



## LA MESA DESIGN REVIEW BOARD AGENDA

### A Regular Meeting

**Date:** Monday, April 13, 2026, 12:30 p.m.  
**Location:** City Council Chambers, 8130 Allison Avenue  
La Mesa, California

**Board Members:** Chair Alison Morita  
Vice Chair Christopher Langdon  
Board Member Patrick de la Torre  
Director of Community Development Lynnette Santos  
Assistant Director of Community Development Jared Chavez

The public may view the meeting in-person or live using the following remote options:

Teleconference Meeting Webinar

<https://www.zoomgov.com/j/1613993141>

Telephone (Audio only)

(669) 254-5252 or (669) 216-1590 Webinar ID: 161 399 3141

Copy and paste the webinar link into your internet browser if the webinar link does not work directly from the agenda.

### **PUBLIC COMMENTS**

- **In-Person comments during the meeting:** Join us for the Board meeting at the time and location specified on this agenda to make your comments. Comments will be limited to three (3) minutes.
- **How to submit eComments:** eComments are available once an agenda is published. Locate the meeting in "upcoming meetings" and click the comment bubble icon. Click on the item you wish to comment on. eComments can be submitted when the agenda is published and until **24 hours prior** to the meeting. eComments are limited to 3700 characters (approximately 500 words). eComments may be viewed by the Board and

members of the public following the close of the eComment submission period (24 hours prior to the meeting). Email your comment to [planning@cityofflamesa.gov](mailto:planning@cityofflamesa.gov) if you have difficulty submitting an eComment. eComments will not be read aloud as a regular meeting item; however any member of the Board or member of the public may do so during their respective comment time.

**PLEASE NOTE:** Public Comment will be limited to 3 minutes per item. The timer begins when the participant begins speaking. Time cannot be combined or yielded to another speaker.

Citizens who wish to make an audio/visual presentation pertaining to an item on the agenda, or during Public Comments, should contact the Community Development Department at 619.667.1176, no later than 12:00 p.m., the business day prior to the meeting day. Advance notification will ensure compatibility with City equipment and allow Board meeting presentations to progress smoothly and in a consistent and equitable manner. Please note that all presentations/digital materials are considered part of the maximum time limit provided to speakers.

Agenda reports for items on this agenda are available for public review at the Community Development Department, 8130 Allison Avenue, during normal business hours.

Materials related to an item on this agenda submitted to the Board after distribution of the agenda packet are available for public inspection at the Community Development Department, 8130 Allison Avenue, during normal business hours.

**ACCESSIBILITY:** The City of La Mesa encourages the participation of disabled individuals in the services, activities and programs provided by the City. Individuals with disabilities, who require reasonable accommodation in order to participate in the Board meetings, should contact the Human Resources Department 48 business hours prior to the meeting at 619.667.1175, fax 619.667.1163, or [BCruz-Rivera@cityofflamesa.gov](mailto:BCruz-Rivera@cityofflamesa.gov).

Hearing assisted devices are available for the hearing impaired. A City staff member is available to provide these devices upon entry to City Council meetings, commission meetings or public hearings held in the City Council Chambers. A photo ID or signature will be required to secure a device for the meeting.

---

**Pages**

1. CALL TO ORDER
  - 1.1 ROLL CALL
  - 1.2 PLEDGE OF ALLEGIANCE
2. ADDITIONS AND/OR DELETIONS TO THE AGENDA
3. PRESENTATIONS

4. **PUBLIC COMMENTS – (TOTAL TIME – 15 MINUTES)**

NOTE: In accordance with state law, an item not scheduled on the agenda may be brought forward by the general public for comment; however, the Design Review Board will not be able to discuss or take any action on the item at this meeting. If appropriate, the item will be referred to Staff or placed on a future agenda.

5. **CONSENT**

5.1 **APPROVAL OF THE MEETING MINUTES FOR THE DESIGN REVIEW BOARD HELD ON MARCH 09, 2026**

4

6. **CONFLICT DISCLOSURES**

7. **CURRENT BUSINESS**

7.1 **2026-0124 (YARWICK TERRY J LIVING TRUST)**

7

DESIGN REVIEW CONSIDERATION FOR A MAJOR REMODEL AND FAÇADE IMPROVEMENTS OF AN EXISTING COMMERCIAL BUILDING LOCATED AT 7995 LA MESA BOULEVARD, IN THE CD-D (DOWNTOWN COMMERCIAL/URBAN DESIGN OVERLAY) ZONE AND DOWNTOWN VILLAGE SPECIFIC PLAN AREA (APN 470-561-17-00).

**Recommended Motion:**

Staff recommends that the Design Review Board determine that the project meets the goals and guidelines of the Downtown Village Specific Plan and Urban Design Program, and approve the project, subject to City Council ratification. (**Attachment A**).

8. **STAFF AND BOARD MEMBER ANNOUNCEMENTS**

9. **ADJOURNMENT**



## La Mesa Design Review Board Minutes of a Regular Meeting

Date: March 9, 2026, 12:30 p.m.  
Location: City Council Chambers, 8130 Allison Avenue  
La Mesa, California

Present: Chair Alison Morita  
Board Member Patrick de la Torre  
Director of Community Development Lynnette Santos  
Assistant Director of Community Development Jared Chavez

Absent: Vice Chair Christopher Langdon

Staff: Assistant Planner Patrick Macpherson  
Associate Planner Laura Traffenstedt  
Administrative Coordinator Julia Carrillo  
Administrative Coordinator Heather Leal

---

### 1. **CALL TO ORDER**

Chair Morita called to order at 12:32 p.m.

#### 1.1 **ROLL CALL**

#### 1.2 **PLEDGE OF ALLEGIANCE**

### 2. **ADDITIONS AND/OR DELETIONS TO THE AGENDA**

### 3. **PRESENTATIONS**

### 4. **PUBLIC COMMENTS – (TOTAL TIME – 15 MINUTES)**

NOTE: In accordance with state law, an item not scheduled on the agenda may be brought forward by the general public for comment; however, the Design Review Board will not be able to discuss or take any action on the item at this meeting. If appropriate, the item will be referred to Staff or placed on a future agenda.

No public comment.

5. **CONFLICT DISCLOSURES**

6. **CONSENT CALENDAR**

6.1 **APPROVAL OF THE MEETING MINUTES FOR THE DESIGN REVIEW BOARD HELD ON 23, FEBRUARY 2026**

**Moved by** Board Member de la Torre  
**Seconded by** Chair Morita

**Motion Approved**

7. **CURRENT BUSINESS**

7.1 **PROJECT 2025-1903 DESIGN REVIEW CONSIDERATION FOR A MAJOR FACADE REMODEL AT 8740-8748 LA MESA BOULEVARD, (APNS 494-213-13-00, 494-213-14-00, AND 494213-15-00 IN THE C-D MU (GENERAL COMMERCIAL/URBAN DESIGN OVERLAY/MIXED USE OVERLAY) ZONE**

**Moved by** Chair Morita  
**Seconded by** Board Member de la Torre

Staff recommends that the Design Review Board approves the Certificate of Action to allow for a major façade remodel, subject to City Council ratification.

**Motion Approved**

7.2 **PROJECT 2025-0404 DESIGN REVIEW CONSIDERATION FOR A 114-UNIT MIXED-USE BUILDING ON A VACANT LOT AT THE SW CORNER OF PALM AVE AND ALLISON AVE IN THE CD-D (DOWNTOWN COMMERCIAL/URBAN DESIGN OVERLAY) ZONE, DOWNTOWN VILLAGE SPECIFIC PLAN; (APN 494-402-2**

Added stipulation consult with DRB Langdon regarding the trees.

Confirm the percentage of the metal on the Facade.

**Moved by** Chair Morita  
**Seconded by** Board Member de la Torre

Staff recommends that the Design Review Board approve the Certificate of Action (**Attachment A**).

**Motion Approved**

**8. STAFF AND BOARD MEMBER ANNOUNCEMENTS**

Community Development Director Santos announced Brown Act Training.

**9. ADJOURNMENT**

Chair Morita adjourned meeting at 1:22 p.m.



REPORT to the LA MESA DESIGN REVIEW BOARD

DATE: April 13, 2026

SUBJECT: 2026-0124 (YARWICK TERRY J LIVING TRUST)

DESCRIPTION: DESIGN REVIEW CONSIDERATION FOR A MAJOR REMODEL AND FAÇADE IMPROVEMENTS OF AN EXISTING COMMERCIAL BUILDING LOCATED AT 7995 LA MESA BOULEVARD, IN THE CD-D (DOWNTOWN COMMERCIAL/URBAN DESIGN OVERLAY) ZONE AND DOWNTOWN VILLAGE SPECIFIC PLAN AREA (APN 470-561-17-00).

ISSUING DEPARTMENT: Community Development

SUMMARY:

Issue(s):

Does the proposed design meet the policies and intent of the Urban Design Program and the Downtown Village Specific Plan?

Recommendation:

Staff recommends that the Design Review Board determine that the project meets the goals and guidelines of the Downtown Village Specific Plan and Urban Design Program, and approve the project, subject to City Council ratification. (**Attachment A**).

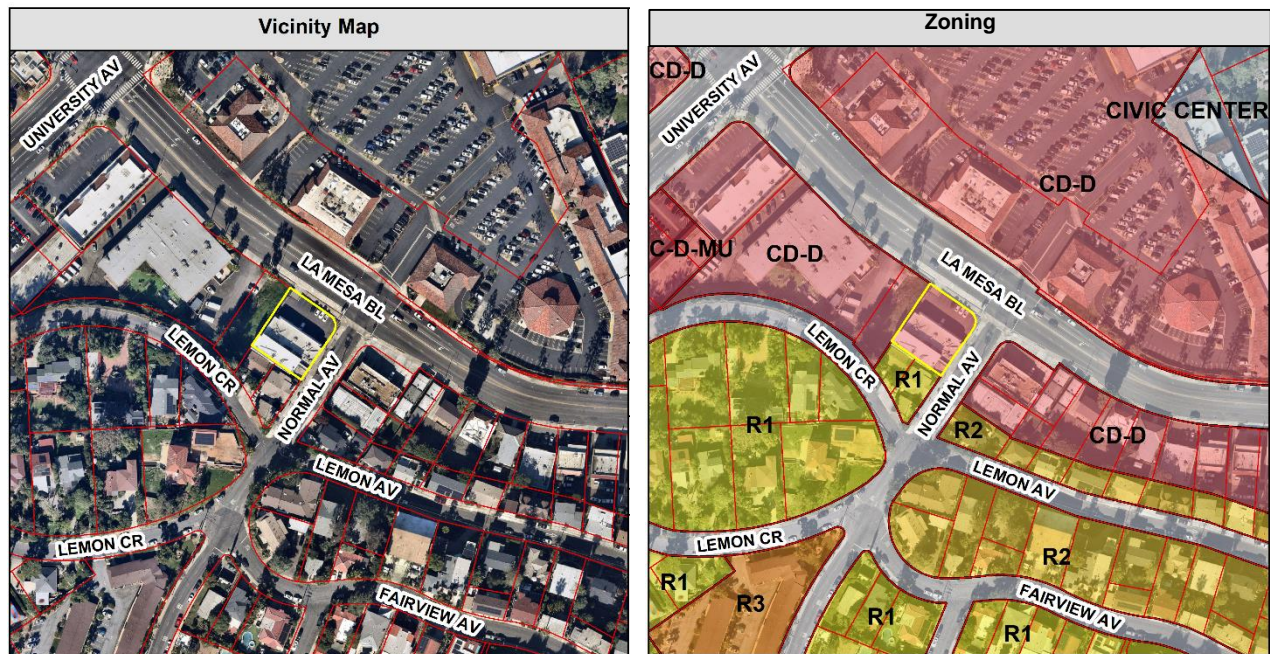
Environmental Review:

The project is exempt from environmental review in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15301, Existing Facilities. Section 15301 exempts minor alteration of existing structures involving negligible or no expansion of the existing use. The project meets all the conditions necessary to qualify for the exemption and none of the exceptions listed in Section 15300.2 apply.

BACKGROUND:

The project is located at 7995 La Mesa Boulevard, at the southwest corner of Normal Avenue and La Mesa Boulevard, as seen on the Vicinity Map. The approximately 0.22-acre project site contains an existing 3,828 square foot commercial building and an adjacent 1,937 square foot, two-unit residential building, for a combined building area of 5,765 square feet. The residential units are not part of the proposed project and will remain unchanged.

The property is located within the CD-D (Downtown Commercial/Urban Design Overlay) zone and is within the Downtown Village Specific Plan (DVSP) area, as seen in the Zoning Map.



The project applicant (Property Owner, Terry Yarwick) is requesting to remodel the existing commercial structure to accommodate a Handel's Ice Cream shop. The project includes a reduction in the building footprint, construction of a new outdoor dining patio with seating for up to 35 patrons, reconfiguration of the parking area to accommodate both customers and employees, and construction of a trash enclosure along the northwest property line. The outdoor dining patio requires approval of a Special Permit by the Planning Commission.

The project site is within one-half mile of the La Mesa Boulevard Trolley Station and, pursuant to AB 2097, parking is not required. However, the applicant has elected to retain and improve on-site parking. Existing site access is provided via driveways from both

Normal Avenue and La Mesa Boulevard, with La Mesa Boulevard access located at the northeast corner of the property. Existing right-of-way improvements include sidewalks, curb and gutter, a traffic signal at the intersection, and a fire hydrant. Site photographs are included as **Attachment B**.

Downtown Commercial zoning is intended to promote customer-oriented business activities which are appropriate to the central business district. Surrounding land uses include an assisted living facility to the northwest, an optometry office to the southeast, residential uses to the south, and the La Mesa Springs Shopping Center to the northeast.

The proposed project is a recipient of the La Mesa Façade and Property Improvement Grant Program, which provides financial assistance to local businesses for exterior and site enhancements. The program is intended to enhance the appearance of commercial properties, and improve overall economic vitality and visual character of the City.

Pursuant to Chapter 24.11 of the La Mesa Municipal Code (LMMC), the project requires review and approval by the Design Review Board (DRB), with ratification by the City Council, for major renovations and remodeling of a property within the Urban Design Overlay (D) Zone and for properties located within the Downtown Village Specific Plan (DVSP) area. The DRB evaluates projects for consistency with the City's DVSP Design Guidelines and Urban Design Program.

