As a scholar and researcher, Johnson was also involved with UCSD and SDSU.

V. DETAILED DESCRIPTION OF RESOURCE

a. WEST ELEVATION (Main Façade)

Original drafts, shown in Appendix A, parallel the current condition of the home in regards to nearly every aspect of this sprawling one-story mid-century ranch home.

San Diego Modernism Context Statement states "Custom Ranch homes followed the same characteristics as ranch tract homes but often were much more lavish including deep street setbacks, expansive yard landscaping, "larger garages, motor courts, servant's quarters, expanded kitchens, and generous living spaces". (18)

The front façade of the home has a strong horizontal emphasis facing directly into a circle driveway arching around a small grove of citrus trees. The home is on a curve on the dead end street of Brier Road and lined with a white wood rail fence. The garage and main home are in line with one another, divided by a dutch door into a breezeway under a semi-connecting garage. This is another notable characteristic of the custom ranch. Board and batten garage doors seamlessly blend the garage with the rest of the body of the home. The asphalt circle driveway has an extension to be used as a car port for additional parking.

The home is currently painted a custom "Johnson Green"—a light green with a darker shade of moss green for trim and shutters complimented by white crisp eaves. The wide sprawling home is a slight U shape centering on an outdoor east facing patio. The recessed front porch entry is met with a wide olive-colored original wood door, with upper glass panes of bottled glass flanked by louvered wood sidelights.

All windows are wood double hung, with simulated divided lite following the panel pattern from the original sketch. Exterior siding is board and batten of 1x3, and 1x12 woodwork, and weeping brick painted white under the front and back areas covered by a wide hip roof and wide eaves for a front porch and rear patio. The front porch walkway is red brick in a basket weave pattern. Exterior wood louvered shutters are found on all windows of the main home with the exception of the garage and picture window of the front den. The exterior and interior of the home utilizes high end custom details and materials for the Ranch design.

A prominent and wide brick chimney is seen protruding from the cedar shake roof. Original drawings also notate a cedar shake roof.

Photos in Appendix D from 1971 show landscaping of grass with a lamppost, and a few citrus planted near the road. Today, areas once covered by grass have been retrofitted for drought tolerant native landscaping, yet the lamppost remains the same. The circle driveway surrounds an orange grove of 6 prolific mature trees, reminiscence of East County's history in citrus farming.

b. EAST ELEVATION (Rear façade)

The east elevation of the home is viewed through floor to ceiling glass looking over a swimming pool with north facing vistas of Fletcher Hills. The backside façade of the home mirrors the front with a sprawling deep set roof with weeping mortar, and basket weave brick patio. Unobstructed views to the north as well as open land sloping down the east portion of the property, allow for breezes and air to flow through the home from the double back doors to the air inlets flanking the extra-wide front door on the west facade.

The east elevation, or the backyard, has an oval swimming pool and slide, with a detached pool house and covered cabana area. There is evidence of a previous diving board in the cement and in photos in appendix D.

The slight U shape of the home can be seen from the east elevation. The patio can be entered by a door from the master bedroom on the north, double door from the living room on the west of the patio, and a southern door from the dining room.

The east façade is the only angle with notable exterior change deviating from the original sketch design. An open pergola off of the master bedroom has been added, and the rear patio has been enclosed to create a sunroom. In doing so, there was no removal or alteration to the east facing brickwork on siding or patio.

c. NORTH ELEVATION

The north elevation is not viewable from the street, and is comprised of three bedrooms and two bathroom double hung wood windows, as well as the board and batten siding pattern.

The north end of the property has a brick lined walkway separating a pathway from planter beds against the house. Further north of the walkway is maintained, but undeveloped land with many mature eucalyptus and remnants of a previously used sand volleyball court.

d. SOUTH ELEVATION

The south elevation is primarily composed of the three car garage, a reminder of the change in family life and mobility with increased access to the automobile in the 1950s. A three car garage allows ample room for automobilists and storage. The single car garage has access from both the rear and front for privacy in the “shop” and accessibility. The rear of the garage faces an open courtyard area with a basketball hoop and the kitchen window accentuating family life. These characteristics show the modernistic approach as homes were adapted to the enjoyment and convenience of the family residing in them and the natural elements around the property.

e. INTERIOR

The low and wide ranch style exterior opens into a vaulted mid-century interior immediately upon entering through the front door. Vaulted open and unpainted beams are in the entryway, front den, and main great room. Clear tongue-in-groove cedar paneling is throughout the great room, with glass windows seen on the east side of the room. Along the western ceiling lights are hid to draw the eye upward to the great beams in the ceiling and beautiful craftsmanship of the room. This is also noted in the newspaper article as seen in appendix B. The easterly glass walls and glass doors blur the lines between interior and exterior, in mid-century style. The entire southern wall of the great room is quality red brick floor-to-ceiling with a large-mouth fireplace below a mantle spanning the wall. The brickwork carries through the shared wall into the kitchen. Finish work, molding, and baseboards are all clean cut, without ornate detailing.

Heat source throughout the home is radiant heat under the oak parquet flooring, also reflected in the sales notice between owners in Appendix A of the 1960s.

Louvered doors welcome guests from the wallpapered entryway into the great room, and stained wood doors are throughout the home, leading to the three north bedrooms and 2 bathrooms.

There was detailed attention made to storage, built in desks, cabinets, and linen closets, all of which do not appear to have been altered from their original condition. The third bathroom is near the kitchen off of the laundry room, or maid's quarters. Chopping blocks and other amenities are seen in the room off of the kitchen which would have been utilized by hired help.

f. INTENTION/CONCLUSION

Refer to Appendixes for original house plans, maps, and photos.

The property is found to have significance and integrity when evaluated according to the following definition by La Mesa Code of Ordinances 25.03.010 – **Historic Landmark and Historic District Designation Criteria:**

A cultural resource may be recommended for designation as a landmark or historic district, if it meets one or more of the criteria outlined in the above Executive summary.

9190 Brier Road is found to meet criteria B and D due to the original homeowner and prolific builder Stanley Scott's significant influence on La Mesa and the San Diego community at large. Criteria C and F are met due to the exceptional nature of the integrity of the home remaining true to its distinctive design, style, and craftsmanship.

“In addition to determining the significance of a property under local, state, and national criteria, a property must also must possess integrity. Integrity is defined by the National Register of Historic Places as the ‘ability of a Property to

convey and maintain its significance.' It is defined by the HRB Guidelines for the Application of Historical Resources Board Designation Criteria as "the authenticity of a historical resource's physical identity clearly indicated by the retention of characteristics that existed during the resource's period of significance." Further, integrity relates "to the presence or absence of historic materials and character defining features" of a resource. The local, state, and national registers recognize seven aspects of integrity—location, design, setting, materials, workmanship, feeling, and association."

Location:

9190 Brier Road in the Brier tract faces southwest, with a northeast view over Fletcher Hills and a gentle easterly slope, all true to its original form. The building has remained in its original location throughout its existence. As such, the property retains its location element for integrity purposes. This property is identified as San Diego County Assessor's Parcel No. 490-402-72-00 on Map 1475. The custom ranch residence is a 4 bedroom, 3 bathroom single family 2563 sq ft residence, on 1.31 acre. The property has at least one major acreage change in its history- 2019 lot split of 0.5 acre. There is evidence of multiple other boundary adjustments due to the San Diego water flume, SDGE easement, and neighbor boundary adjustments. The location has excellent integrity of location.

Design:

9190 Brier Road is a custom ranch home built with wood siding, brick with weeping mortar, clear wood paneling, large glass windows, expansive car amenities and landscaping, as well a prominent brick chimney and generous front yard with circle driveway to a three car garage. Although the rear addition of the enclosed sunroom does affect the home original architectural design, the rear addition does not greatly impact the main defining character elements of the home. The design element of the home is an excellent display of custom ranch design.

Setting:

The setting is custom homes with a natural semi- rural feel in a suburban environment due to large mature trees and winding roads. The setting may have been altered due to infill homes adjusting the rural magnitude of the lots. The house has good integrity of setting.

Materials:

Original inspection reports for the home parallel the current condition of the home in regards to the nearly every aspect. Windows are wood double hung, heat source is radiant heat covered by wood parquet flooring, exposed brickwork is boasted throughout the great room fireplace and kitchen, and pristine wood paneling and tongue in groove ceiling and beams are in the main great room. Exterior shutters are found on all windows of the main home, except the garage and picture window of the front den. Exterior siding is board and batten of 1x3, and 1x12 woodwork, and weeping brick painted white under the front and back areas covered by a wide hip roof.

Expensive building materials were used for the horizontal massing, thick cedar shake shingle roofing, wood cabinetry, and extensive red brick. The materials are in excellent condition.

Roofing has been replaced in the lifetime of the home, with high grade cedar shake roofing. Some materials are showing wear such as mortar between some bricks which will need repair, as well as maintaining integrity of wood siding, and roof replacement. Windows have been replaced with like kind in the lifetime of the home.

The interior of the home, specifically the great room paneling and brickwork, is in pristine condition. The kitchen has been remodeled in the 1990s and bathrooms have been updated. The overall materials aspect of integrity is excellent.

Workmanship:

Workmanship in the home is incomparable. Being built by a builder for his family, great care was clearly taken for longevity and quality of the building materials themselves and the quality of workmanship. There was great attention to detail with storage, built in desks, cabinets, and linen closets, all of which do not appear to have been altered from their original condition. The laid brickwork, both interior and exterior, show a high degree of finish and quality workmanship.

Feeling:

The feeling of the property is true to the mid-century aesthetics as well as cultural changes as discussed previously in this designation research. These include the garage near the front of the home, as well as the main room for TV and other family entertainment at the back of the house— common shifts of the era.

A grove of 6 citrus trees in the front yard reminisce of the history of citrus growing in the region. The feeling aspect of integrity is excellent.

Association:

Specific association to the Scott Family and Jackson & Scott Builders Inc allowed for extensive customization and craftsmanship. The weight of the association is further discussed in the history and achievement of the previous owners in the above portions. The association aspect of integrity is excellent.