#### DISCUSSION:

The proposed project is to remodel an existing commercial structure and parking area to accommodate a 2,616 square foot, walk-up ice cream shop. The project includes demolition of approximately 1,212 square feet of existing building frontage and reconfiguration of the parking area to construct a 523 square foot outdoor dining patio and trash enclosure, while maintaining the ability to provide 12 off-street parking spaces. Proposed interior improvements include new food preparation areas to support the ice cream shop operations and a 644 square foot interior patio area for walk-up ordering during inclement weather.

Façade improvements include construction of a new north-facing building façade featuring walk-up service window and roll-up doors for the interior patio area. Additional architectural enhancements are proposed to unify the site's appearance and include new stucco finishes, decorative brick veneer, and awning in the accent colors for Handel's Ice Cream. Proposed exterior tenant signage will be subject to separate City permit review and approval. Signage is shown on the building elevations for illustrative and contextual purposes. The final design will comply with the Urban Design Guidelines and Downtown Village Specific Plan guidelines regarding signage.

Project plans, including the site plan, floor plans, and elevations are provided as **Attachment C** and project renderings are included as **Attachment D**, with a color and materials board included as **Attachment E**.

## **URBAN DESIGN PROGRAM APPLICABILITY**

The intent of the Urban Design Program is to provide direction and support to the Design Review Board and applicants, to ensure design quality for site design and architectural design. The Urban Design Program establishes design direction related to building form, pedestrian orientation, architectural character, and site organization, particularly in visually sensitive and commercially active areas.

The project site is identified within the Urban Design Program as part of the Downtown Area Special Design District, which is recognized as a sensitive area requiring additional guidelines to address its unique character. Within this district, the Urban Design Program emphasizes elements such as rooftop treatment, front facades, refuse and storage screening, pedestrian elements, exterior appurtenances, lighting, and overall architectural quality. The proposed project addresses these objectives through articulated facades, pedestrian-oriented design elements, screened refuse area, integrated lighting, and rooftop equipment screening, consistent with the intent of the Special Design District.

## **DOWNTOWN VILLAGE SPECIFIC PLAN DESIGN GUIDELINES APPLICABILITY**

While the Urban Design Program provides overarching guidance, the Downtown Village Specific Plan (DVSP) establishes more detailed and specific design standards for properties within the Downtown Area Special Design District to implement the vision for Downtown La Mesa. The DVSP builds upon the Urban Design Program by expanding design guidance related to pedestrian scale, materials and colors, street-edge conditions, parking design, and sub-area character. The following sections discuss how the project meets the DVSP guidelines, as well as the Urban Design Program guidelines.

### **DVSP GOALS**

The DVSP establishes goals across five key areas: land use, circulation, parking, public facilities, and design. The goal is for the five key areas to work together to create downtown spaces that benefit and improve pedestrian experience through a variety of architectural details and styles, provide safe separation of circulation, and support services and businesses that benefit the entire community. The proposed project meets the DVSP goals by introducing a welcoming business to an underutilized corner, improving and modernizing an existing site, diversifying the architectural character of the surrounding area, and providing clear separation of pedestrian and vehicular circulation both on and off site.

### *Architecture*

The DVSP encourages architectural designs that are human-scaled, incorporate detailing at the pedestrian level, and contribute positively to the diverse visual character of the Downtown Village. The proposed remodel of the existing commercial building provides a new north-facing street frontage along La Mesa Boulevard that emphasizes pedestrian interaction. A proposed walk-up service windows and an outdoor dining patio encourage activity at the street edge and shift the site away from an auto-oriented design toward a more pedestrian-focused environment.

### *Benefit to the Community*

The project supports business diversity within the Downtown Village by improving an existing commercial building while introducing a neighborhood-serving business that will encourage community gathering and interaction. Improvements to the building façade and overall site appearance enhance the visual quality of the corridor and contribute to a more vibrant and inviting Downtown environment for residents and visitors.

### *Safe Circulation*

The DVSP emphasizes safe and functional circulation that prioritizes pedestrian comfort and minimizes conflicts with vehicles. Existing sidewalks and driveway access points will remain and be maintained, while minor on-site demolition and reconfiguration of the parking area are proposed to improve site functionality and safety. Vehicular access to the site will be limited to a single entry point from Normal Avenue with an exit only onto La Mesa Boulevard, supporting clear and predictable circulation patterns. A new pedestrian ramp and walkway is proposed from the northeast corner of the property near the intersection of La Mesa Boulevard and Normal Avenue, providing a clear and safe path of travel across the parking lot to the walk-up service windows and outdoor dining patio. Additional pedestrian safety measures to provide added separation between vehicles and pedestrians, include bollards and railings along the low frontage wall on La Mesa Boulevard, adjacent to the pedestrian walkway between the building and parking spaces, and at the edge of the outdoor dining patio adjacent to the driveway entrance and parking. Together, these improvements will enhance circulation and safety in a manner consistent with the goals and design guidelines of the DVSP.

## SUB-AREA GUIDELINES

The Sub-area design guidelines within the DVSP utilize design principles, building form and scale, street-edge conditions, historic buildings and cultural resources, pedestrian emphasis, materials and colors, off-street parking facilities, landscaping, and signage to promote a well-designed and pedestrian-oriented Downtown Village. The proposed design utilizes the existing building and site configuration while introducing targeted improvements to better achieve the intent of the DVSP. Although constrained by existing

site conditions, the project proposes to enhance architectural character, strengthen the pedestrian relationship along the street frontage, and improve overall site functionality in a manner consistent with the applicable Sub-Area design guidelines.

### *Design Principles*

The proposed design is consistent with the DVSP Design Principles through a cohesive architectural approach that improves character, articulation, and compatibility with surrounding development. Architectural interest is achieved through variation in proposed parapet wall heights, new walk-up service windows, and the roll-up door serving the indoor patio, providing appropriate scale, rhythm, and visual variety along the façade. The central parapet along La Mesa Boulevard is approximately 4.5 feet taller than the existing parapet walls to emphasize the front façade and accommodate the primary business signage consisting of individually illuminated letters. Adjacent proposed parapets will remain similar in height to the existing structure, enhancing articulation without significantly increasing the perceived building mass. All parapet walls are integral to the building design and fully screen rooftop equipment, ensuring no exposed roof elements.

The DVSP encourages low-intensity, down-directed light fixtures to maintain pedestrian-oriented spaces. The proposed lighting will consist of down-directed fixtures mounted at mid-building height adjacent to the parking area and trash enclosure, down-directed lighting beneath the proposed awnings at the walk-up service windows and entrances, and goose-neck fixtures over the secondary signage on the front and northwest facades. The varied placement and type of fixtures focus illumination on pedestrian areas to enhance safety and comfort, while minimizing glare and light spill for passing vehicles.

In accordance with the DVSP, the proposed trash enclosure will be located away from building entrances and public streets to minimize visibility and impacts to pedestrian areas. It will be located within a permanent structure at the northwestern edge of the property, which provides separation from the service windows and outdoor dining while remaining accessible to employees. The enclosure matches the primary building with white stucco-finished CMU walls and a blue roof that complements the proposed awnings, which ensures a cohesive design that is compatible with the proposed project character and surrounding development.

### *Building Form and Scale*

The improvements are proposed to enhance building form and scale through proportional elements, reduction of apparent height and bulk, and vertical composition. Varied architectural elements divide the building into smaller, human-scale components while maintaining compatibility with its surroundings. Three sides of the building are viewable from the street. The proposed improvements will reduce the overall width of the building by approximately 12.6 feet, decreasing the length of exposed, blank wall on along Normal

Avenue and the northwest property line. This will reduce the perceived mass and bulk of the structure. The façade is designed into three distinct vertical sections to further break up horizontal massing:

1. The southeast portion, closest to Normal Avenue, features the tempered glass roll-up door opening to the proposed outdoor dining area and indoor patio. Above the door, a flat metal awning will be installed to create a clearly defined pedestrian-scale area. The DVSP encourages limiting metal elements to no more than 10% of any facade. This requirement will be addressed in more detail in the Materials and Colors section below.
2. The central section includes the taller parapet with the primary business signage and an angled metal awning over the walk-up service windows, flanked by brick column details that add vertical emphasis.
3. The northwest portion provides an employee entrance and restroom access with a metal awning to maintain visual balance and continuity across the façade.

### *Street-edge*

The building is positioned along the southeastern property line on Normal Avenue and the northwestern property line adjacent to a vacant lot, with the front façade oriented toward off-street parking along La Mesa Boulevard. As part of the façade and site improvements, the existing retaining wall along Normal Avenue will be modified to step down in height between the new building face and the existing driveway, with a maximum exposed height of 3.5 feet. This stepped design maintains visual connectivity between the sidewalk and the patio area below. The wall will be topped with a railing not to exceed 2 feet height, consistent with the outdoor patio design, to address safety concerns related to the elevation difference between the public right-of-way and the patio. The proposed materials and colors for the wall and railing will be consistent with the primary building design. Additionally, the stepped wall and railing will introduce visual variety and articulation along a previously underwhelming street-edge.

Parking along the La Mesa Boulevard frontage remains directly adjacent to the sidewalk, consistent with existing conditions. While the DVSP encourages landscaped buffers where parking occurs along the street edge, site constraints limit the ability to introduce new landscaping onto the developed site. In lieu of landscaping, the project proposes to update the short retaining wall to be consistent with the building improvements and to add bollards along the frontage, to provide visual separation, and a more defined and safer pedestrian environment.

### *Pedestrian Emphasis*

Pedestrian-oriented design is a key objective of the DVSP. The proposed renovations enhance the pedestrian experience through active building frontages, transparency, and inviting gathering spaces. As described above, the project proposes an active frontage

and indoor-outdoor design elements that work together to create an engaging, pedestrian-community focused environment. Awnings and patio umbrellas provide weather protection and encourage year-round use. Additionally, the outdoor patio is designed to be a visible and active space that contributes to a lively streetscape, consistent with the DVSP guidelines.

### *Materials and Colors*

The DVSP encourages natural materials such as brick, stucco, textured masonry, and formed concrete, with light or medium-toned primary building colors and accent colors and metal elements limited to no more than 10 percent of any exterior elevation, to maintain the cohesive and attractive Village environment. The proposed project is consistent with these standards through the use of white stucco as the primary building and walls material, with reddish brick accents along the lower portion of the building and accent columns. Metal awnings are incorporated as accent elements and account approximately 141 square feet of the 1,745 square foot front facade, representing approximately 8 percent of the front elevation which is in alignment with the DVSP guidelines. Accent colors are limited to the awnings, wrought-iron railings, and bollards. The awnings will feature red, blue, and white striping, while the bollards, railings, awning tops, and trash enclosure will be blue, consistent with Handel's Ice Cream national branding. These accent colors are applied sparingly and do not exceed 10 percent of any exterior elevation. Overall, the proposed materials and color palette maintain a light color with limited accents that are compatible with surrounding development within the Downtown Village.

### *Off-Street Parking Facilities*

The DVSP includes design guidance for surface parking areas, encouraging landscaping and tree planting to minimize visual impacts and support a pedestrian-oriented environment. The project is less than half a mile from the La Mesa Boulevard Trolley Station, so no parking minimums are required in accordance with AB 2097. Although parking is not required, the applicant has elected to retain and improve on-site parking consistent with the existing condition. The project proposes a minor reconfiguration of the existing on-site parking to improve site functionality while maintaining as much parking as feasible given site constraints. As discussed in previous sections, the street-edge improvements are proposed to enhance visual and pedestrian experience where parking occurs adjacent to the public right-of-way.

## UNIVERSITY AVENUE AND LA MESA BOULEVARD SUB-AREA GUIDELINES

The project site is located within the University Avenue and La Mesa Boulevard (Between Acacia Avenue and Nebo Drive) Sub-Area, which encourages re-organizing parking and adding landscaping to create a pedestrian-oriented environment and improve the

transition into the Village through guidelines related to parking design, street edges, landscaping, and building height.

While the site is constrained by existing development, the project is designed to achieve these objectives where feasible. Improvements include enhanced building facades, a street-visible patio space, a clearly defined pedestrian path from the public right-of-way, and weather protection elements. Street-edge conditions are enhanced through retaining wall improvements, railings, and bollards that visually buffer parking areas and reinforce a pedestrian space.

The building remains one story in height, with varied parapet heights used to reduce apparent massing. Collectively, all of the proposed improvements support the Sub-Area's goals of creating a pedestrian atmosphere and transitioning to the Village.

CONCLUSION:

The project as proposed meets the Design Guidelines of the Urban Design Program and the Downtown Village Specific Plan Guidelines. Therefore, staff recommends that the Design Review Board approve the Certificate of Action for Project 2026-0124, subject to City Council ratification.

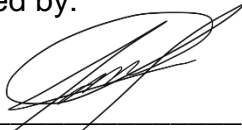
Respectfully submitted by:



---

Julia Hill  
Project Planner

Reviewed by:



---

Jared Chavez  
Assistant Director of Community Development



---

Lynnette Santos  
Director of Community Development  
Attachments:

- A. Draft Certificate of Action
- B. Site Photographs
- C. Project Plans
- D. Project Renderings
- E. Color and Materials Board



## **CERTIFICATION OF DESIGN REVIEW BOARD ACTION**

**FILE:** Project 2026-0124 (Terry J Yarwick Living Trust)

**MEETING DATE:** April 13, 2026

**SUBJECT:** DESIGN REVIEW CONSIDERATION FOR A REMODEL AND FAÇADE IMPROVEMENTS OF AN EXISTING COMMERCIAL BUILDING LOCATED AT 7995 LA MESA BOULEVARD, IN THE CD-D (DOWNTOWN COMMERCIAL/URBAN DESIGN OVERLAY) ZONE AND DOWNTOWN VILLAGE SPECIFIC PLAN AREA (APN 470-561-17-00).

**DETERMINATION:** After reviewing the proposal, the Board made a motion to recommend approval of Project 2026-0124 based on plans stamped received by the City on April 8, 2026, and a materials board stamped received on January 29, 2026, and a finding that the project is consistent with the City's Urban Design Program and Downtown Village Specific Plan.