This Historic Site Designation report has been prepared for the Scott house, located at 9190 Brier Rd, in the Brier tract of La Mesa Tract northwest of Mt. Helix by and for the developer Stanley Scott and his family. This high-end custom residential home maintains its high level of integrity through preservation of all the essential features that relay the character and appearance of the home in the mid-century era. (18) The original condition of the home has been preserved exceptionally well with replacements of like-kind materials on the exterior and interior portions of the home. The owners Bryan and Catherine Binotti are seeking designation due to a high degree of integrity as well as association with a significant builder to the city of La Mesa and surrounding area. They intend to identify and respect the historic architectural character of the home. In conclusion, the Stanley and Virginia Scott house meets the location, design, setting, materials, workmanship, and feeling aspects of architectural integrity. The house is an excellent example of a custom ranch true to its original character, with association with important characters to the city of San Diego.

VI. CITATIONS

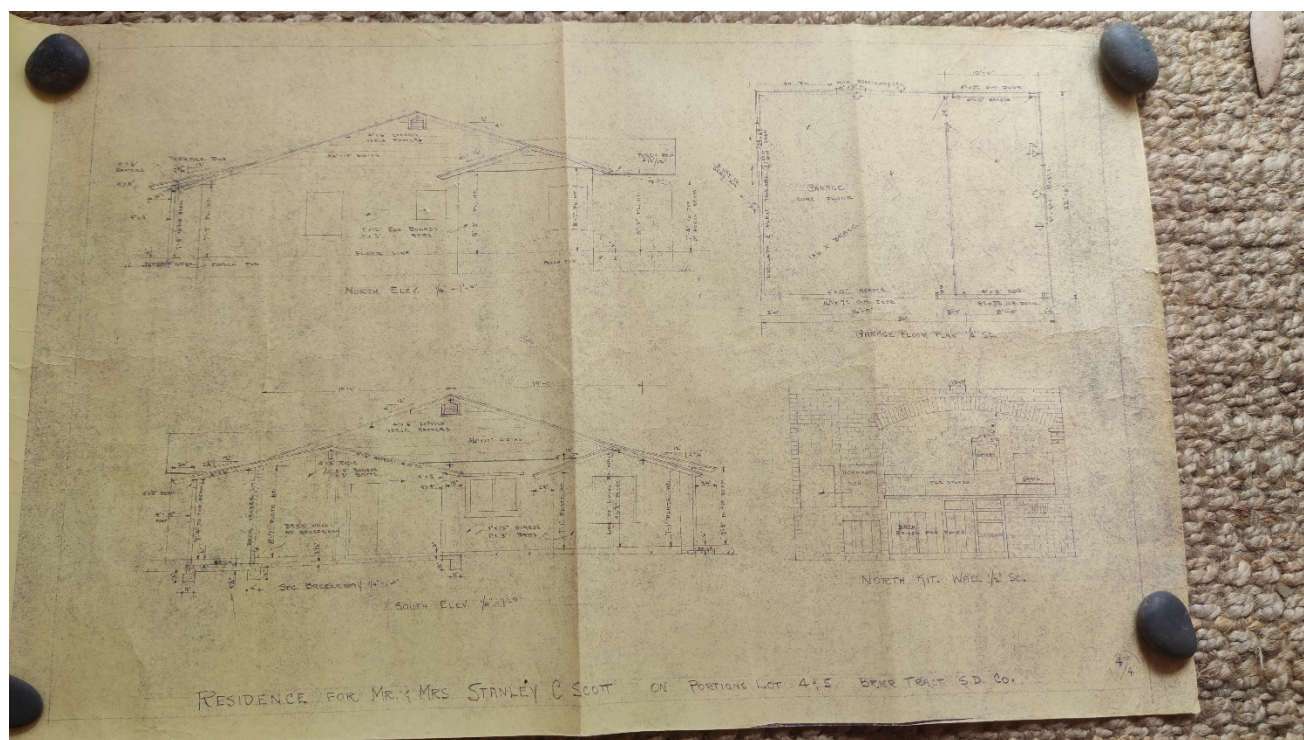
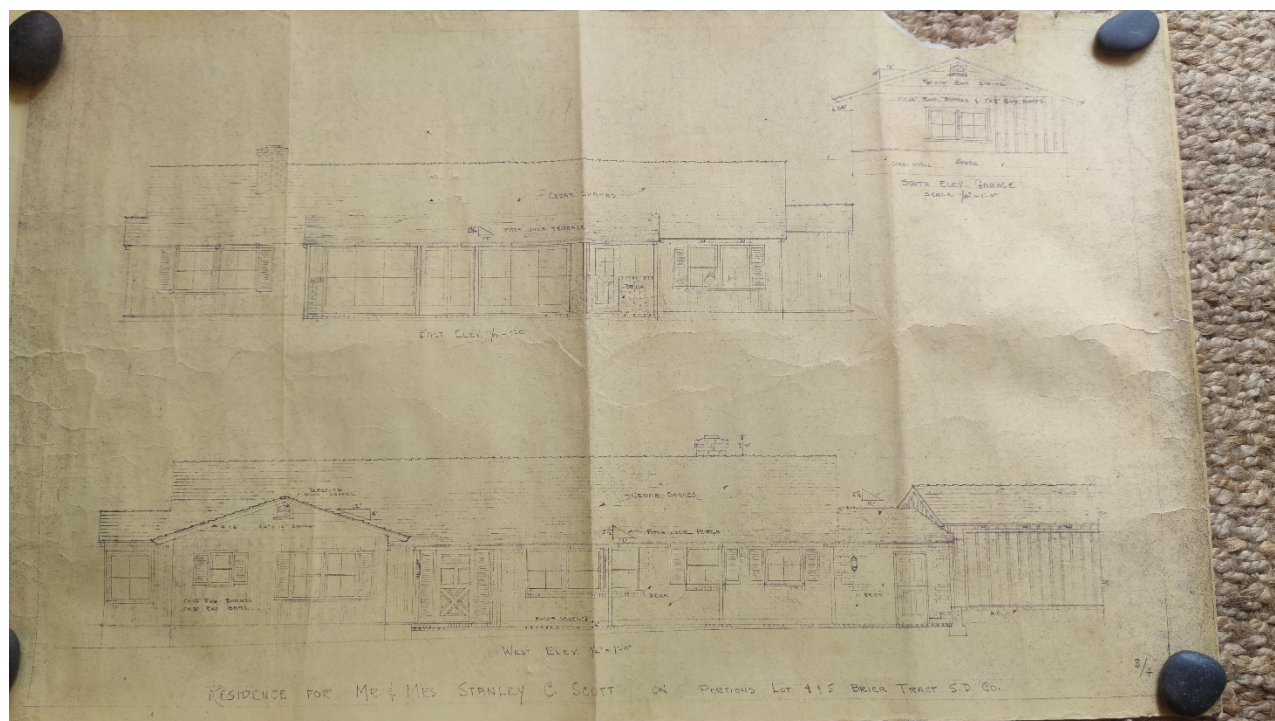
- (1) <http://www.sohosandiego.org/tourbooklets/2005sdmodernismweekend.pdf>
- (2) <https://www.modernsandiego.com/article/historically-designated-modern-buildings-in-san-diego-county>
- (3) <https://patch.com/california/lamesa/history-gems-november-4-visionary-architects-homes-fed296ee3af4>
- (4) https://www.zillow.com/homedetails/4421-Mayapan-Dr-La-Mesa-CA-91941/17036825_zpid/
- (5) http://cityoflamesa.com/AgendaCenter/ViewFile/Agenda/_04082019-804
- (6) <http://sandiego.cfwebtools.com/images/files/06.pdf>
- (7) <https://lamesahistory.com/history/>
- (8) Historical Nomination (cfwebtools.com)
- (9) <https://www.mychf.org/scott-stanley-c/>
- (10) <https://cbia.org/75th-anniversary/>