The vote on the motion was as follows:

Aye:  
Nay:  
Absent:

**ATTEST:**

Lynnette Santos  
Director of Community Development



**Exhibit A**

Project 2026-0124  
Conditions of Approval

1. The project is conditionally approved as set forth on the application and project drawings received electronically by the City on April 7, 2026, consisting of sixteen (16) sheets total, including Sheet A001 – Title Sheet / Project Statistics, Sheet A006 – Door Schedule, Sheet A007 – Window Schedule, Sheet C001 – Site Survey, Sheet A100 – Demolition Site Plan, Sheet A101 – Full Site Plan, Sheet A201 – Demolition / As-Built Floor Plan, Sheet A301 – Egress / Exiting Floor Plan, Sheet A401 – Floor Plan Dimensions, Sheet A405 – Floor Plan Call-Outs, Sheet A410 – Reflected Ceiling, Sheet A415 – Roof Plan, Sheet A601 – Interior Elevations, Sheet A701 – Building Sections, Sheet A801 – Building Exterior Elevations, and Sheet D110 – Trash Enclosure Layout.
2. This approval shall not waive compliance with any section of the La Mesa Municipal Code and all other applicable City regulations in effect at the time of Building Permit issuance unless specifically waived herein.
3. Prior to any use or issuance of final occupancy of the project site pursuant to this approval, all conditions of approval contained herein shall be completed or secured to the satisfaction of the Community Development Department.
4. The applicant is responsible for coordinating civil, landscape, and architectural plans and supplemental materials at building permit submittal to ensure that all project plans and materials are internally consistent and consistent with each other. Inconsistent construction documents will not be accepted.
5. The Owner shall waive any claims of liability against the City and indemnify, hold harmless and defend the City and City's employees regarding any component of the City's approval, and shall execute an indemnity agreement in substantially the form as provided by the Community Development Department prior to building permit issuance, initiating use in reliance of this permit, and the Community Development Director is hereby authorized to execute the same.

**A. THE FOLLOWING CONDITIONS SHALL BE SATISFIED AT BUILDING SUBMITTAL:**

1. Plans must be complete and stamped by licensed professionals.
2. All permits (encroachment or other) for this project shall be submitted and issued concurrently.
3. The project must comply with the City's Construction and Demolition Ordinance regulating recycling of construction materials.
4. This project shall comply with the California Building (including all accessibility regulations in Chapter 11B), Mechanical, Electrical, Plumbing, Green and Energy codes



in effect at the time of Building permit plancheck submittal.

**B. THE FOLLOWING RIGHT-OF-WAY RELATED CONDITIONS MUST BE SATISFIED PRIOR TO BUILDING PERMIT ISSUANCE:**

1. In consideration of proposed improvements in the right-of-way, the applicant shall obtain an Encroachment Permit prior to beginning any proposed work within the City right-of-way.
  - a. Design and construction of all public improvements in the right-of-way shall be in accordance with the City of La Mesa standards and specifications.
  - b. Please note that a traffic control plan will be required as part of the encroachment permit application.

**C. THE FOLLOWING CONDITIONS MUST BE SATISFIED PRIOR TO THE CLOSING OF THE BUILDING PERMIT:**

1. The applicant shall remove and replace the existing curb and sidewalk if it is found to be unsafe, cracked, broken, or displaced, or was damaged during construction operations. The city Inspector will identify the limits of removal and replacement.

**D. THE FOLLOWING CONDITIONS MUST BE SATISFIED DURING CONSTRUCTION OPERATIONS:**

1. The proposed removal of the existing store front canopy includes the removal of the existing wooden posts and concrete bases. During said removal of concrete bases, the sidewalk concrete panels affected by the removal of bases, must be replaced from joint to joint.
2. During the construction of proposed overhang posts and base anchors, complete sidewalk panels shall be removed and replaced (from joint to joint).

**E. THE FOLLOWING CONDITIONS SHALL BE SATISFIED PRIOR TO OCCUPANCY:**

1. The applicant shall obtain final approvals from all departments for all issued permits: Building, Fire, Planning, Engineering.

**F. THE FOLLOWING CONDITIONS MUST BE SATISFIED PRIOR TO THE ACCEPTANCE OF IMPROVEMENTS AND FILING OF THE NOTICE OF COMPLETION:**

1. Landscaping for trees, shrubs, walls, fences, cut/fill slopes or other structures at or near driveway and street intersections shall conform to the intersectional sight distance criteria as provided by the California Department of Transportation (CalTrans) Highway Design Manual. Any obstructions which exceed a height of thirty-six (36) inches shall not be permitted within a distance of five (5) feet from the property line at the street.
2. Street name signs, street lighting, and traffic control devices shall be built to City



standards and as required and approved by the City Engineer and the Traffic Engineer. The applicant shall pay all applicable fees, energy charges, and/or assessments and shall privately maintain said lights.

- 3. Off-site improvements within the public right of way beyond the parcel boundary may be required to be installed as determined by the City Engineer to provide proper transition to the street and sidewalk.

**Agreement of acceptance**

I accept all the requirements for the project indicated above. I am aware that permits might not be granted if the requirements are not fulfilled. I, the applicant, or my lawfully authorized agent, acknowledge and agree to all the above-mentioned requirements imposed by the City of La Mesa.

\_\_\_\_\_  
Business owner/ owner's Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant's name and title

\_\_\_\_\_  
Date



Existing Northeast Façade facing southwest



Existing Northeast Façade facing west



Existing Northeast Façade facing south



Existing sidewalk frontage along La Mesa Boulevard



HANDEL'S ICE CREAM LA MESA 2,616 S.F. TENANT IMPROVEMENT DESIGN REVIEW BOARD 7995 LA MESA BLVD, LA MESA, CA 91942

ABBREVIATIONS table listing various construction terms and their corresponding abbreviations.

FIRE NOTES section containing fire extinguisher, emergency lighting, exit signs, door operations, locks and latches, and state requirements.

BUILDING DEPT NOTES section detailing pedestrian traffic protection, special inspections, and structural notes.

STATE REQUIREMENTS section detailing contractor obligations, work standards, and safety protocols.

MECHANICAL & PLUMBING NOTES section detailing plumbing code compliance, equipment requirements, and material standards.

GENERAL NOTES section detailing building permit requirements, construction standards, and safety protocols.

PLUMBING FIXTURE ANALYSIS section detailing occupant load calculations and fixture requirements.

CITY OF LA MESA AGENCY APPROVALS table with checkboxes for various city departments.

PROJECT INFORMATION table containing project name, address, owner, and other key details.

ICC REPORT NUMBERS table listing applicable building codes and standards.

DEFERRED SUBMITTALS table listing items to be submitted later in the project.

PROJECT INFORMATION table (continued) with detailed site and building information.

APPLICABLE CODES table listing various building codes and standards.

DEFERRED SUBMITTALS table (continued) with detailed list of items.

DEFERRED SUBMITTALS table (continued) with detailed list of items.

SHEET INDEX table listing sheet numbers and descriptions.

ARCHITECTURAL table listing architectural sheet numbers and descriptions.

ARCHITECTURAL table (continued) with detailed architectural sheet information.

ARCHITECTURAL table (continued) with detailed architectural sheet information.

GENERAL DRAFTING SYMBOL LEGEND table listing various drafting symbols and their meanings.

2022 CAL GREEN BUILDING STANDARDS CODE table listing green building requirements.

STRUCTURAL NOTES section detailing structural code compliance and requirements.

PLUMBING FIXTURE ANALYSIS table (continued) with detailed fixture analysis.

STRUCTURAL NOTES section (continued) with detailed structural information.

DEFERRED SUBMITTALS table (continued) with detailed list of items.

DEFERRED SUBMITTALS table (continued) with detailed list of items.

DEFERRED SUBMITTALS table (continued) with detailed list of items.

SAFEGUARDS DURING CONSTRUCTION NOTES section detailing safety requirements.

REVISIONS table listing project changes and their dates.

AGENCY STAMP and DRAWN BY information section.

Vertical project information including project title, address, and sheet identification (TITLE SHEET PROJECT STAT'S A001).



DATE SIGNED 03/28/2026  
THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. NO PART OF THIS DESIGN OR DRAWING SHALL BE REPRODUCED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

OWNER / TENANT  
ALTY, INC  
DBA: HANDEL'S ICE CREAM  
TERRY YARWICK  
1748 GRANITE HILLS DR  
EL CAJON, CA 92019



PROJECT TITLE  
PROJECT ADDRESS  
7995 LA MESA BLVD  
LA MESA, CA 91942

NO.	DATE	DESCRIPTION
09/22/25		PC1 - SUBMITTAL SET
03/28/26		PC2 - DRB REVIEW CORR.

AGENCY STAMP

DRAWN BY: FRANK WRIGHT

CHECKED BY:

PRINTED ON: 03/28/2026

PERMIT NO:

TITLE

DOOR SCHEDULE

SHEET #

A006

NO. OF

DOOR & FRAME SCHEDULE																
NO.	QNTY	SIZE	MANUFACTURER	MANUFACTURER	LOCATION	TYPE	MAT.	FRAME				HARDWARE	LOCK SET	NOTES / FIRE RATING		
								CORE	FINISH	GLAZING	MAT.				FINISH	
FIRST FLOOR																
D01	1	36" x 84" x 1-3/4"		SOLID CORE EXTERIOR	EMPLOYEE ENTRANCE		METAL	SC	PT	NONE	METAL	PT	CL, NRP, WS, LA, KLM, TH			
D02	1	36" x 84" x 3"		TEMPERED GLASS ENTRANCE DOOR	MAIN ENTRANCE		ALUM	ALUM	ANODIZED	TEMPERED	ANODIZED	ANODIZED	CL, NRP, WS, LA, KLM, TH		TEMPERED GLASS	
D03	1	36" x 84" x 1-3/4"		HM DOORS	RESTROOM		METAL	SC	PT	NONE	METAL	PT	CL, LA, KP, LPRS			
D04	1	36" x 80" x 1-3/4"		HM DOORS	RESTROOM		HM	HC	PT	NONE	HM	PT	CL, LA, KP, LPRS			
D05	1	36" x 84" x 1-3/4"		HM DOORS	OFFICE		HM	HC	PT	NONE	HM	PT	CL, LA, KLM, KP,			
D06	1	36" x 80" x 1"		ELIASON DUAL SWING KITCHEN	ELIASON DUAL SWING		SS	SS	SS	TEMPERED	SS	PT	CL, KP, VP		TEMPERED GLASS VISION PANEL	
D07	1	36" x 84" x 3"		TEMPERED GLASS DOOR	SERVING / CUSTOMER AREA		ALUM	ALUM	ANODIZED	TEMPERED	ANODIZED	ANODIZED	CL, WS, LA, KLM, PH		TEMPERED GLASS	
D08	1	48" x 84" x 1-3/4"		HM DOORS LOUVERED	WATER HEATER CLOSET		HM	HC	PT	NONE	HM	PT	CL, KLM, LA, KP			
D09	1	14'-0" x 9'-0" x 4"		OVERHEAD GLASS GARAGE DOOR	CUSTOMER AREA		ALUM	ALUM	ANODIZED	TEMPERED	ANODIZED	ANODIZED			TEMPERED GLASS	
D10	1	36" x 80" x 1-3/4"		WALK-IN - COOLER MANUFACTURER	WALK IN COOLER		GALV.	INSULATED	GALV.	NONE	GALV.	GALV.				

DOOR HARDWARE LEGEND									
AL	ALUMINUM	HM	HOLLOW METAL	PRE	PRE-FINISHED	W	WOOD		
BB	BALL BEARING BOLTS	IN	INSULATED	PT	PAINT	WS	WEATHERSTRIPPING		
C	CHAIN	LPRS	LEVER PRIVACY SET	SC	SOLID CORE	KLM	KEY LOCKING MECHANISM		
CL	CLOSER - NORTON LIGHT DUTY REGULAR - MODEL # H-119705L - INTERIOR - NORTON HEAVY DUTY HOLD OPEN - MODEL #H-119795L - EXTERIOR	LS	LOCK SET	ST	STAIN	PP	PUSH PULL HARDWARE		
DB	DEAD BOLT	NRP	NON REMOVABLE PIN	ST	STOP	KP	KICK PLATE		
GL	GLAZING - TEMPERED GLASS - BY MANUFACTURE OR INSTALLED	PB	PANIC BAR	TH	ALUMINUM THRESHOLD	LA	KICK PLATE		

LOCK SET / HARDWARE SET									
NUMBER	QNTY	MANUFACTURER	MODEL NO.	LOCATION	FINISH	INSTALL HEIGHT	EGRESS COMPLIANT PANIC HARDWARE		
L01	1	SCHALGE	ANSI 551PD F81 ENTRANCE LOCK	ENTRANCE DOOR	613 - BRUSHED ALUMINUM	33" - 43"	NO		- UNLOCKED BY KEY FROM OUTSIDE WHEN OUTER LEVER IS LOCKED - INSIDE LEVER ALWAYS UNLOCKED.
L02	1	SCHALGE	ANSI 540D F76 ENTRANCE LOCK	BATHROOM PRIVACY LOCK	625 - BRUSHED ALUMINUM	33" - 43"	NO		- PUSH BUTTON LOCKING / OBTAINABLE FROM OUTSIDE WITH SMALL NARROW TOOL. - TURNING THE INSIDE LEVER RELEASES BUTTON.
L03	1	ELIASON	ELIASON	NO LOCK SET - ONLY SPRING LOADED CLOSING HINGES (DUAL SWING)	STAINLESS STEEL	PUSH PLATE @33" - 43"			SELF CLOSING DUAL SWING KITCHEN DOOR. NO LOCK HARDWARE