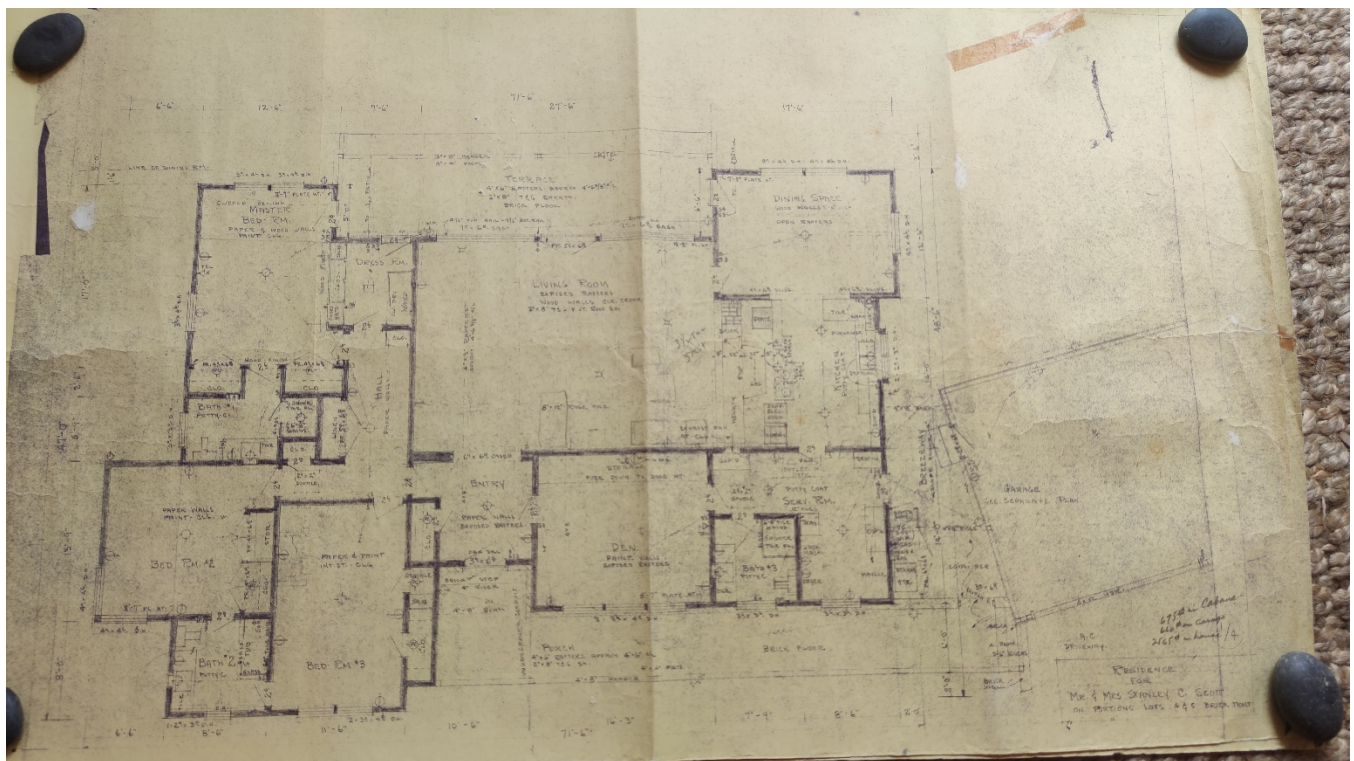
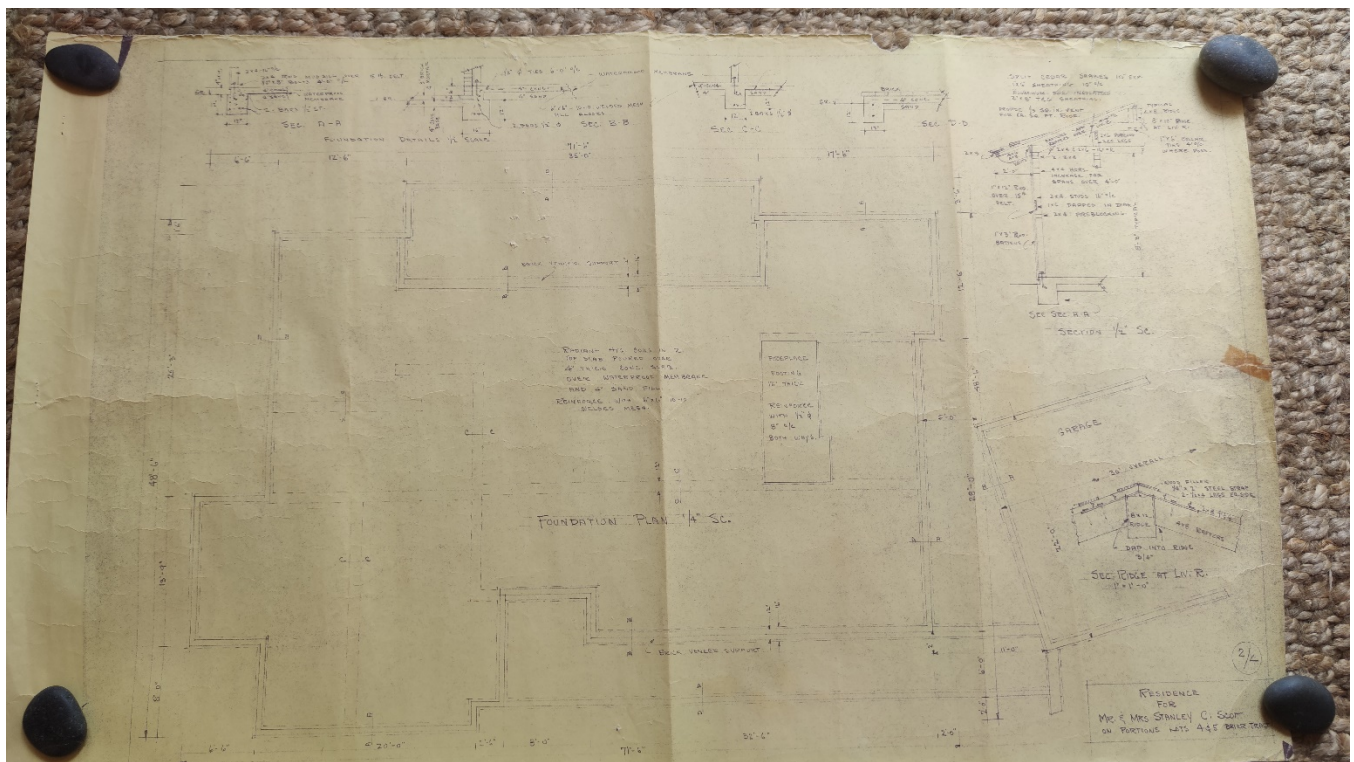
- (11) <https://www.pcbc.com/pcbc/public/Content.aspx?ID=590&sortMenu=102000>
- (12) San Diego UnionTribune, January 11, 1993 image
- (13) <https://www.sandiegobloodbank.org/celebrating-70-years>
- (14) <http://www.grossmonthealthcare.org/wp-content/uploads/2015/02/GHD-Public-Information-Booklet-E-Version.pdf>
- (15) Published in San Diego Union-Tribune on Nov. 13, 2016.
- (16) <https://psycnet.apa.org/buy/2017-29745-016>
- (17) <https://www.lloyduocco.com/project-list-1>
- (18) <http://www.sohosandiego.org/resources/SanDiegoModernismContext.pdf>
- (19) Box of articles/documents with home
- (20) <https://sandieghistory.org/archives/books/smythe/part4-4/>
- (21) <https://www.cityoflamesa.us/DocumentCenter/View/6201/07LaMesaGPHistoricPreservation-CD?bidId=>
- (22) ldmhistorical.pdf (sandiego.gov)
- (23) James Newland-Historian expertise

VIII. APPENDIX

a. APPENDIX A: BUILDING DEVELOPMENT INFORMATION

i. Original Sketches and Blueprints





ii. Residential description

COUNTY ASSESSOR
SAN DIEGO CO. CALIFORNIA
SCOTT

RESIDENTIAL BUILDING RECORD SHEET 1 OF 2 SHEETS PARCEL 490-402-8 118

ADDRESS 9190 BRIER ROAD

710 3P12

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL									
CLASS	SHAPE							ROOMS	FLOORS	FLOOR FINISH	TRIM	INTERIOR	FINISH				
								B	I	2	Material	Grade	Walls	Ceilings			
1	8.0+12	Light	X Frame	Stucco on	Flat	X Wiring	X Heating										
		Sub-Standard	"x"	"x"	Gable	K.T.	Forced										
ARCHITECTURE		X Standard	Sheeting	Siding	Hip	B.X.	Cable	Gravity	All	X	CARPET	G	H-5	PL			
		X Above-Standard	Concrete Block		Shed	FIXTURES	Wall Unit										
1 Stories		X Special BRICK	B.B.B. I & G.		Cut Up	Few	Cheap	X RADIANT	Ent.Hall	1							
TYPE		X Brick Pile	Shingle		Dormers	X Avg.	X Med.	X Floor Unit	Living	1	CARPET	G	PANEL	O-BEAM			
USE	DESIGN	FOUNDATION	Adobe	Shake	Raft	Many	Special	Zone Unit	Dining	1	CARPET		PANEL	O-BEAM			
X Single	X	X Concrete	Floor Joist	X B.B.B. I & G.				Central									
Double		X Reinforced	1st						Bed	4							
Duplex		Brick	2nd	X Brick	Shingle				Bed								
Apartment		Wood	Sub-Floor	Stone	Shake			Oil Burner									
Flat-Court		Piers	X Concrete Floor		Tile	X Sink											
Hotel					X D.H. Casement	X Laundry		M-B.T.U.									
			Insulated Ceilings	X Metal Sash	Compa.	X Water Htr.-Auto	X Fireplace	Kitchen	1								
			Insulated Walls	X Screens	Compa. Jingle	Water-Softner		Drain Bd.	Material: T1	Lgth:	Fl. Splash:						

CONSTRUCTION RECORD		EFFEC. YEAR	APPR. YEAR	NORMAL	% GOOD	RATING (E, G, A, F, P)		BATH DETAIL		3 TI PULLS				
No.	Permit	Amount	Date	Age	Remaining Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con. Form	Storage Space	Work. Cupb'd	Shower
49907	D+G	19,000	3/9/50	1950	1962	8	52	R60	42	G	G	G	G	G
				1950	1967	17	44	R60	87	G	G	A	-	G
					77	27	34	R60	23	4+				

SPECIAL FEATURES		BATH DETAIL		3 TI PULLS	
Book Cases	Shutters	Drain Bd.	Material: T1	Lgth:	Fl. Splash:
X	X				

COMPUTATION

Appraiser	B	Date	12/6/54	Macaulay	12/6/54	Alberty	12/6/54	Unit	Cost	Unit	Cost	Unit	Cost	Unit	Cost	Unit	Cost
Unit	Area	Unit	Cost	Unit	Cost	Unit	Cost	Unit	Cost	Unit	Cost	Unit	Cost	Unit	Cost	Unit	Cost
D	251.3	16	30	26	399	11.70	29	987									
AC				2200													
FP				1000													
BR C-P (2)	628	2.80	1758														
BR-WAY	142	2.80	398														
G	660	3.00	1980	3.30	2178												
BATH HOUSE	675	4.20	2835														
FLAT ASP	2200	.12	264														
FLAT CONC	800	.40	320														
40 IMPS			710														
TOTAL			37864			41650											
NORMAL % GOOD			92			87											
R.C.L.N.D			34835			36235											

A-11 8-58 A 3-54

of the LA MESA BOARD OF REALTORS 3 BR - 3 Ba. + Pool

Address 9190 BRIER ROAD Uniform Price \$ 75,000.