**EMERGENCY LIGHTING NOTES**

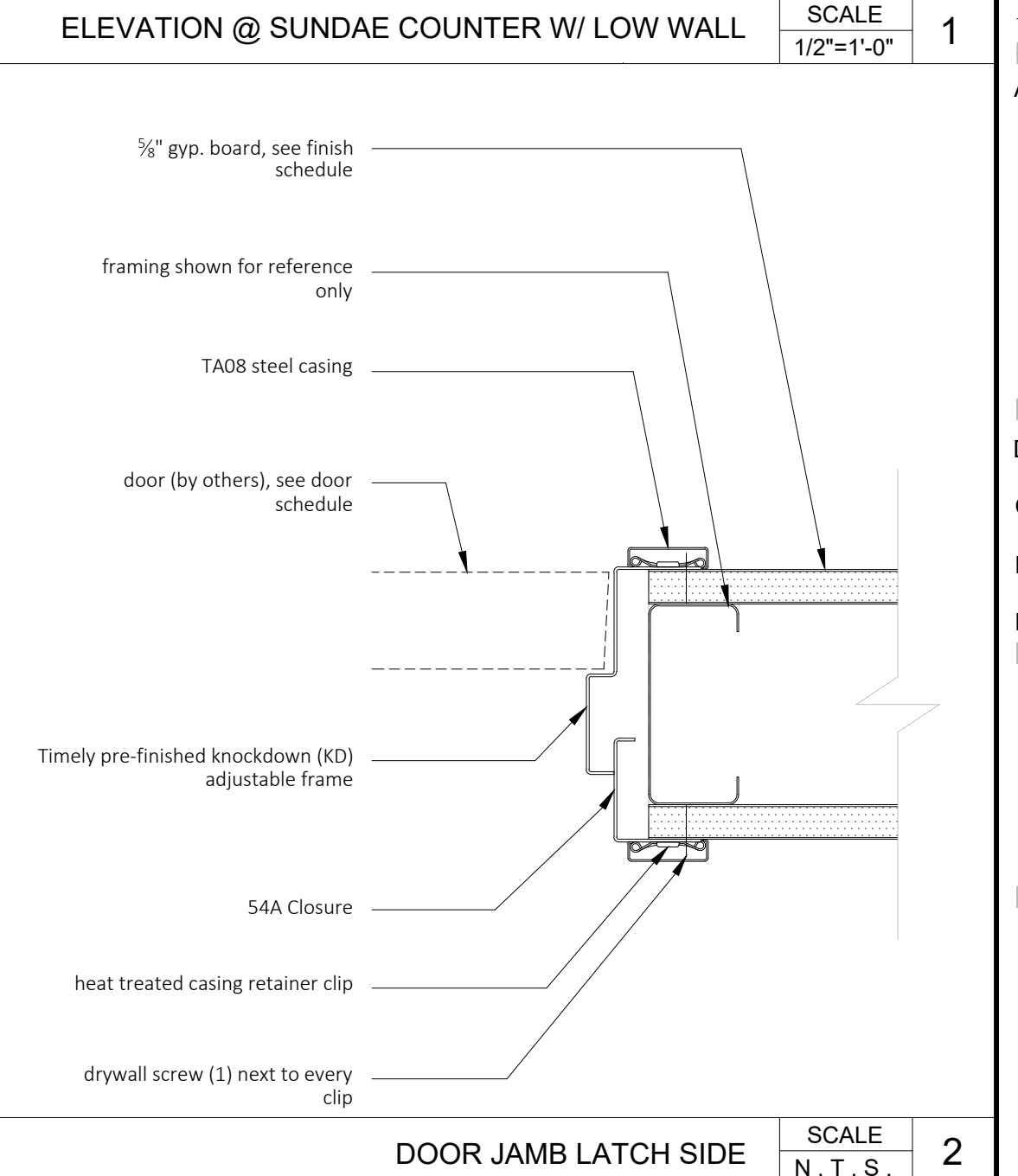
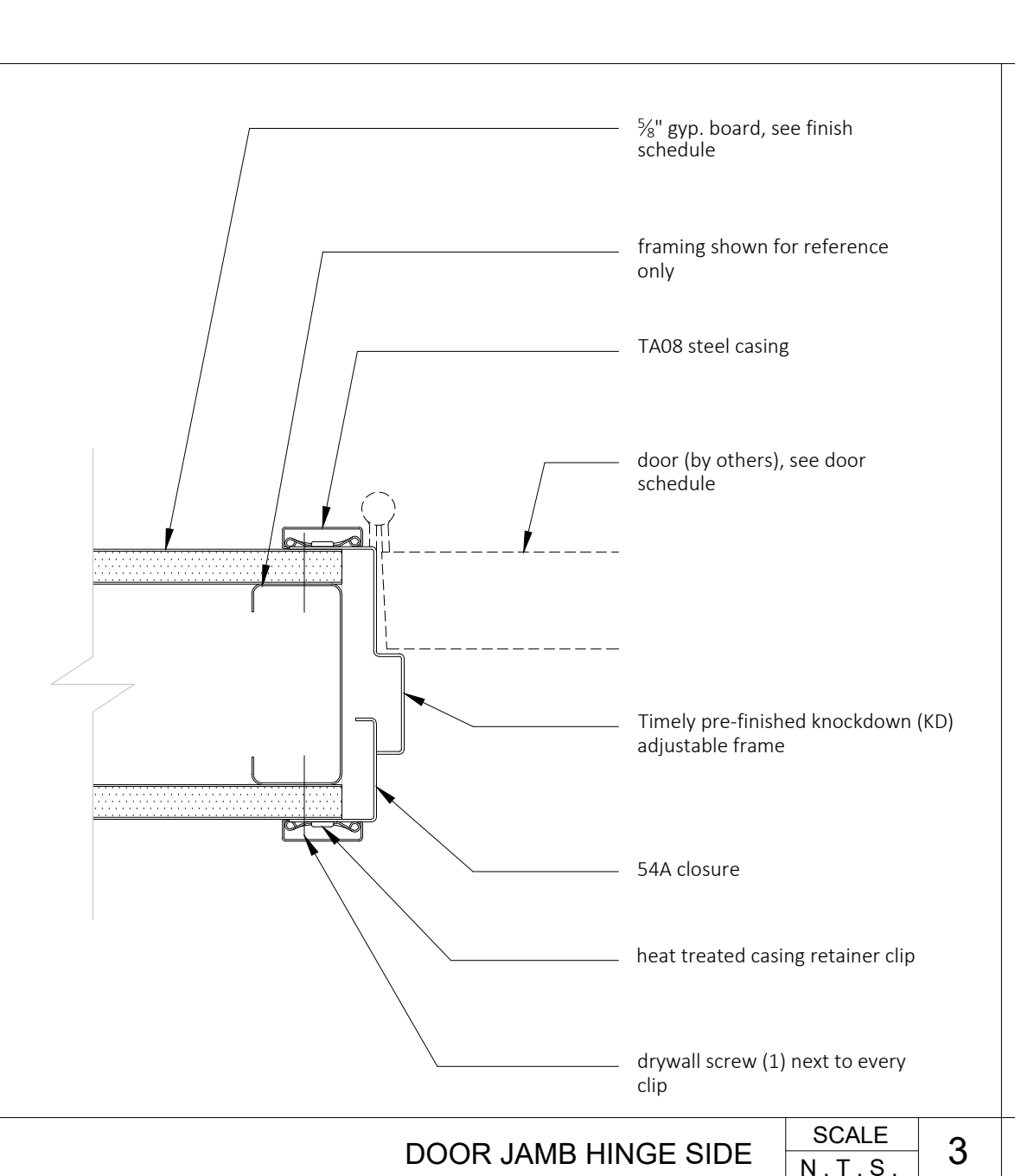
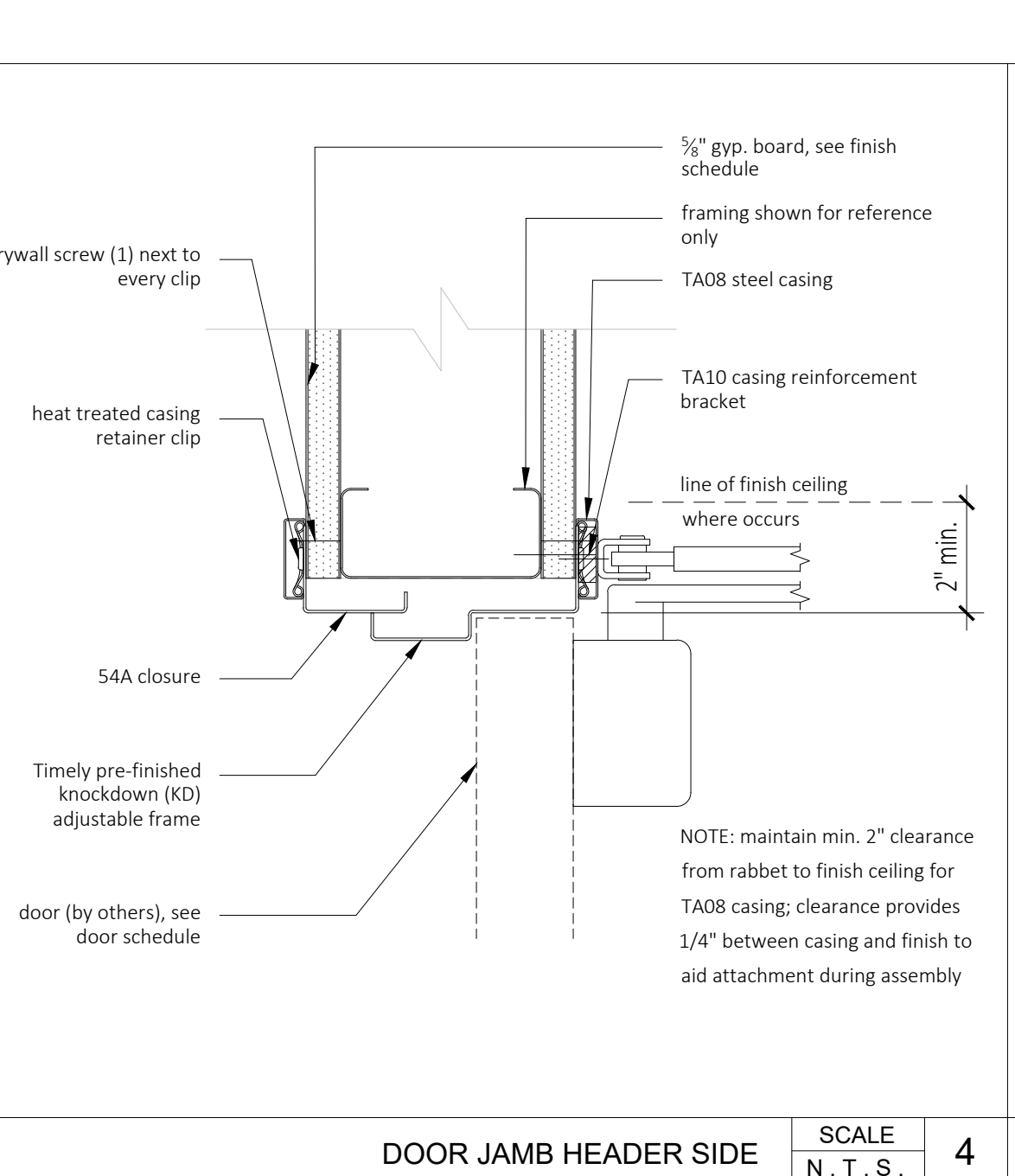
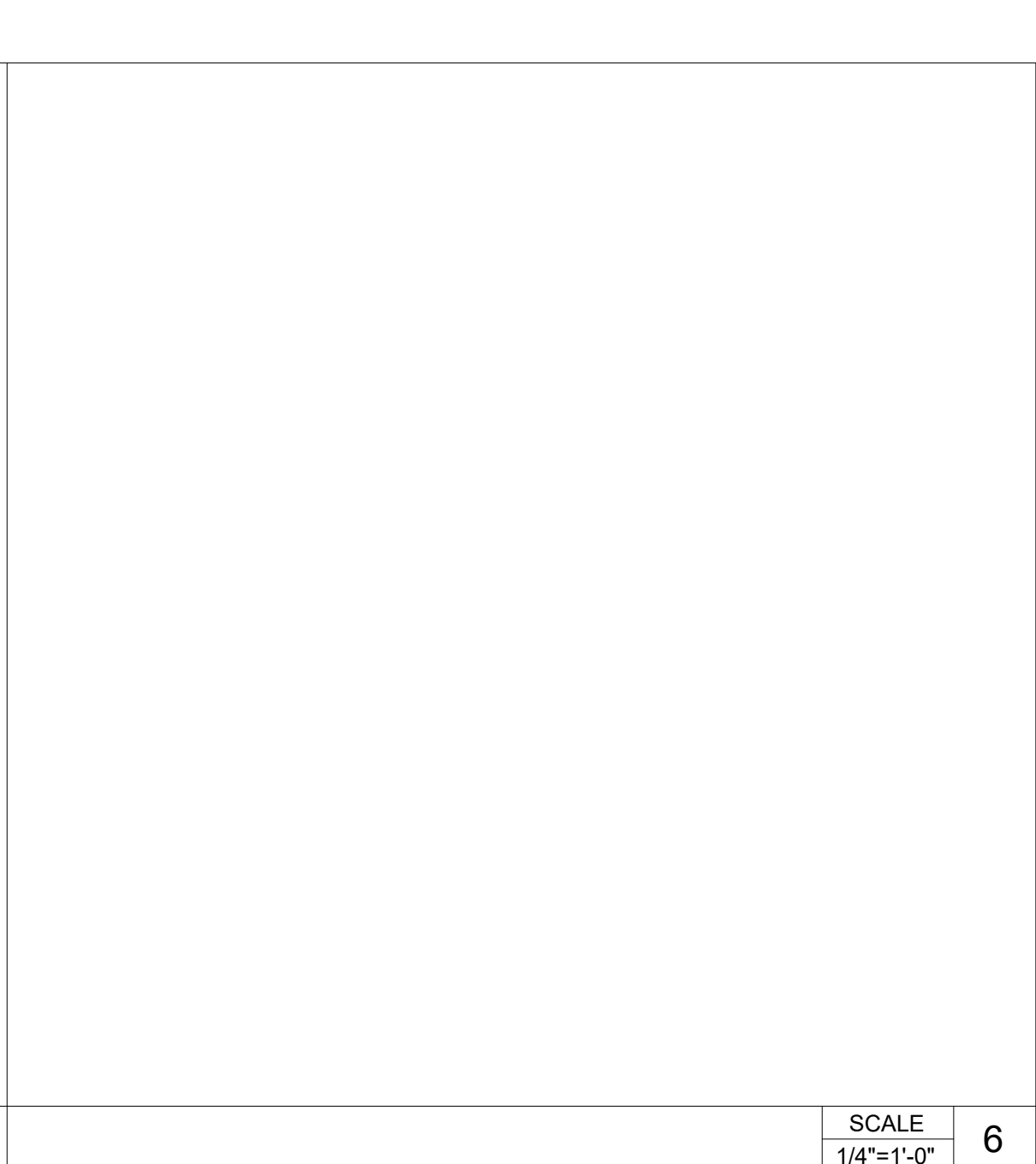
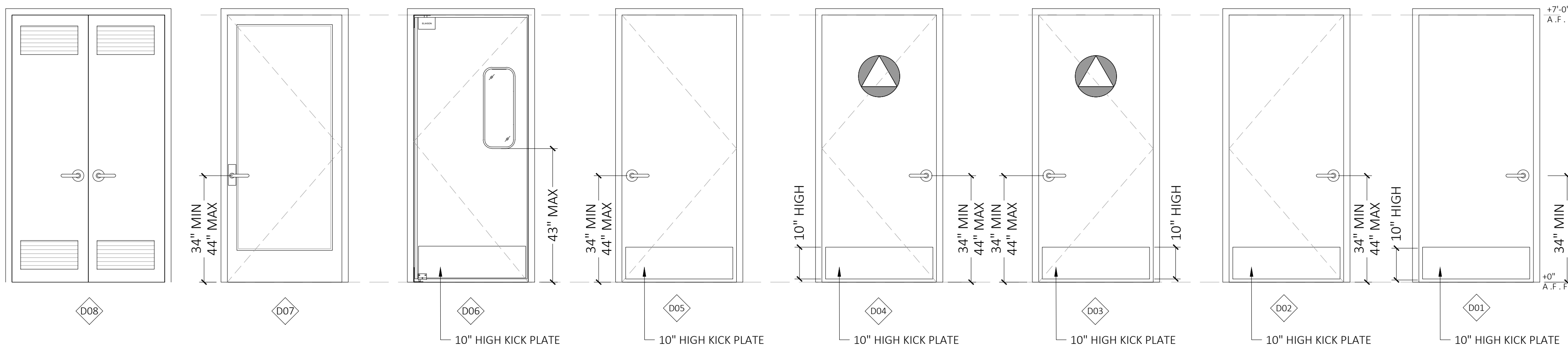
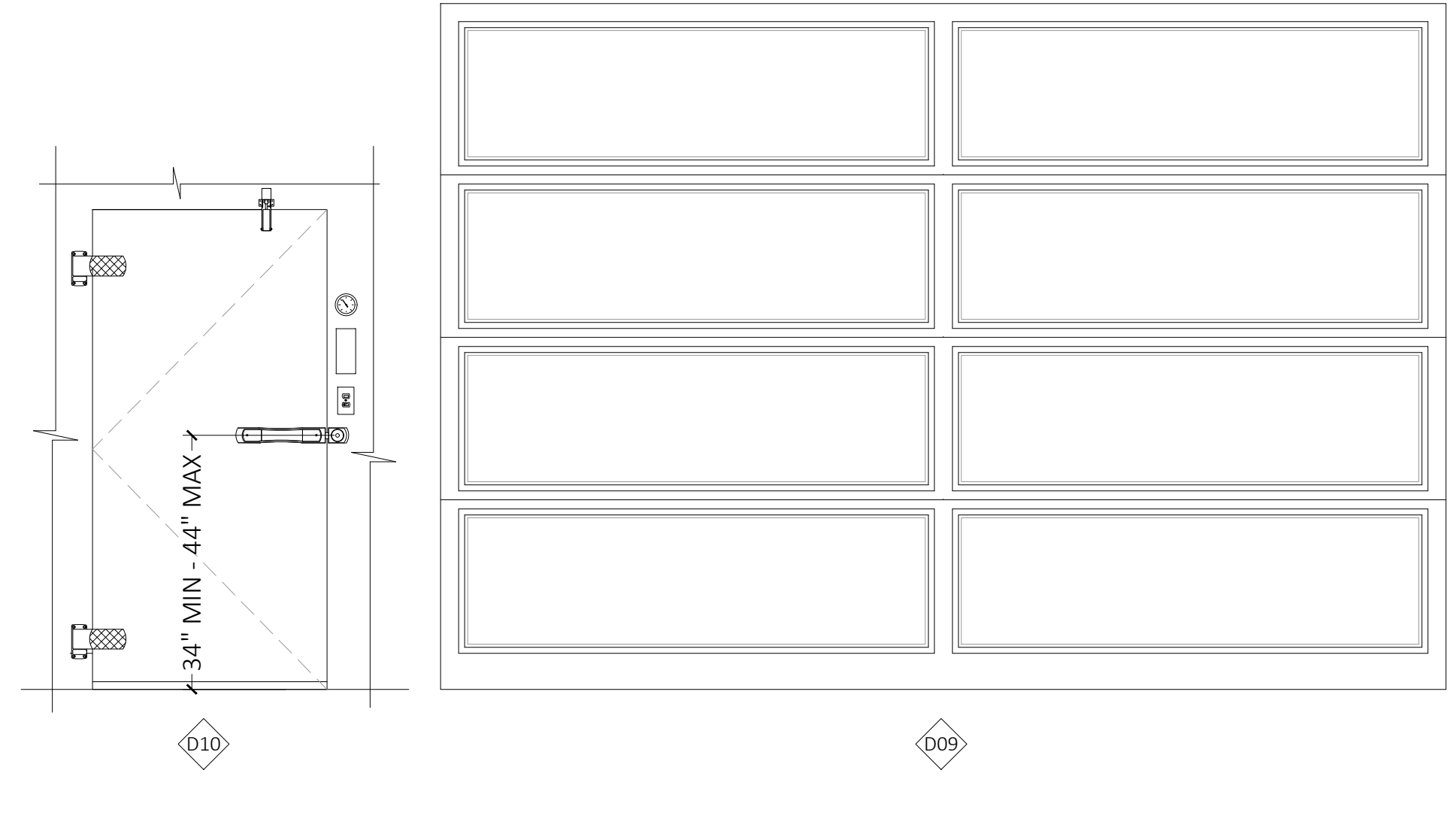
- 1008.2 ILLUMINATION REQUIRED  
THE MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED.
- 1008.3.4 DURATION  
THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702.
- 1008.3.5 ILLUMINATION LEVEL UNDER EMERGENCY POWER  
EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOTCANDLE (1 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOTCANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOTCANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOTCANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. IN GROUP 1-2 OCCUPANCIES, FAILURE OF A SINGLE LAMP IN A LUMINAIRE SHALL NOT REDUCE THE ILLUMINATION LEVEL TO LESS THAN 0.2 FOOTCANDLE (2.2 LUX).
- 1013.1 WHERE REQUIRED  
EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE MARKED BY EXIT SIGNS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT ANY POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS WITHIN 100 FEET (30 480 MM) OR THE LISTED VIEWING DISTANCE OF THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.  
EXTERIOR LIGHTING CIRCUITRY REQUIRED TO OPERATE DURING DARKNESS SHALL NOT BE CONNECTED TO A SWITCH. THE OPERATION SHALL BE AUTOMATIC AT SUNDOWN.
- THE MEANS OF EGRESS TRAVEL, INCLUDING THE EXIT DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE. LIGHTS SHALL BE EQUIPPED WITH VANDAL PROTECTION.

**DOOR NOTES**

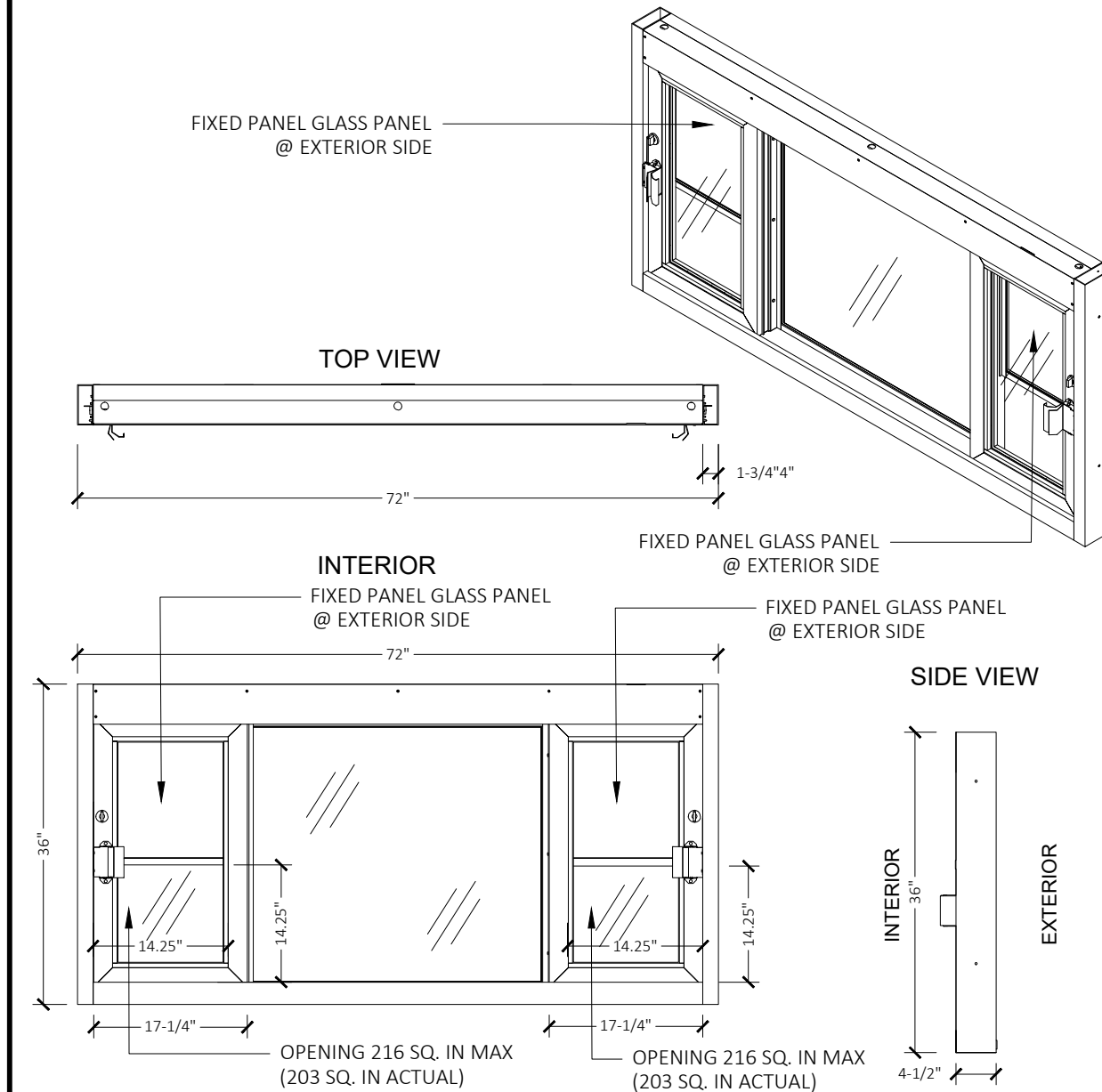
- DOORS - EACH LEAF OF DOORS IN A MEANS OF EGRESS SHALL PROVIDE MIN 32" CLEAR OPENING AND A MIN HEIGHT OF 6'-8". BUT IN NO CASE SHALL ANY SWINGING DOOR LEAF SHALL EXCEED 48" (CFR 1010.1.1)
- SPARE
- WHERE ACCESS TO OR WITHIN A STRUCTURE OR AREA IS RESTRICTED, A KEY KNOB BOX SHALL BE INSTALLED IN AN APPROVED LOCATION(S). FOR EXISTING KEY BOXES UPDATED KEYS SHALL BE PROVIDED. (MULTI-TENANT BUILDING) (CFR 506.1)
- IDENTIFICATION - WHEN REQUIRED, KEYS SHALL BE CLEARLY TAGGED AS TO THE AREA AND/OR LOCATION THEY SERVE AND A MIN. OF 3 SEPARATE SETS SHALL BE LOCATED WITHIN THE KEY BOX.
- TWO THUMB LOCKS ARE PERMITTED
- MAIN ENTRANCE DOOR IS THE ONLY DOOR WITH THE "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" SIGN, AND DOUBLE KEYED LOCKING SYSTEM. ALL OTHER REQUIRED EXITS SHALL HAVE VALID EXIT DOOR HARDWARE.
- SELF-RELEASING DOOR HARDWARE WITH INTERCONNECTED SINGLE LOCKING HARDWARE, SINGLE DEADBOLT PROTECTION WITH SINGLE MOTION EXITING (CO-ACTIVATION) WHEN THE LEVER IS TURNED. THE DEADBOLT RETRACTS WHEN THE INTERIOR LEVER IS TURNED.
- SELF-RELEASING DOOR HARDWARE: THE OUTSIDE LEVER IS LOCKED AND UNLOCKED BY A KEY FROM THE EXTERIOR. THE INSIDE LEVER IS ALWAYS UNLOCKED AND PROVIDES A SINGLE MOTION EXITING WHEN THE INTERIOR LEVER IS TURNED.
- OTHER THAN THE MAIN ENTRANCE, REQUIRED EXIT DOORS AND DOOR SCHEDULES SHALL MATCH EITHER NUMBER 1 OR 2. IF ONLY ONE EXIT IS REQUIRED AND THEY HAVE A 2ND DOOR, MAKE SURE THE HARDWARE IS CORRECT. IN OTHER WORDS, THE SECOND DOOR SHOULD NOT HAVE AN EXIT SIGN ABOVE AND DOUBLE KEYED LOCKING HARDWARE. IF ONLY ONE EXIT IS REQUIRED AND THEY ARE CALLING OUT TWO EXITS PROVIDED. THE MAIN ENTRANCE SHALL HAVE THE SIGN AND DOUBLE KEYED LOCKING SYSTEM. THE SECOND DOOR WITH AN EXIT SIGN SHALL BE PROVIDED WITH HARDWARE TYPE 1 OR 2
- DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON DOORS ARE REQUIRED TO BE ACCESSIBLE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

**NOTES:**

- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, U-SHAPED HANDLES, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH 118-309.4 OPERATION. OPERABLE PARTS OF SUCH HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES MIN. AND 44 INCHES MAX ABOVE FLOOR. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, THE OPERABLE PARTS SHALL BE EXPOSED AND OPERABLE FROM BOTH SIDES. PER (118-404.2.7)
- THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGES IN LEVEL BETWEEN 1/4" & 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL IN 2 UNITS HORIZONTAL.
- SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISHED FLOOR MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOISTS IN THESE SURFACES SHALL BE WITHIN 3/8" OF THE SAME PLAN AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. (118-404.2.10)
- THE MAX FORCE REQUIRED TO PUSH OR PULL OPEN A DOOR SHALL COMPLY WY THE FOLLOWING. PUSH OR PULL FORCE FOR A HINGED DOOR SHALL BE MEASURED PARALLEL TO THE DOOR AT THE DOOR PULL OR LATCH
- OTHER THAN REQUIRED FIRE DOORS, INTERIOR DOORS SHALL HAVE A MAX. OPENING FORCE OF 5LBS
- DOORS MUST HAVE A MIN OF 32IN CLEAR WIDTH