Bdrms. 3 Baths 3 Map Code Fair. Price \$

Area Brier Patch Near Cash Down \$

Lot 465 Block Addition Severin Area Map #

City La Mesa (Grossmont) County San Diego

1st FD \$ 41,000. Mo. \$ 270.00 1st 6 % By Cent. Fed AC

2nd TD \$ Mo. \$ 1st % By AC

Total \$ Mo. \$ Equity \$

Terms

Commit. \$ Mo. \$ 1st % Yr. Fee By

Commit.

Rooms 6	Type Mod. Ranch	NV Taxes \$ 936.72
Bdrms. 3	L.R. 27.6X18.6	Loan Trust \$
Baths 3	D.R. 17.6X12.6	Wall Bonds \$
Est. Age 16 approx	Kitch. 17X13.14	Lot Size 1.5 Ac. Approx.
Cash. Fr. St.	Bkfst. Area	Zone R-1
Stories 1	P.R.	Landscaped Beautiful
Walls B.&B. Hdwd	Entry Very Large	Level Yes & Slope
Cond. Excellent	X Room 16X14 Den	Canyon
Floors Oak Parquet	B.R. 15X13.9	Faces West
Roof Hvy C.Shake	B.R. 17X12.6	Corner
Heat Radiant in	B.R. 11.6X17	Sewer Septic Yes
Control Therm.	B.R.	Connected Yes
Fireplace Brick	Shower 3 - 1 tub	Spkrs. Yes
Built-in Elec.	Stall 2	Walks No
Garb. Dis. Yes	Tile Bath Yes	St. Paved
Carpet. Yes - new	Bat. Sink Single	Alley Paved
Drapes Yes	Dr. Splash Tile	Fence Yes
Paved Brick Terrace	laundry Serv. Room	Pay Termite Damage Yes
BBQ	Tubs Yes	Possession C/E
Garage 30X22 R.Open	TV Ant. 2-1 rotor	Church
Est. Sq. Ft. 2700 est.	220V Yes	View Some
Blks. Bat	Elem. Brier Patch	Jr. High Parkway
Blks. Stores	Sr. High Grossmont	Parochial

Each. For No

Reason for Selling Wants smaller in Severin 2H20 Expires 6/120

Personal Property Included Herein Paid in for Lots of wood, Excellent storage.

Built by Stan Scott for his own home. Interior-panel and

Remarks paper. Insulated 4" rockwool. Swim pool and Cabana.

2 story - 1R beams and panel. Stable and corral. BR & Bath

& Dressing rooms at poolside. (suitable for maid)

Keys or Show Call for appt. Occupied by: Owner

Owner Wolcott Address 9190 Brier Road

City La Mesa State Calif. Phone 465-6005

List. OH. Priscilla Tomaski, Rtr. By Priscilla Tomaski Phone 463-9357

LA MESA BOARD OF REALTORS MULTIPLE EXCLUSIVE LISTING

PRICE UNFURN \$34,500 FURN: 239-58

ADDRESS: 9228 BRIER ROAD CITY OR COUNTY: Co

11 & Por. 12 Brier Tract ZONING: R 1

LOT 465 SUBJ: Brier Tract ENCUMBRANCE

180' frontage on Brier Rd. VET. EX: No

ST SIZE: App. 1.6 Acres TAX: 460

1st T.D. Clear @ 1st Held by

2nd T.D. @ 1st Held by

TERMS: 7,500 down Seller carry bal. on 1st, or purchaser xxxxx obtain ins. 1st & seller carry 2nd

RMS: 8 LR: 14X21 + D.R. comb KIT: TILE: Yes

BRK. NK: space DISPOSAL: Yes DISH MASTER Yes

BDRMS: 4 & den 15X11, 15X13, 10 1/2 X 10 1/2, 13 X 15

BATHS: 2 1/2 TILE: Yes SHOWERS: at & TILE: Yes

ONST: Redwood SQ. FT: 2000 + FLOORS: W/H LB, DR, H W

Papered & WF & 2 PF

WALLS: Ptd WDWK: HEAT: THERMO: both

FIREPLACE: 2 ROOF: rock LDY. TRAY: SP INSUL: No

YR. BUILT: 1948 COND.: good GARAGE: 2 car ALLEY:

TERMITE: cleared BASEMENT: No PATIO:

SPRINKLERS: No FENCED: LANDSCAPED: Yes

OCCUPIED: Owner SEWER: septic POSS: Sept 1

OWNER: Packard PHONE: 1106-4287 LISTING BROKER: Leonard M. Smith

PHONE: 1103-4488

CAN COMMIT: 20,000, 5 3/4, 20Y EXCHANGE: No

MARKS: Auto. water softener, work shop 10X15, very good neighborhood A good family home.

TYPE 3 BR 3 Bath, Swim Pool & Cabana

ADDRESS 9190 Brier Rd. La Mesa

STYLE Por. 1st 4 & 5, Brier Tract

LEGAL Cent. Fed

1st TD HELD BY INT. RATE 6%

2nd TD HELD BY INT. RATE

SELLER WILL ACCEPT 66-67

EXCHANGE FOR Smaller Severin Area

DISTRICT Grossmont UNFURN PRICE 79,500.00

ZONING LOT SIZE 1.5 ac. approx FURN PRICE

MON. PYMT 270.00 BALANCE 41,000 approx

TAXES 936.72 VET EX TOTAL ENCUMBRANCE 41,000

EST. SQ. FT. 2700 EQUITY 38,500

COMMITMENTS

INCOME No BONDS No IMPOUNDS No SEWER: Septic

CONDITION: Excellent EXTERIOR: Bd. & Batt-Redwood OR: panel & paper ROOF: Hy. Cedar Shake

NO. BDRMS 3 SIZES: 15.13.9; 17x12.6; 11.6x17 INSIDE STAIRS: No

BATHS 3 SHOWERS: 3 - 1 tub TILED: Yes LAUNDRY: Serv. rm.

LR SIZE 27.6 x 18.6 ENTRY: Very large FIREPLACE: Brick HEAT: Radiant over 2" slab

xxxxx Kit. 17.3 x 11.4 BEST AREA: Den 16.3x14 EXTRA RM.: No

xxxxx Din. 17.6x12.6 Wood Walls Elec. oven, range, dishwasher, disposal 220

FLOOR: Oak parquet blocks CARPETS: New BRICK TERR.: Beautiful INSULATED: 4 Rockwool

GARAGE 30x22 radio opener TV ANT. 2-1 rotor FENCED: Yes TOPOGRAPHY: level & slope

FACES W VIEW: Yes TREES: Yes

KEY Listing Broker SIDEWALKS: No SPKRS: Yaa

REASON FOR SELLING: wants smaller TERMITE REPT. PAY DAMAGE

OCCUPIED: Owner POSSESSION: C/E DIST. TRANS. 4 blocks Brier Patch

SPECIAL FEATURES: and other details see attached description DIST. SCHOOLS: Parkway Jr. Hi

Grossmont Hi

OWNER: Paul Wolcott PHONE: 465-6005 Claude Beagle, Realtor

HOPLINS 9-2173

The information contained herein is deemed to be correct but not guaranteed.

CITY OF LA MESA BUILDING DEPARTMENT 8120 Ardmore Ave., La Mesa, CA 92041 (619) 463-3180				APPLICANT TO FILL IN INFORMATION WITHIN SHARED AREA AND DECLARATIONS			
PROJECT NAME 4190 Briar Rd Avenue C Johnson 4161-2047		ADDRESS 4161-2047		DATE OF APPLICATION 5-15-95		APPLICANT'S SIGNATURE [Signature]	
CONTRACTOR'S NAME Steve Connerthor		CONTRACTOR'S ADDRESS 600 Ave V		CONTRACTOR'S PHONE (619) 463-3180		CONTRACTOR'S SIGNATURE [Signature]	
PERMIT TYPE PLUMBING PERMIT		ESTIMATE 19,800		DATE OF PERMIT 5-15-95		DATE OF EXPIRATION 5-15-96	
DESCRIPTION OF WORK NEW CONSTRUCTION		CONTRACTOR'S LICENSE NO. 600 Ave V		CONTRACTOR'S EXPIRATION DATE 5-15-96		CONTRACTOR'S SIGNATURE [Signature]	
CONTRACTOR'S LICENSE NO. 600 Ave V		CONTRACTOR'S EXPIRATION DATE 5-15-96		CONTRACTOR'S SIGNATURE [Signature]		CONTRACTOR'S ADDRESS 600 Ave V	
CONTRACTOR'S PHONE (619) 463-3180		CONTRACTOR'S SIGNATURE [Signature]		CONTRACTOR'S ADDRESS 600 Ave V		CONTRACTOR'S EXPIRATION DATE 5-15-96	
CONTRACTOR'S EXPIRATION DATE 5-15-96		CONTRACTOR'S SIGNATURE [Signature]		CONTRACTOR'S ADDRESS 600 Ave V		CONTRACTOR'S EXPIRATION DATE 5-15-96	
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CONTRACTOR'S SIGNATURE [Signature]		CONTRACTOR'S ADDRESS 600 Ave V					