SCDS NEW MODEL



**PLEASE SELECT:**

**1. FRAMING:**  
 Aluminum  
 Bronze Anodized  
 Clear Anodized  
 Other:

**2. FRAME COLOR:**  
 Bronze Anodized  
 Clear Anodized  
 Other:

**3. GLAZING:**  
 1/4" Tempered  
 3/4" Poly-L1  
 1-1/4" Poly-L3  
 Storm Impact  
 Other:

1" Insulated  
 1" Insulated + Low-E  
 1-1/4" Acrylic-L1  
 1-1/4" Acrylic-L3  
 Other:

**Key Notes**

Unit:  
 SCDS NEW MODEL

Actual Dimension:  
 72"W x 36"H

Rough Opening:  
 72-3/8"W x 36-3/8"H

Service Opening:  
 14-1/2"W x 14-1/2"H

**Engineer Notes**

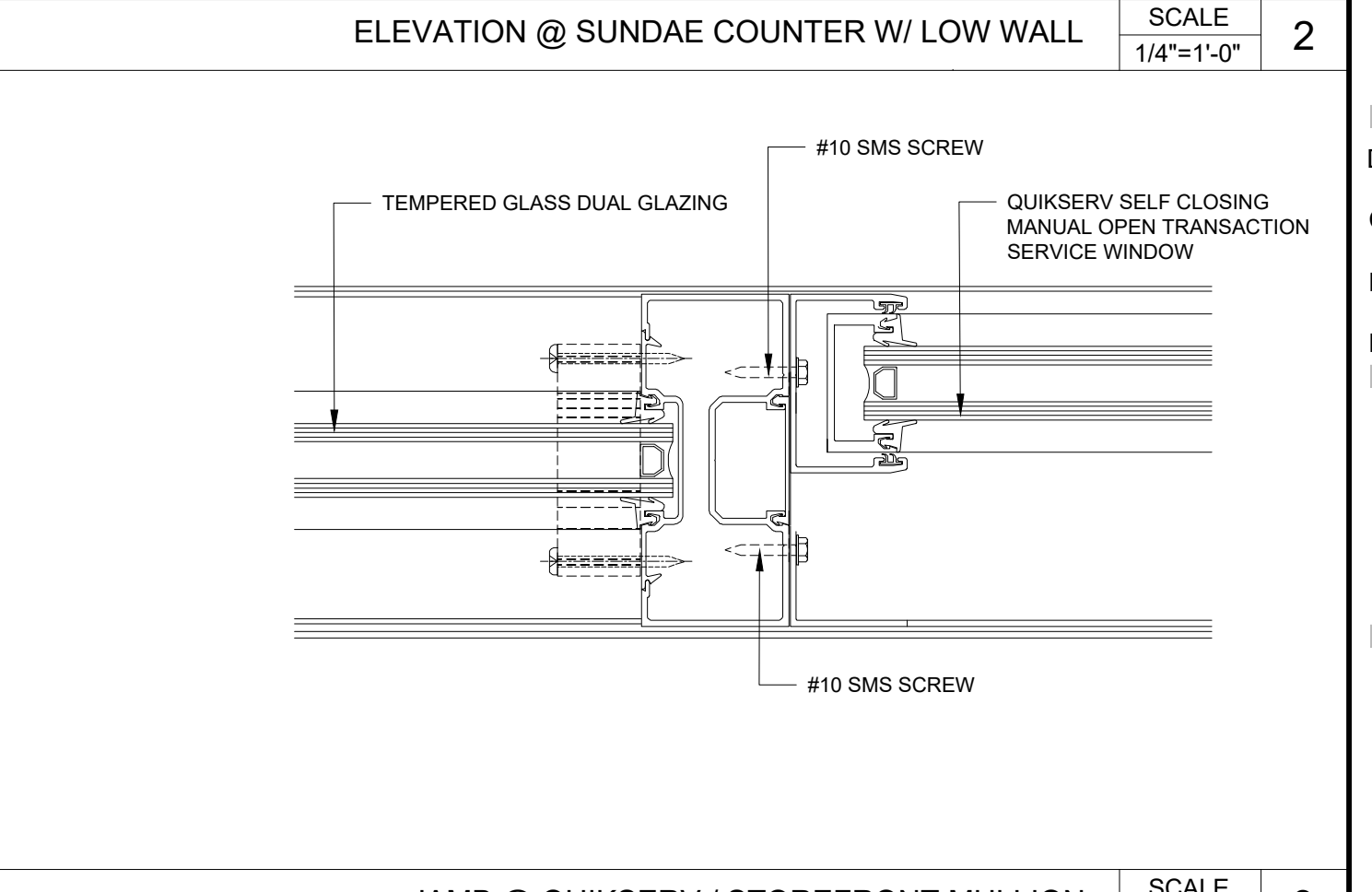
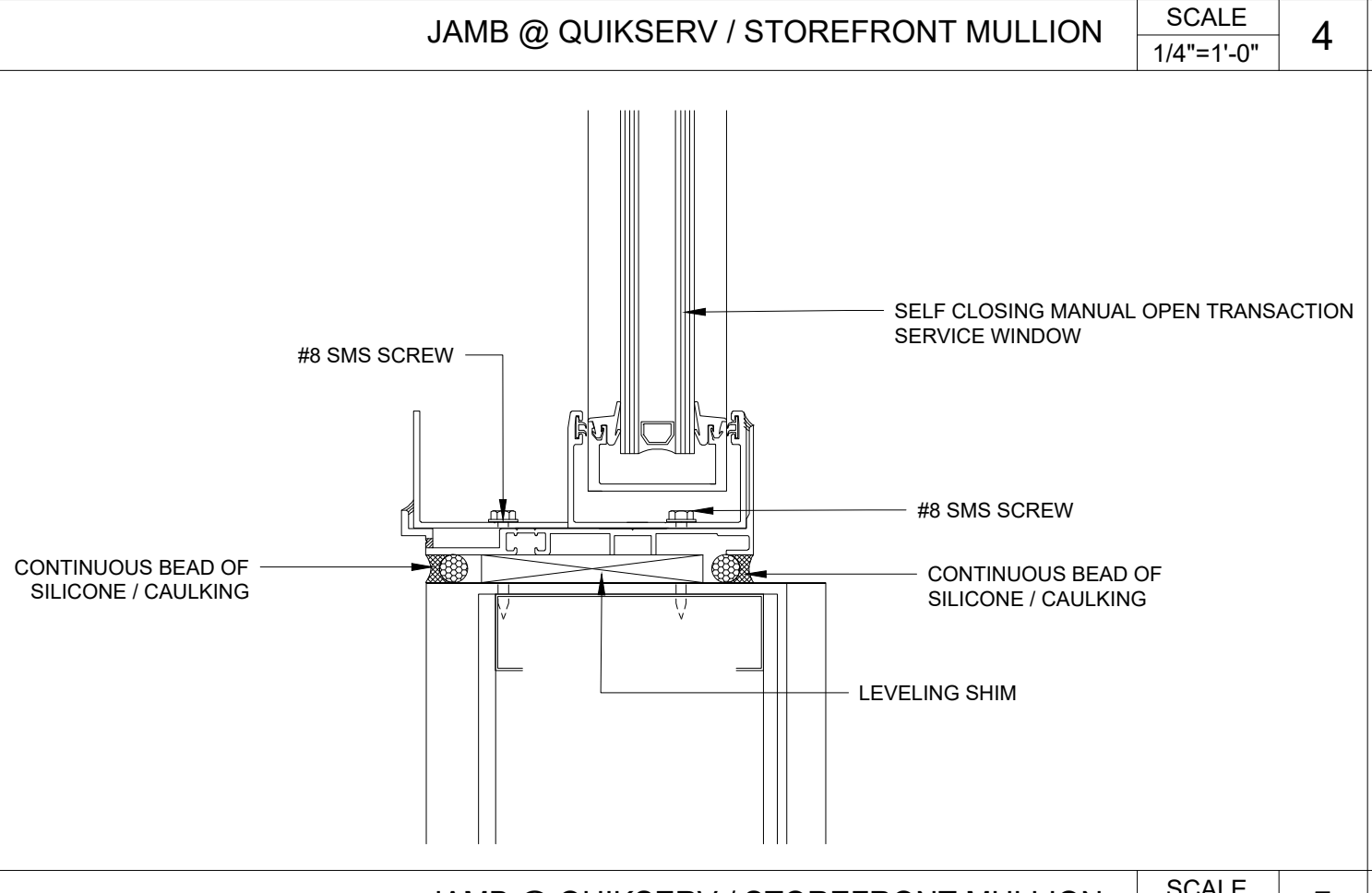
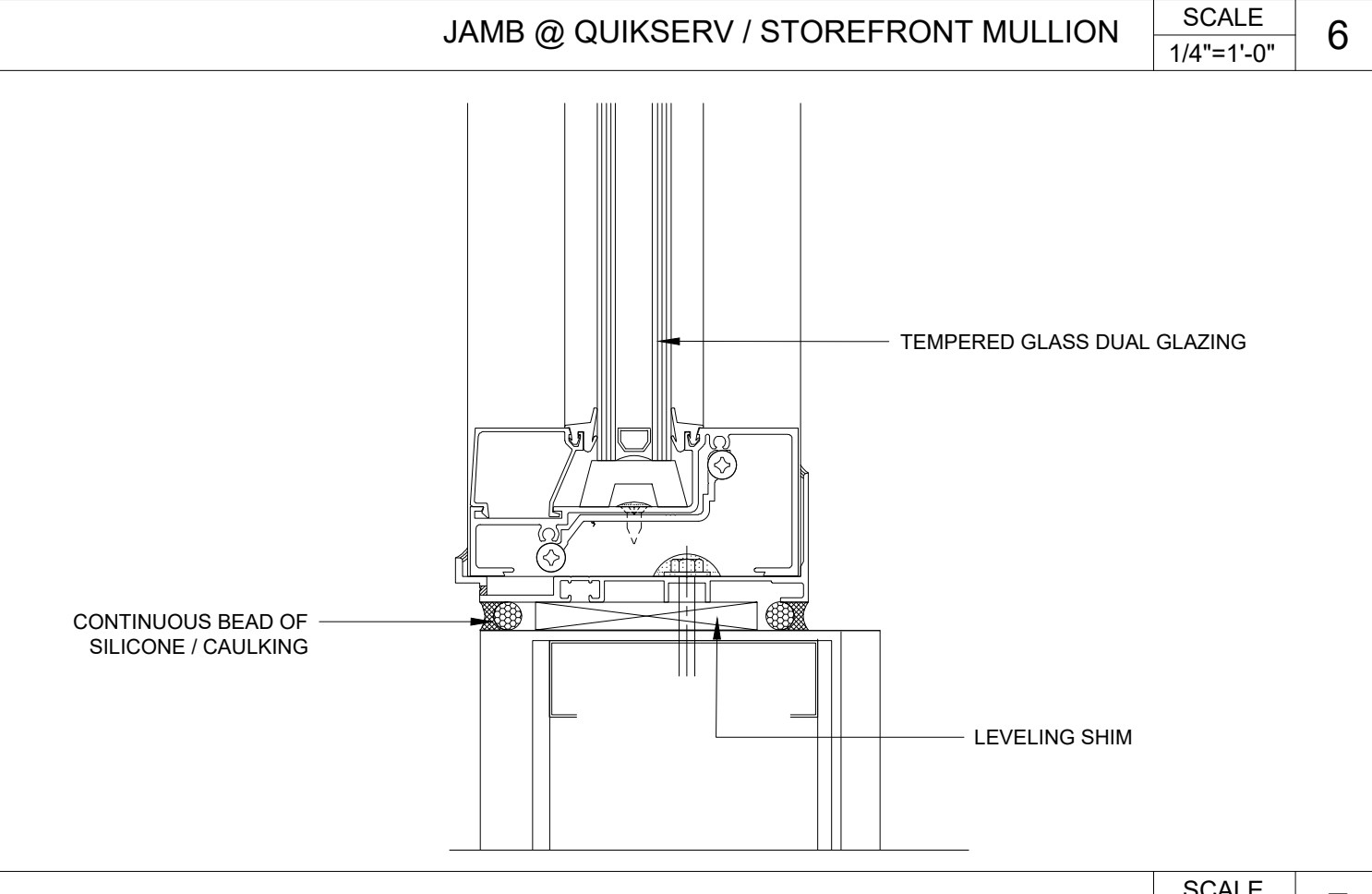
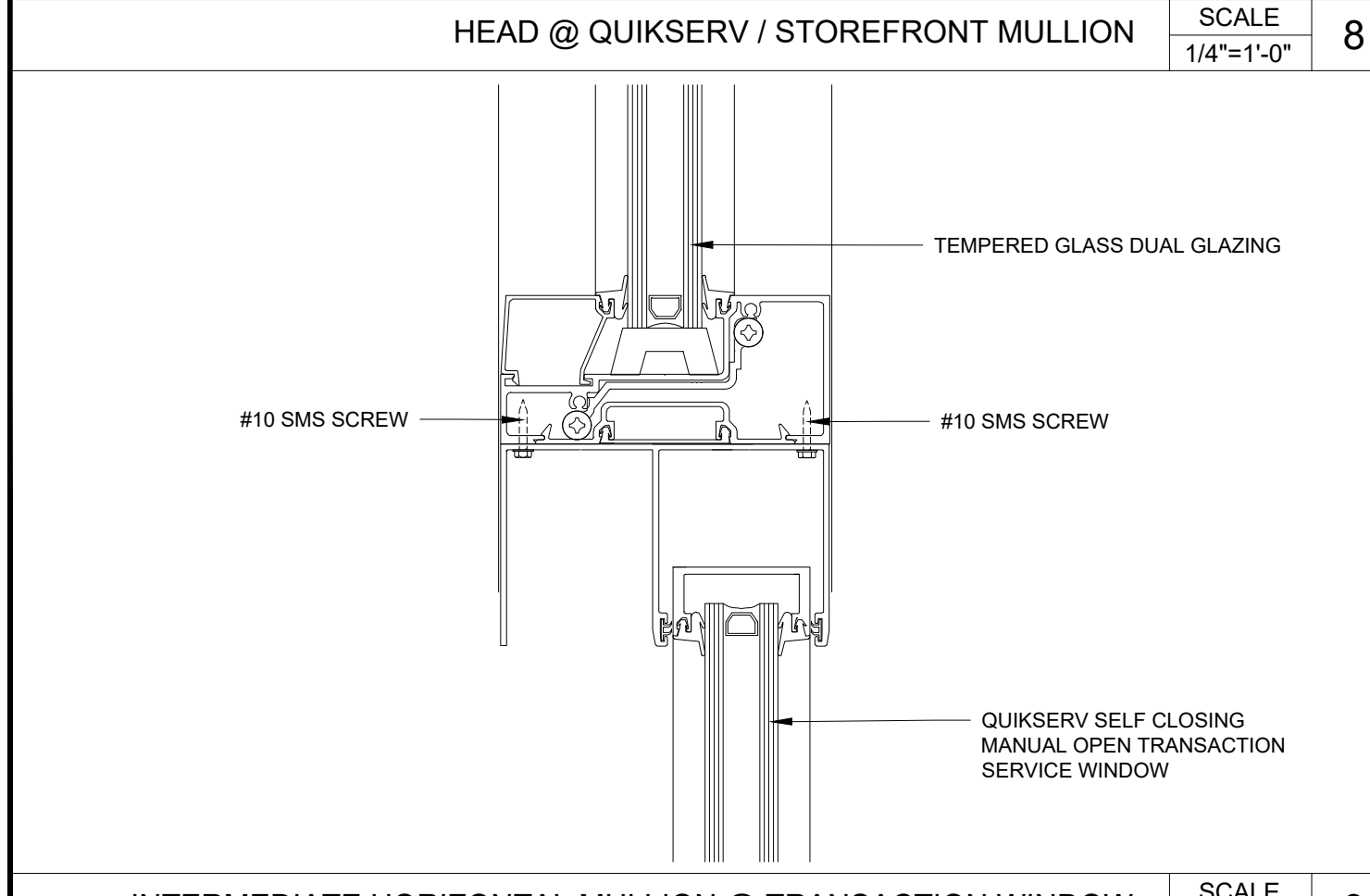
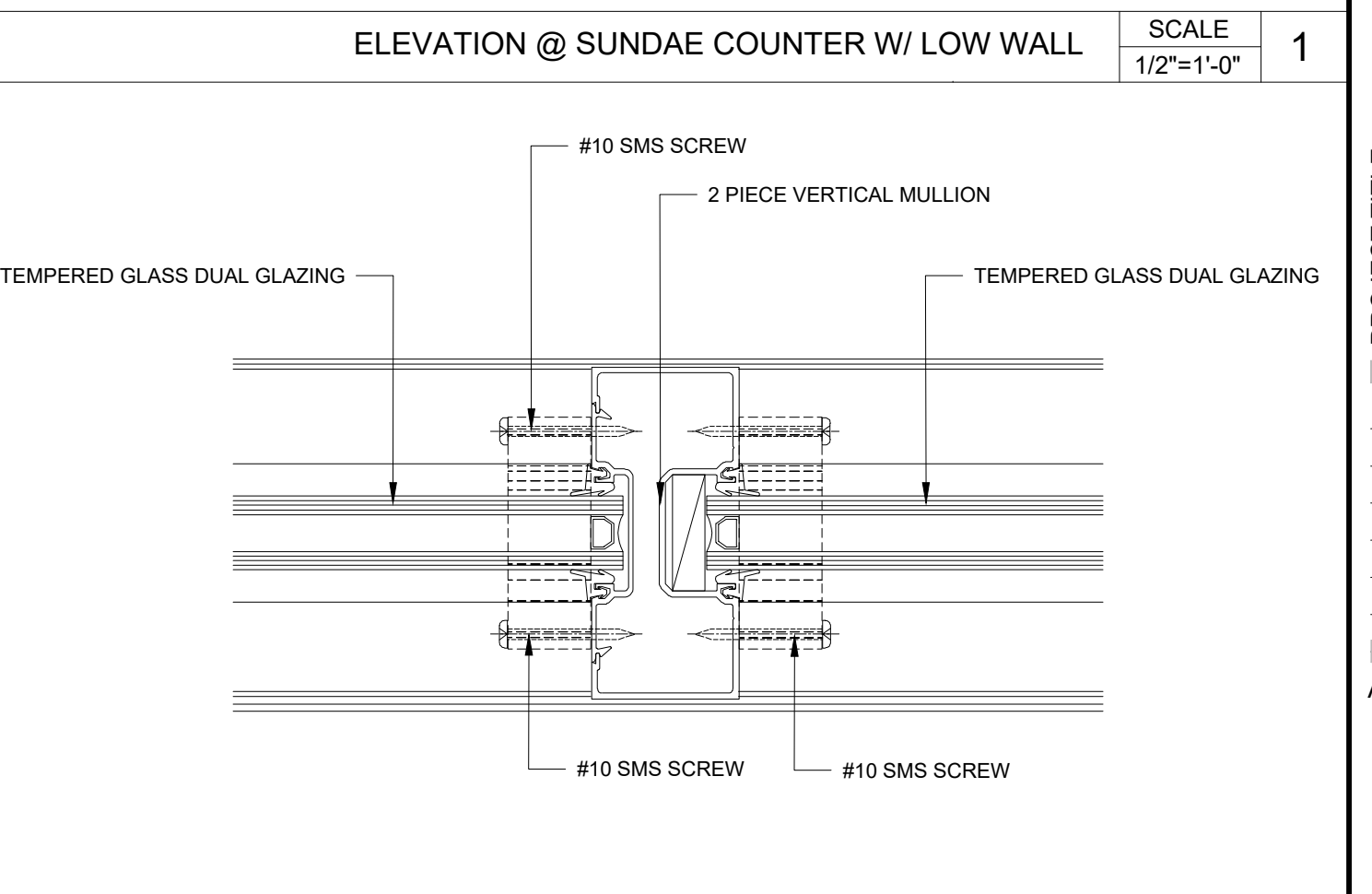
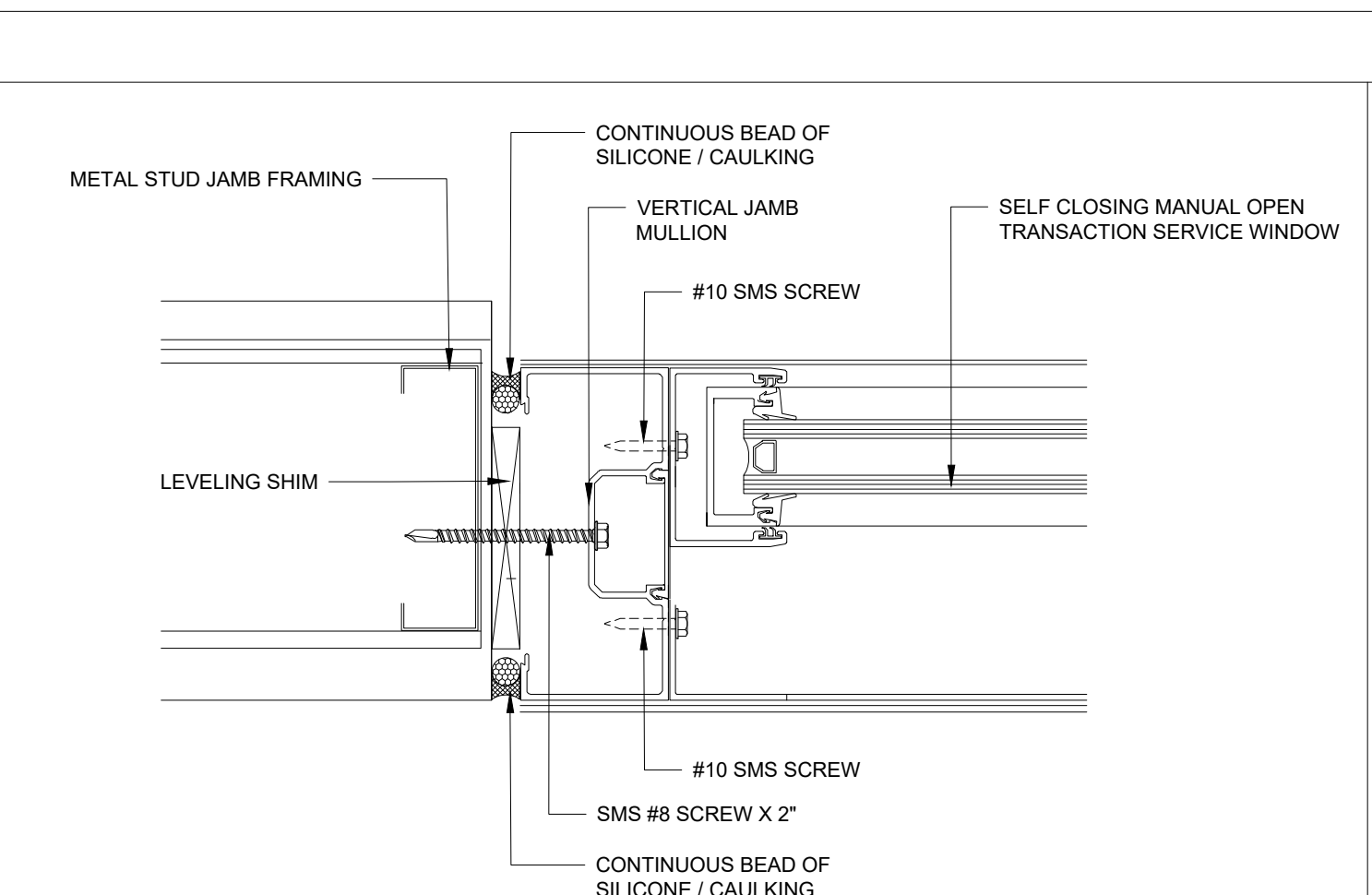
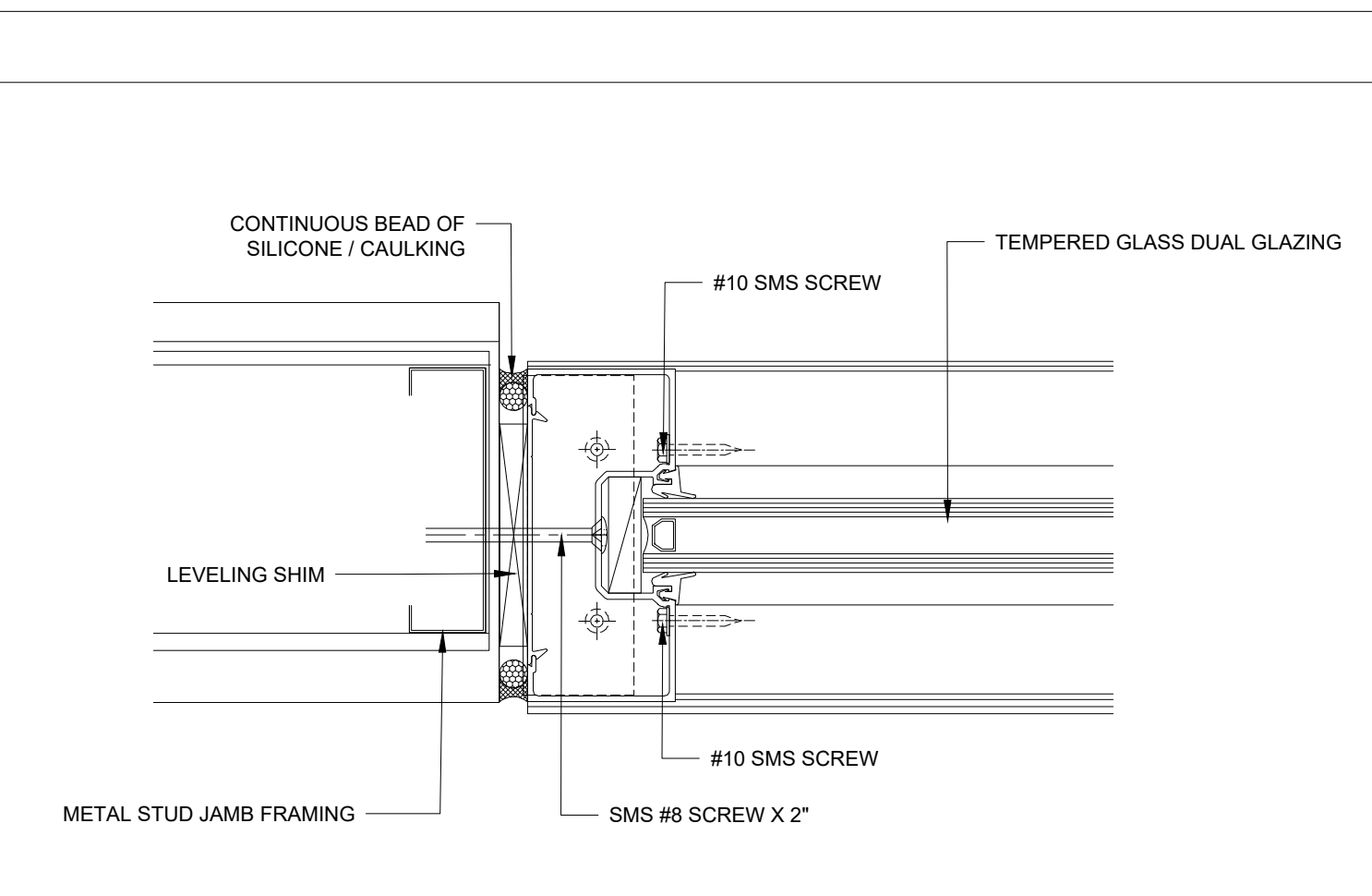
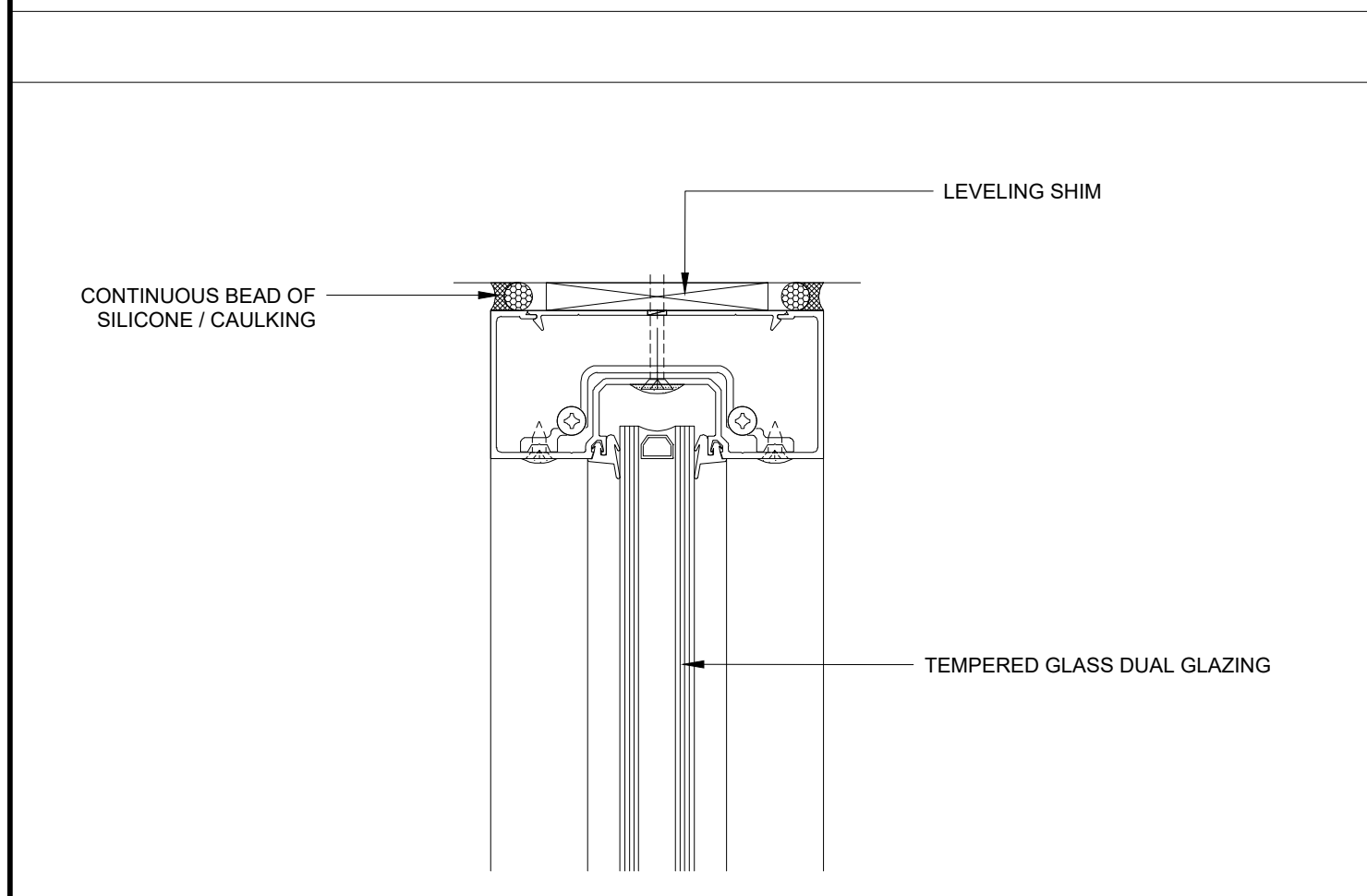
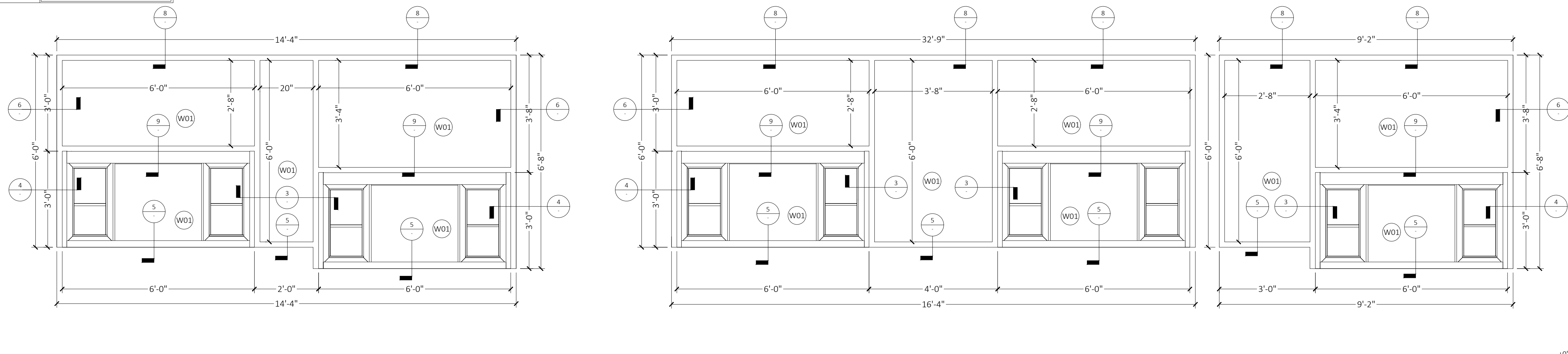
Date drawn: 03/28/2026 9:08 AM  
 Drawn by: SGOONROD  
 File name: SCDS-72X36 NEW MODEL CALLING