DEPARTMENT OF BUILDING INSPECTION CITY OF LA MESA

PERMIT APPLICATION		PRINT ONLY		APPLICANT TO COMPLETE	
SITE ADDRESS		9190 BRIAR RD.			
PLAN FILE No.		PERMIT No.		CLASS CODE	
CENSUS TRAC No.		OCCUPANCY		OCC. LOAD	
OWNERS NAME		DR. JOHNSON			
MAILING ADDRESS		PHONE 233-2481			
CONTRACTOR		SIDELL & SON PLUMBING			
MAILING ADDRESS		PHONE 280-8812			
6156 MISSION GORGE RD. SUITE "F"		SAN DIEGO, CA. 92120			
LICENSE No.		CLASS			
308142		C36			
CITY BUS. LIC. #		LEGAL DESCRIPTION			
LOT SPLIT No.		ASSESSORS PCL. No.			
1&2 MAP 2189		CONST. LENDER'S NAME			
SABECO TITLE IN. CO.		MAILING ADDRESS			
POB1590 SAN DIEGO 92112		LAND AREA			
SQ. FT. COMPLIANCE SURVEY		AREA BLDG.			
SQ. FT. GARAGE		SQ. FT.			
NO. UNITS		NO. STORIES			
STATEMENT OF PROPOSED USE		relocate water service			
2 sources		ALL WORK DONE SHALL COMPLY WITH THE LAWS OF THE CITY OF LA MESA & THE STATE OF CALIFORNIA. ANY BUILDING PLUMBING, ELECTRICAL OR MECHANICAL INSTALLATION HEREIN PROVIDED MAY BE INSPECTED AT ANY TIME BY A BUILDING INSPECTOR.			
PERMITTEE'S SIGNATURE		DATE			
Joseph Sidell		12/4/75			
APPLICANT NOTE CITY'S GENERAL REMARKS		TYPE OF CONSTRUCTION			
		FIRE ZONE			
		CK. BY			
		BLDG No. FEE P.C. FEE AREA VALUATION REMARKS			
		DRIVEWAY			
		TOTAL			
		BLDG No. FEE CONTRACTOR			
		PHONE			
		REMARKS			
		TOTAL			
		BLDG No. FEE CONTRACTOR			
		PHONE			
		REMARKS			
		TOTAL			
		BLDG No. FEE CONTRACTOR			
		PHONE			
		REMARKS			
		TOTAL			
		STRONG MOTION FEE			
		LATERAL			
		CONNECTION			
		SPECIAL CONNECTION - CITY			
		SPECIAL FEE - (REFUND)			
		TOTAL			
		IMPROVEMENT PLANS			
		STORM			
		SANITARY			
		STREET			
		STREET WIDENING			
		NO			
		YES GRADING			
		ENCROACHMENT PERMIT			
		EXISTING LATERAL			
		HOLD FINAL INSPECTION			
		DISTANCE			
		FT. FACE OF CURB TO PROPERTY LINE			
		EXISTING SEWER LOCATION			
		CHECKED			
		DATE			
		REMARKS			
		APPLICATION APPROVAL			
		RECEIPT No.			
		DATE			
		INSPECTOR			
		THIS PERMIT AUTHORIZES ONLY THE WORK NOTED			
		PLANNING			
		ZONE			
		USE			
		HOLD FINAL			
		NO			
		INSPECTION			
		YES			
		FRONT			
		FT.			
		REAR			
		FT. OFF ST. PK. R.O. REQ.			
		SIDE			
		FT. DESIGN & LOCATION			
		COMMON			
		FT. HEIGHT OK			
		GARAGE			
		FT. TOPO VARIANCE			
		YES			
		NO			
		ACC. BLDG. LOCATION			
		FT. MAIN BLDG			
		FT. P.L.			
		CONDITIONS & REFERENCE			
		CHECKED			
		DATE			
		ORIGINAL-BUILDING DEPT.			

i. 1912 Division Map



iii. Newspaper Clippings

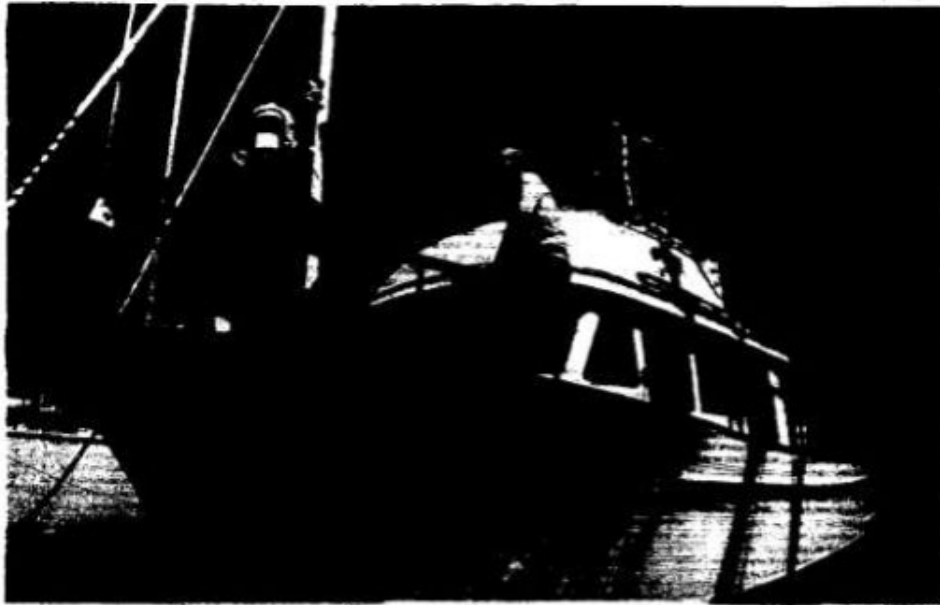
San Diego Modernism Context Statement :

Early Tract Developers ca. 1947-53	
Developer	Communities
Dennstedt Company	College Area, Rolando, Rolando Park
Chris Cosgrove	College Area, Rolando, Rolando Park
Lincoln Homes	Rolando, Rolando Park
Larry Imig	SE/Valencia Park
Dass Construction	Webster/College Area
Harmony Homes [precursor to Drogin]	Ridgeview/College Area
O D Arnold	Oak Park/Webster-Furlow Heights
Brock Construction	College Area
Clifford O. Boren Co.	Redwood Village/Darnall, Oak Park/Webster
American Housing Guild	Rolando Park
Tract Developers ca. 1953-60	
Developer	Communities
Clairemont Company	Clairemont
Birmingham Development Co	Fairmount Park
Burgener-Tavares	Clairemont
Bollenbacher-Kelton	Allied Gardens, Emerald Hills
Drogin Construction	Oak Park/Webster, College View Estates, Del Cerro, Pacifica
Jackson-Scott	Rolando, Oak Park, Pt. Loma, Del Cerro
Hobart Homes	Lake Murray, Glenclyff-Valencia Park
Solomon Building Co.	Twain Heights-Allied Gardens, Sears Heights & Regency Park-Valencia Park
Tavares Development Co	San Carlos
Princess Homes	San Carlos
Del Webb	Clairemont
American Housing Guild	Kearney Mesa, San Carlos, Mission Village
Cinderella Homes	Clairemont, San Carlos
Kahn Builders	University City



1953 San Diego Union advertisement for Del Cerro.

San Diego Union, October 3, 1982



The San Diego Union/Bob Jellis

Stanley C. Scott, right, relaxes aboard his 36-foot troller, 'Virginia' as he tells his son, Stuart, about the way things were 50 years ago in the housing industry — rough — just like they are now. The father, who announced his retirement last week, built 2,500 houses and commercial buildings during his career. Son Stuart is a third-generation builder.

After 55 Years, He Has Earned A Rest

The Man Has Seen It All

By WILL H. PARRY
Real Estate Editor, *The San Diego Union*

Standing on the dock next to his fishing boat, Stanley C. Scott looked out over San Diego Bay and discussed the ups and downs of the local housing industry, mostly the downs.

"It's as bad now as the Depression," Scott said. "It's really tough to make a dollar pounding nails."

Then a smile spread over the face of the native San Diegan and he began to chuckle to himself as he recalled the time as a high school boy he was learning the construction business

from the roof down and fell off a roof backward.

"When I first went to work for my dad, I had to shingle a roof on a garage," said Scott, now 69. "You worked from the peak of the roof backwards. I wasn't paying any attention as I worked down the roof and the first thing I knew I was on the ground in a heap. I had backed right off the roof." Scott's eyes danced with delight as he recalled an embarrassing incident that has happened to many youngsters learning a trade.

(Continued on F-16, Col. 1)

***Continued on next
page.***

Continuation of article from previous page.

San Diego Union, October 3, 1982



STANLEY C. SCOTT

BOB COZENS

Scott . . .

(Continued from F-1)

"I was the boss' son, so they couldn't laugh too much, not right at first," Scott added. "But as soon as they found out I wasn't hurt, they really whooped, the whole crew."

Scott, whom many of his colleagues consider "Mr. Builder of San Diego," has announced his retirement following a lifetime in the industry. He stepped down from his last job, executive vice president of the San Diego Construction Industry Federation and executive director of the Construction Industry Advancement Fund, retroactive to Sept. 1. He served concurrently in both of the construction industry umbrella groups.

He and his wife, Virginia, are planning a vacation in Europe next fall.

Scott, who got out of the actual home-building business eight years ago, will be succeeded in both of his last two jobs by Bob Cozens, another San Diego native.

Cozens, too, brings a certain amount of clout to the job. He was an All-Conference halfback at San Diego State University, a member of the County Board of Supervisors from 1960 to 1969, and director of the California Department of Motor Vehicles for five years under then-Gov. Ronald Reagan. He joined the Construction Industry Federation, the lobbying arm of the local building industry, in March 1978 as legislative director.

Unlike today's construction specialists who know how to do only one job, such as frame a wall, hang a door or lay tile, Scott literally learned the industry from the ground up. He did everything from carry hod as a boy, to build houses — at least 2,500 of them — to help organize the Pacific Coast Builders Conference (PCBC). He served as the second president of that group, helping it become the most powerful voice of the building industry in the 11 western states and the second largest builders convention in the nation.

Some builders have the reputation of wearing black hats. Not Scott, say his peers. Twice he was president of the San Diego Building Contractors Association. The construction leader also has served as president of the San Diego Blood Bank, a director of the Villa View Community Hospital, and president of the Home Builders Council of California, gathering trophies, citations and letters of appreciation as he went, literally boxes of them. There were more.

"But the thing I treasure the most is the Rodney Radom award for being named the California 'Builder of the Year' in 1974," Scott said in an interview. "Rodney Radom was a wonderful person, everybody knew him and he had a great impact on the building industry."

So did Scott, in the opinion of one of his first home buyers, Gerald E. Wood, now of Del Mar. It had to do with customer service, a whole new idea in housing at that time. That was more than 30 years ago when Scott was president of Jackson & Scott Inc., a building and development company in San Diego.

"We bought one of the first units they built on Point Loma in a tract called Woodland Hills," Wood, a retired county probation officer, recalled last week. "Before we moved in they told us to make a list of things that needed fixing — chipped plaster, flaking paint or whatever. Somebody stole a planter box before we moved in. I made quite a list of little things. They were out there in no time and fixed everything. We were amazed at the service."

"I've known Stan Scott for eight years," said Bob Morris, executive vice president of the Building Contractors Association, "and all I've ever heard or know about him was total honesty and total commitment. His retirement will be a loss to the industry."

One of the "downs" Scott remembers the most occurred in the winter of 1951 when rain continued for weeks on end, spilling over dams and flooding low areas throughout the county. He and his partner were building a tract named Seminole Terrace in La Mesa on contract and they lost money on it.

"Everything was flood for weeks," Scott said. "We'd get the trenches pumped out, ready to pour (cement slab floors) and they would be flooded again. So we'd rent the pumps again, pump out the trenches, reset the forms, reset the grades and then get another inspection. It seemed like it rained every weekend. Finally, we got a couple months behind schedule."

"We lost money on that job — quite a bit," Scott said with a smile.

His biggest project was the development of the 675-acre Del Cerro where he and his wife, Virginia, now live. "We sold off one section of 125 acres, so everything wouldn't look the same. It is a low-density community, averaging only three units per acre."

And there were other tough times, especially before World War II when the country was in the depths of the Great Depression. "Back then it was pound the nail and get the dollar," he said. "There was no profit in between. Some fellas are doing that same thing right now."

What does Scott expect for his industry in the future? "The pattern is beginning to emerge — smaller homes and condominiums, the end of 'nothing-down GI' financing and more family cooperation in financing (a no-interest loan for a down payment from rich Uncle John), but there is nothing new about that."

What was the biggest change in his 35-year career in the building industry?

The development of endless government red tape, which some studies indicate has added as much as \$20,000 to the price of the average home in California. "In 1945, there was a six-month lapse between acquiring the land and starting construction," said Scott. "Now it takes a minimum of two years and a maximum of five years to get everything approved. This drives up the price of everything terribly."

3627 Plumosa Drive in the Loma Portal neighborhood. This home is extant.

San Diego Union, December 5, 1948

CONVENIENCE FEATURED IN SAN DIEGO BALLPLAYER'S LOMA PORTAL HOME



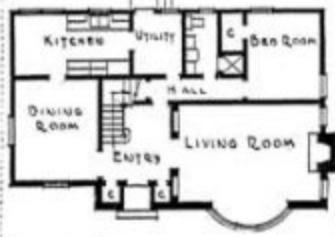
FLORAL WALLPAPER GIVES DINING ROOM COLOR



CIRCULAR BAY WINDOW, FIREPLACE ADD TO LIVING ROOM INTEREST



HALL SIMPLY, BUT ATTRACTIVELY DECORATED



FIRST FLOOR



SECOND FLOOR

REAR ROOMS ALSO OFFER COMPLETE LIVING UNIT



RED-BRICK FACADE EXTENDS ALMOST FULL ACROSS JENSEN HOME

Bedroom, Bath Downstairs Save Steps in 2-Story Colonial House

A common disadvantage to most 2-story houses for families with small children is awkwardness in the driveway. The new Colonial-style residence designed for a San Diego baseball player, John "Bomber" Jensen, and his family.

Mrs. Jensen located in the open space in her home and the drive-offer now agrees with her that it is possible to have the mother and child living space without loss of convenience.

PROBLEM SOLVED
After research of the child situation in the Jensen home—confronted up and down the stairs—Mrs. Jensen sought a plan that would eliminate the entrance problem. A bedroom and bath on the ground floor solved the problem and also fit well in the arrangement of their new home at 3627 Plumosa Dr. in Loma Portal.

The house, built by Jensen and Sons, members of the San Diego Chapter, Building Construction Association of California, Inc., is so designed that for almost a century of years, Mrs. Jensen can comfortably sit off the front porch of her home and still have ample space for children, living, and play.

POSSIBLE USE
The downstairs bath serves also as a dressing room and the extra bathroom has been converted for double use, providing a children's nursery room. They are located in the kitchen, work area for a mother-in-law. This second-story living quarters open on to a rear lawn, convenient for the children's play.

Definitely the only time Mrs. Jensen finds it necessary to climb the stairs is at the children's bedrooms. They have a secondary bedroom adjoining the master bedroom.

CIRCULAR BAY WINDOW
The Jensen house faces gently into Plumosa Park and contains, in the center, San Diego Bay and downtown San Diego. The dwelling was set on the redesigned lot and made to take best advantage of the view.

A circular bay window, flanked with a series of square piers, provides relief for the whole atmosphere.

It would be a two-day effort in the great painting and built-in center room. A red-brick facade extends almost full across the front and reaches to the second story. The rest of the exterior is white stucco with window shutters of blue-green.

Ready to the home is a roomy, simply, a building feature that provides room for the quarters above on each side of the front door. The entry hall is designed for both beauty and utility, providing a screen link with the upper hallway, the open stairway, the living room on one side and dining room on the other.

Mrs. Jensen has followed the period style rather closely in furnishing the living and dining rooms, although, concealing a modern touch where it served comfort and convenience.

LIVING ROOM
Walls and ceiling in the living room are finished in white interior lacquer. At the far end is a fireplace framed with a split brick and a mantle of white woodwork. A large picture hangs above the fireplace. Built-in bookshelves are on both sides of the entrance to the end of the room opposite the fireplace. The fireplace includes two windows, chairs, and an entrance to the living room.

For her living room draperies, Mrs. Jensen chose a patterned pattern that features and design from colors of red, green, gold and beige. There is both the dining and living rooms are covered with neutral green plaid-pattern rug which have exposed borders of the 14 inch matched tile flooring.

Mrs. Jensen covered the wall procedure of three-design wallpaper for the entry hall and got it covered in her dining room. The entry hall walls are covered with a small geometric pattern of white and green on a background of deep yellow. It provides an interesting relief upon entering the house.

The large front design of red and green in the dining room corner is on a background of deep blue, matching woodwork, white

ing fun over the stove. In the central living room, has a floor area of 1700 square feet in the 2-story house. The building contractor said a similar residence could be built at a cost between \$17,000 and \$18,000.

Two bedrooms and a bath are upstairs, including a large master bedroom with an exceptionally large wardrobe. The bath provides two wash basins for linen, one of them a wide, 8-inch affair with ample storage room for bedding and towels.

The house, also equipped with a

San Diego Union, November 20, 1949



VETERANS

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54TH STREET DEVELOPMENT

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125 Completed or Under Construction
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 - 3—3-Bedroom Homes—Large Corner View
Lots—2-Car Garages.....\$900 to \$1250 down
- INCLUDES LOT—GARAGE—UTILITIES
4% G.I. FINANCING

OPEN FOR INSPECTION DAILY & SUNDAY
On 54th St.—Just South of University

JACKSON & SCOTT, INC.
BUILDERS

San Diego Union, April 10, 1949

Contractors Open Tract

Richard Jackson and Stanley C. Scott, San Diego building contractors, have opened a new auditorium where they announced, they will build 126 cottage-type homes in the low-cost range.

The subdivision, known as Jackson and Scott Addition, Units No. 1 and 2, is plotted into varied-shaped lots, ranging from 5000 to 8400 square feet. It is located at Fifty-fourth St. and Chollas Station Rd.

Jackson reported 25 houses are already under construction, adding that the tract would be filled as rapidly as the cottage homes can be built and marketed.

San Diego Union, August 21, 1949

JACKSON & SCOTT, Builders, Invite You To
Make Yours a "Lifetime" Home



LESS THAN
\$400

DOWN
FOR VETERANS
No Additional
Money Needed

Includes Lot - Garage - Utilities!

MONTHLY PAYMENTS
are LESS than RENT

Straight 4%
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OPEN Daily and Sunday, 10 A.M. to 6 P.M.
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Avenue and see the variety of floor plans and designs
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CALL J-5165 For Appointment
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JACKSON and SCOTT, Inc.
BUILDERS

Listen to Marvin Miller, "The Story Teller," Over KSDO, 10:00 a.m., Mon. thru Fri.

San Diego Union, September 16, 1956

IN THE PARADE OF HOMES

newa-toki

ORIENTAL
GARDEN HOUSE
BY
JACKSON & SCOTT, INC.



Designed by Walter R. Rasmussen, A.I.D.
General Builders by Jackson & Scott, Inc.

at 6810 Del Cerro Boulevard in

DEL CERRO

Del Cerro is just
North of State College
on Alvarado
Freeway
(S.E. 88)

Other Builders Invited To Share Del Cerro With Jackson and Scott

Cerro, the new subdivision from State College on Alvarado, is being developed in an area which makes the product more valuable. 670-acre subdivision will permit 1500 home sites ranging one-half acre to one acre. Paul Engstrom, manager of the Valley Corp., estimates that this is about 1,000 fewer sites than could have been surveyed using ordinary lot dimensions.

Engstrom said the idea for Del Cerro was born two years ago when two construction organizations—Jackson & Scott, Inc., and Harmony Homes, found themselves building a series of quality homes in areas on which which interested and shared.

Each builder found his own way to build a quality home, but because the buyer had a choice, the standard would be invited to operate.

From these conversations Del Cerro emerged, and Jackson & Scott have acted as consultants to the Valley Corp. in developing many of the ideas. Jackson explains his ideas on Del Cerro this way:

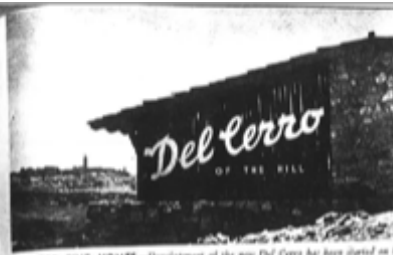
"We are dedicated to the belief that it is not possible for one man or one firm to be original on 1500 homes.

Exchange of ideas
"Yes, I think people are fed up with money and with repetition. Perhaps they have gone overboard in the other direction, but they certainly want variety and the freedom of choice.

"A development like Del Cerro can provide that freedom of choice. It can encourage competition and variety. Jackson & Scott found that when we are building homes adjacent to other builders we pick up good ideas. The other builders engage in a competition of craftsmanship which tends to raise the standards of all."

Engstrom reports these builders already have started or have arranged to start operations at Del Cerro: Builders Enterprises, Inc., 2829 San Diego Ave.; Engstrom Construction Co., 3819 Adams Ave.; Fuller & Coulter, 5824 El Cajon Blvd.; Lloyd N. Sanford, 4401 El Cajon Blvd.; Jack H. Seedorf Jr., 5666 Dorothy Way; Henry L. Wheeler, 3543 Fifth Ave.

The developer is spending more than \$100,000 in construction and installation of a pumping plant consisting of



SITE FOR FIVE HOMES—Development of the new Del Cerro has been started on the site adjacent to Alvarado Freeway, directly across from State College, the campus of which can be seen in the background of this picture. In the hope of creating a fine residential community, including Kensington and other top San Diego subdivisions, the developer has invited other builders to participate with Jackson and Scott in building better homes. Alvarado trunk line sewer. A \$1,500,000 shopping village of at least 10 acres is proposed. Engstrom said the development will begin to take shape in about two years. "By that I mean that it will start to

which is planned. The city project will be filled with some of the usual inconveniences of pioneering a new area, although we have tried to reduce these to a minimum."

The State Division of Highways has indicated the College Avenue underpass beneath Highway 80 (Alvarado Freeway) will be completed in at least two years, providing the permanent entrance to the subdivision. School children will be transported at first—later the developer will make available houses to the Board of Education for use as temporary classrooms. Soil later portables will be moved on the site already established, and after that comes construction of the permanent school buildings.

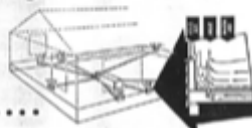
The Valley Corp. has retained Walter Broderick & Associates, 9133 El Cajon Blvd., La Mesa, as consultants to Del Cerro and to all builders who operate in the subdivision.

"That doesn't mean that Walter Broderick and his people will be dictators on color," Engstrom said.

"The point is that all builders will (Continued on next page)

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NOW—a new kind of central heating—PERIMETER heating. Manufactured by Sequoia, engineered and installed by University Heating & Air Conditioning, it sells homes faster—not better prices. And the desirable, trouble-free performance of a rugged Sequoia furnace KIRPS customers sold—year after year.

Fits in basement perimeter heating of budget prices. Requires no basement, easily installed in either old or new homes. Small registers, only 2 by 14 inches, under windows near outside walls, stop cold air the source. Every room in the house is heated in gently circulating warm air. Adds far more than its cost to sales value of the home.

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NEW OFFICERS CHOSEN

Stanley Scott Named 1956 President; Installation to Be Jan. 14 at Dinner Dance

Stanley Scott is the new leader of the San Diego Building Contractors Association.

He was elected president for 1956 by his fellow builders at the Association's election meeting in November. Scott will be installed at the BCA's annual dinner dance, which this year is to be held in the ballroom of El Cortez Hotel. The date is Saturday night, January 14.

The new president is a partner in Jackson and Scott, long a member of the association. Scott supervises and directs the construction activities of this firm, which has built hundreds of houses and has developed several residential subdivisions in the San Diego area since the end of World War II. Currently, Jackson and Scott have undertaken the development of Del Cerro, a subdivision near State College which is to be filled with luxury-type houses. They have invited other builders to share in this development.

Scott also is one of those rare individuals—a native San Diegan. He learned the building business in San



STANLEY SCOTT
1956 President

Diego in his teens, starting with his father, the late Sidney Scott. The firm was known as Sidney Scott and Sons.

Scott became increasingly active in association affairs during 1955, giving generously of his time and effort. He accepted the chairmanship of the im-

portant FHAVA Affairs Committee, an assignment that is demanding of time and effort. During the past year, he has served as treasurer and also represented the association at the annual NAHB convention in Chicago last January and at the NAHB fall directors' meeting in Washington last October.

Other Officers
Scott will succeed Henry L. Wheeler. Other officers, also to be installed at the dinner dance, include Norval Diamond, re-elected vice president; Hal W. Rand, named secretary, and R. E. Pixton, treasurer.

These officers were chosen at the November meeting by the Board of Directors, following the election of three new directors—Arthur L. Lynds of Hobart Homes, Kenneth Glazebrook of Mobilhome Corp., and Rand. The three new directors replace Lloyd L. Lee, Donald W. Jack and William Stevens.

Holdover directors include Wheeler, as immediate past president, J. R. Statuck, A. E. Bettsman and Scott, Diamond and Pixton.

Bettsman, in addition to being on the (Continued on Page 31)



NORVAL DIAMOND
Re-elected V. P.




HAL W. RAND
Elected Secretary



R. E. PIXTON
New Treasurer

c. APPENDIX C: OWNERSHIP INFORMATION


i. Obituaries

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ABOUTWHAT WE DONATEHALL OF FAMECIRBBITA

1986 HONOREE *



STANLEY C. SCOTT
JACKSON & SCOTT, INC. BUILDERS AND DEVELOPMENT

Stanley C. Scott was born and educated in San Diego. He started in the building industry at an early age, working for his father. In 1945, he became President of Jackson & Scott, Inc. Builders and Developers. The corporation was responsible for the development of some 20 subdivisions within San Diego County, including more than 3,000 homes. The firm also built commercial structures and schools.

Stan served in various capacities with building organizations, including two terms (1956 and 1962) as President of the Building Industry Association of San Diego County, an organization of which he became Executive Vice President, serving more than seven years as head of the Building Industry Association staff. He then became Executive Director of the Construction Industry Federation, supervising legislative activities for the industry within the San Diego area. He retired in 1982. He was an Honorary Life Member of the San Diego Building Industry Association, which he served for more than 30 years.

Stan had also been active in statewide industry activities, serving on the State Task Force on Housing and Construction. He was a Lifetime Director of the California Building Industry Association, where he served as President in 1959. He helped found the Pacific Coast Builders Conference (PCBC) in 1959, served as the PCBC President in 1960, and received the prestigious Rodney Radom Award for his long-term contributions to the Pacific Coast Builders Conference and the industry. He also served as Regional Vice President and Director of the National Association of Home Builders. Stan is survived by his wife, Virginia, and their daughter, Mrs. Karen Harnlin, and son, Stuart, who is a third generation building contractor and who also served as President of the San Diego Building Industry Association.

OBITUARIES

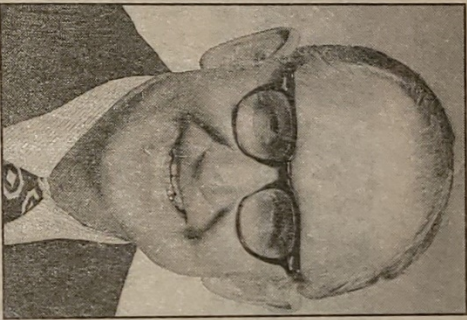
Stanley C. Scott; longtime leading builder

San Diego native organized regional contractors group

Stanley C. Scott, who started in the construction business as a boy carrying a hod and eventually organized the Pacific Coast Builders Conference, died Saturday at Alvarado Convalescent Hospital after a long illness. He was 79 and lived in Del Cerro.

A native of San Diego, he graduated from Francis Parker School in 1929 and attended San Diego State College (now San Diego State University) to study architecture. But his studies were cut short during the Great Depression when he was forced to quit college and go to work for his father, who owned a construction firm.

Mr. Scott worked as a builder for his father's firm in the 1930s. During high school he started learning the trade, often telling



FILE PHOTO

Stanley C. Scott: 'Mr. Builder of San Diego.'

the story of how he learned the business from the roof down, literally. He always told it with a chuckle and a grin.

"When I first went to work for

my dad, I had to shingle a roof on a garage," he once told friends. "You worked from the peak of the roof backwards. I wasn't paying any attention as I worked down the roof, and the first thing I knew I was on the ground in a heap."

As a man, he eventually got to the top of the building heap. Many of his colleagues considered him "Mr. Builder of San Diego."

When it became too hard to make a dollar pounding nails, his father folded his business and retired. Mr. Scott took a job at Dixie Lumber Co. and stayed there for five years. In 1940, he and the late Marvin Jackson started their own construction company, Jackson and Scott Builders. In 1945, he became president of the company.

The builders were responsible for the development of some 20 subdivisions, including more than 3,000 homes. The largest project was the development of the 675-acre community of Del

Cerro.

Mr. Scott spent 55 years in the building industry before his retirement in 1982. He served as executive vice president of the San Diego Construction Industry Federation and as executive director of the Construction Industry Advancement Fund.

He helped organize the Pacific Coast Builders Conference and served as the second president of that group, helping it to become the most powerful voice of the building industry in the 11 Western states.

In 1986, Mr. Scott was inducted into the California Business Industry Hall of Fame.

The construction leader served as president of the San Diego Blood Bank, a director of Villa View Community Hospital, and president of the Home Builders Council of California.

Mr. Scott belonged to both the La Mesa Lions Club and the San Diego Yacht Club for many decades.

Survivors include his wife, Virginia; a son, Stuart of El Cajon; a daughter, Karen Hamlin of La Mesa; and three grandchildren.

A memorial service will be held at 2 p.m. Thursday at First United Methodist Church in Mission Valley. He will be cremated and his ashes buried at Greenwood Memorial Park in private family services.

The family suggested contributions to the Scott Memorial fund at the First United Methodist Church.

E.4 Criterion D - Master Builder

Jackson & Scott, Inc. (not yet considered a Master Builder)

Stanley C. Scott; longtime leading builder San Diego native organized regional contractors group

The San Diego Union-Tribune - Monday, January 11, 1993

Stanley C. Scott, who started in the construction business as a boy carrying a hod and eventually organized the Pacific Coast Builders Conference, died Saturday at Alvarado Convalescent Hospital after a long illness. He was 79 and lived in Del Cerro.

A native of San Diego, he graduated from Francis Parker School in 1929 and attended San Diego State College (now San Diego State University) to study architecture. But his studies were cut short during the Great Depression when he was forced to quit college and go to work for his father, who owned a construction firm.

Mr. Scott worked as a builder for his father's firm in the 1930s. During high school he started learning the trade, often telling the story of how he learned the business from the roof down, literally. He always told it with a chuckle and a grin.

"When I first went to work for my dad, I had to shingle a roof on a garage," he once told friends. "You worked from the peak of the roof backwards. I wasn't paying any attention as I worked down the roof, and the first thing I knew I was on the ground in a heap." As a man, he eventually got to the top of the building heap. Many of his colleagues considered him "Mr. Builder of San Diego." When it became too hard to make a dollar pounding nails, his father folded his business and retired. Mr. Scott took a job at Dixie Lumber Co. and stayed there for five years. In 1940, he and the late Marvin Jackson started their own construction company, Jackson and Scott Builders. In 1945, he became president of the company. The builders were responsible for the development of some 20 subdivisions, including more than 3,000 homes. The largest project was the development of the 675-acre community of Del Cerro. Mr. Scott spent 55 years in the building industry before his retirement in 1982. He served as executive vice president of the San Diego Construction Industry Federation and as executive director of the Construction Industry Advancement Fund.

He helped organize the Pacific Coast Builders Conference and served as the second president of that group, helping it to become the most powerful voice of the building industry in the 11 Western states. In 1986, Mr. Scott was inducted into the California Business Industry Hall of Fame.

The construction leader served as president of the San Diego Blood Bank, a director of Villa View Community Hospital, and president of the Home Builders Council of California.

Mr. Scott belonged to both the La Mesa Lions Club and the San Diego Yacht Club for many decades.

Survivors include his wife, Virginia; a son, Stuart of El Cajon; a daughter, Karen Hamlin of La Mesa; and three grandchildren. A memorial service will be held at 2 p.m. Thursday at First United Methodist Church in Mission Valley. He will be cremated and his ashes buried at Greenwood Memorial Park in private family services. The family suggested contributions to the Scott Memorial fund at the First United Methodist Church.

San Diego Evening Tribune, February 18, 1987

Mr R Marvin Jackson, 75

R. Marvin Jackson, retired developer, was hospital official

Evening Tribune (San Diego, CA) - Wednesday, February 18, 1987

Memorial services for R. Marvin Jackson, 75, of Alpine, a retired real estate developer, will be at 1 p.m. Friday in Merkley-Mitchell Mortuary. Private inurnment was planned. He died Monday at his home.

Mr. Jackson was the co-founder of Jackson and Scott Real Estate Development Corp., original developers of the Del Cerro area. The firm also designed and built custom homes throughout the county. Born in Peoria, Ariz., Mr. Jackson lived in the county 67 years, and was a graduate of San Diego High School and studied architecture at San Diego State University and the University of California at Berkeley.

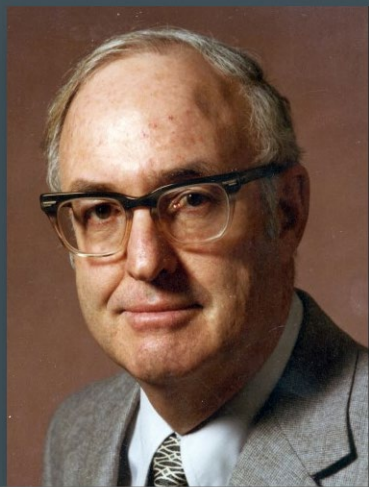
He was a founder and honorary vice president of Grossmont Bank. He was instrumental in the formation of the Grossmont Hospital District and was the district board's first president. He served on the board for 13 years.

He was a pilot and held membership in the Aviation Country Club of California and the Sportsmen Pilot Association. He was also a member of the San Diego Cotillion Club.

Survivors include his wife, Virginia; three sons, Richard and Dennis, both of Alpine, and David of San Diego; a brother, Wilbur of La Mesa; and five grandsons. The family suggested donations to Grossmont Hospital's research programs or other charities.

Laverne C. Johnson

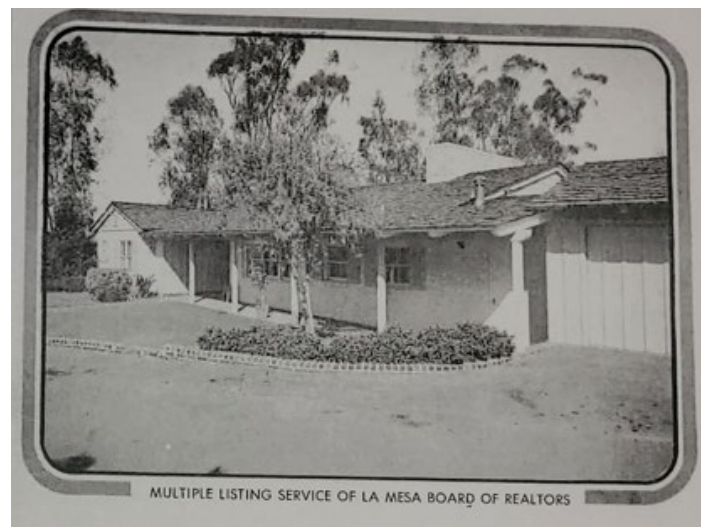
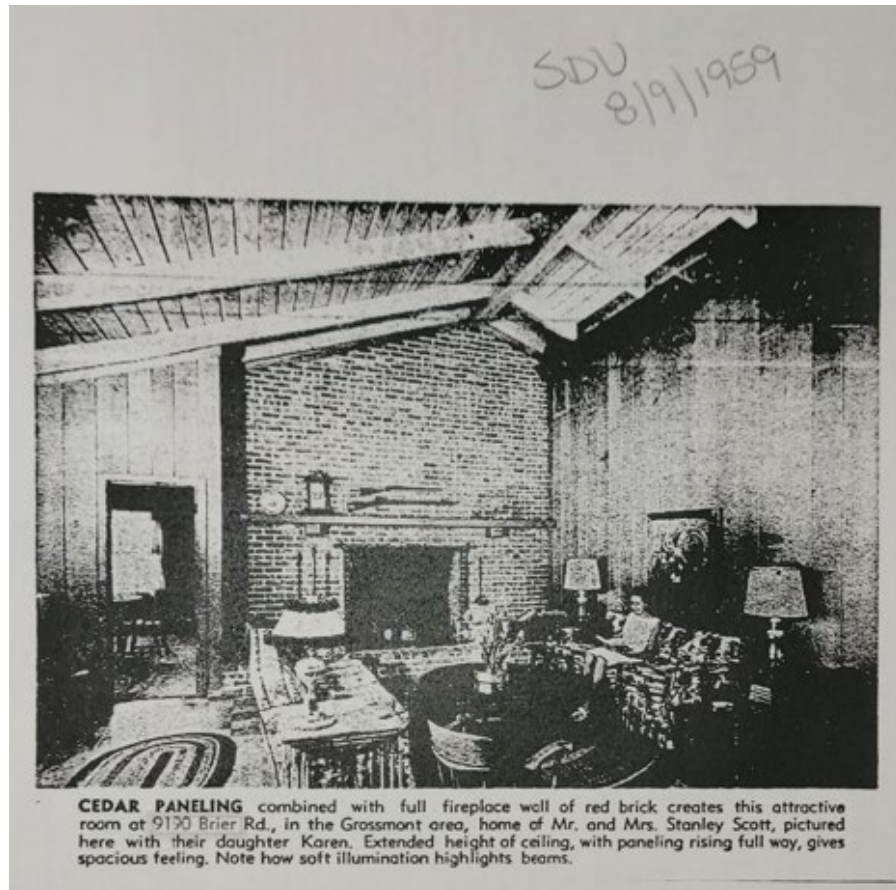
1925 - 2016



Laverne C. Vern' Johnson 1925 - 2016 La Mesa
After a rich life of ninety one years, Laverne Vern' Johnson died at home, his family with him, in October 2016. Vern was an internationally known, pioneering researcher in the scientific study of sleep. He was among the small group of researchers who, in 1969, drew up the definitions of the stages of sleep (REM, Slow wave sleep, etc.) now widely known to the public and central to scientific research in sleep and sleep disorders medicine. After beginning his career in St. Louis, Vern was called to San Diego in 1960 as a "plank holder" of the newly formed US Naval Medical Neuropsychiatric Research Unit, now called the Naval Health Research Center. He was the Center's second Scientific Director when he retired after 26 years of service. He was also affiliated with San Diego State University and UCSD. In 1977 he received the Distinguished Civilian Service Award from the Secretary of the Navy. He was appointed a charter member of the US Senior Executive Service in 1979. Vern published over 128 scholarly articles in 45 journals, including Science and Nature, and contributed 28 chapters to books. In 1993, his career achievements were honored by the Sleep Research Society (which he helped found) which named him its "Distinguished Scientist of the Year." Vern's parents brought their three sons from their Alabama birthplace to Taft, California in 1936. Vern joined the US Army Air Force in 1943 and served as navigator on B-29s in the Pacific Theater. His plane was among the 461 B-29s summoned by MacArthur to overfly the surrender signing on the USS Missouri in Tokyo Harbor, his most dangerous mission he said. After demobilization in 1946, he continued his education at Taft Junior College, ultimately receiving his BA, MA and PhD in Psychology from Stanford University. Vern is survived by his brother, his wife of 64 years, three children and their families including five grandchildren. His ashes will be taken to the sea in a private family ceremony. Services that were especially meaningful to Vern were the Braille Institute for the Blind and the American Diabetes Association.

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d. APPENDIX D: PHOTOS











1971
Photos