SCALE: \_\_\_\_\_

NOTE: THIS DRAWING IS THE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ICON ARC INC. ANY REPRODUCTION OR COPIING OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF ICON ARC INC. IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

WINDOW & FRAME SCHEDULE														
NO.	SIZE	TYPE	ACTION	WINDOW				FRAME			NOTES			
				MAT.	MANUFACTURER	MODEL #	FINISH	GLAZING	SHGC	U-FACTOR		SILL HEIGHT	HEAD HEIGHT	MATERIAL
<b>FIRST FLOOR</b>														
W01	72" X 36"		TRANSACTION	ALUMN	QUIKSERVE	SCDS (N) MODEL	ANOD.	TEMPERED	0.25	0.32	42"	SYSTEM 10'-0"	ALUMN	SELF CLOSING, XXIX DUAL TRANSACTION SERVICE WINDOW / MAX 216 SQ. IN OPENING W/ RE-STRICTER PLATE. MIN 18" BETWEEN OPENING REQ.
W02	76" X 42"		FIXED	ALUMN	CR LAURANCE	TYPICAL	ANOD.	TEMPERED	0.25	0.32	78"	SYSTEM 10'-0"	ALUMN	FIXED STOREFRONT TRANSOM
W03	22" X 78"		FIXED	ALUMN	CR LAURANCE	TYPICAL	ANOD.	TEMPERED	0.25	0.32	42"	SYSTEM 10'-0"	ALUMN	FIXED STOREFRONT
W04	44" X 86"		FIXED	ALUMN	CR LAURANCE	TYPICAL	ANOD.	TEMPERED	0.25	0.32	34"	SYSTEM 10'-0"	ALUMN	FIXED STOREFRONT
W05	52" X 36"		TRANSACTION	ALUMN	QUIKSERVE	SC-4030	ANOD.	TEMPERED	0.25	0.32	34"	SYSTEM 10'-0"	ALUMN	SELF CLOSING, XXIX DUAL TRANSACTION SERVICE WINDOW / MAX 216 SQ. IN OPENING W/ RE-STRICTER PLATE. MIN 18" BETWEEN OPENING REQ.
W06	52" X 50"		FIXED	ALUMN	CR LAURANCE	TYPICAL	ANOD.	TEMPERED	0.25	0.32	70"	SYSTEM 10'-0"	ALUMN	FIXED STOREFRONT TRANSOM
W07	41" X 86"		FIXED	ALUMN	CR LAURANCE	TYPICAL	ANOD.	TEMPERED	0.25	0.32	34"	SYSTEM 10'-0"	ALUMN	FIXED STOREFRONT
W07	48" X 36"		FIXED	ALUMN	CR LAURANCE	TYPICAL	ANOD.	TEMPERED	0.25	0.32	48"	SYSTEM 7'-0"	ALUMN	STOREFRONT TYPE INTERIOR FIXED WINDOW



**ICON ARC INC**  
 ARCHITECTS AND PLANNERS  
 14623 HAWTHORNE BLVD, #306  
 LAWDALE, CALIFORNIA 90260  
 PH. 310-750-8939, 424-456-4811  
 WWW.ICONARC.COM

STAMP

DATE SIGNED 03/28/2026

THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED, COPIED, DULICATED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

OWNER / TENANT

ALTY, INC  
 DBA: HANDEL'S ICE CREAM  
 TERRY YARWICK  
 1748 GRANITE HILLS DR  
 EL CAJON, CA 92019

**HANEL'S**  
 HOMEMADE ICE CREAM SINCE 1943

PROJECT ADDRESS

7995 LA MESA BLVD  
 LA MESA, CA 91942

PROJECT TITLE

NO.	DATE	DESCRIPTION
09/22/25		PC1 - SUBMITTAL SET
03/28/26		PC2 - DRB REVIEW CORR.

AGENCY STAMP

DRAWN BY: FRANK WRIGHT

CHECKED BY:

PRINTED ON: 03/28/2026

PERMIT NO:

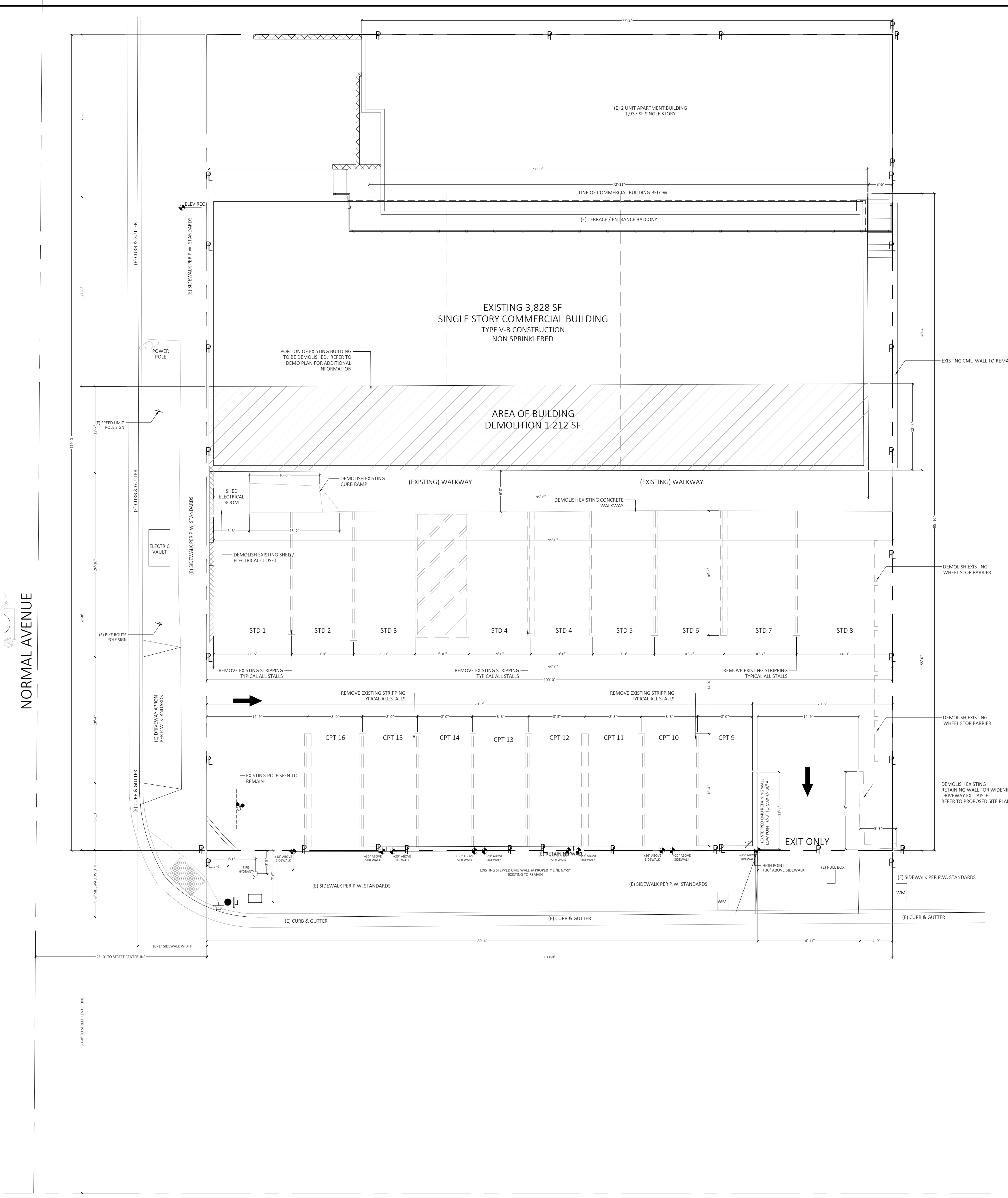
TITLE

**WINDOW SCHEDULE**

SHEET #

**A007**

NO. OF



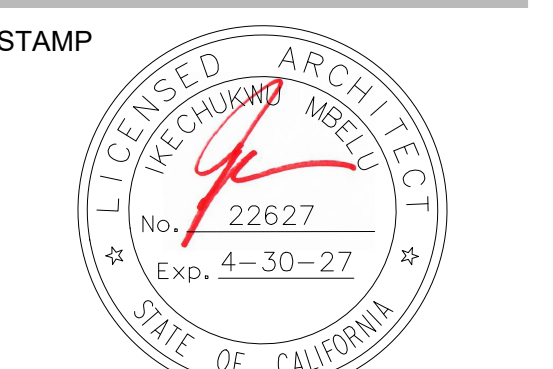
**WALL SYMBOL LEGEND**

	8" x 8" x 16" CMU WALL WITH REINFORCING BARS. SEE SITE PLAN FOR NEW OR EXISTING LOCATIONS AND HEIGHTS
	REPRESENTS AREA OF BUILDING DEMOLITION
	PROPERTY LINE PER ASSESSOR'S INFORMATION. SEE SURVEY FOR ADDITIONAL INFORMATION. CONTRACTOR TO MARK, LOCATE AND MARK PROPERTY LINE BOUNDARY PRIOR TO START OF WORK.
	EXISTING BUILDING AREA TO REMAIN. NO IMPROVEMENTS

**DEMOLITION PLAN NOTES**

PROVIDE PLYWOOD BARRICADE AFTER DEMOLING EXTERIOR STOREFRONT. EITHER PAINT PLYWOOD (WHITE OR TO MATCH EXISTING STUCCO) OR PROVIDE FULL WRAP COMING SOON GRAPHICS. COMING SOON GRAPHICS TO BE REVIEWED AND APPROVED BY LL

**ICON ARC INC**  
**ARCHITECTS AND PLANNERS**  
 14623 HAWTHORNE BLVD, #306  
 LAWDALE, CALIFORNIA 90260  
 PH. 310-750-8939, 424-456-4811  
 WWW.ICONARC.COM



**DATE SIGNED** 03/28/2026  
 THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED, COPIED, DULICATED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

**OWNER / TENANT**  
 ALLTY, INC  
 DBA: HANDEL'S ICE CREAM  
 TERRY YARWICK  
 1748 GRANITE HILLS DR  
 EL CAJON, CA 92019

**PROJECT TITLE**  
 7995 LA MESA BLVD  
 LA MESA, CA 91942

**PROJECT ADDRESS**

**REVISIONS**

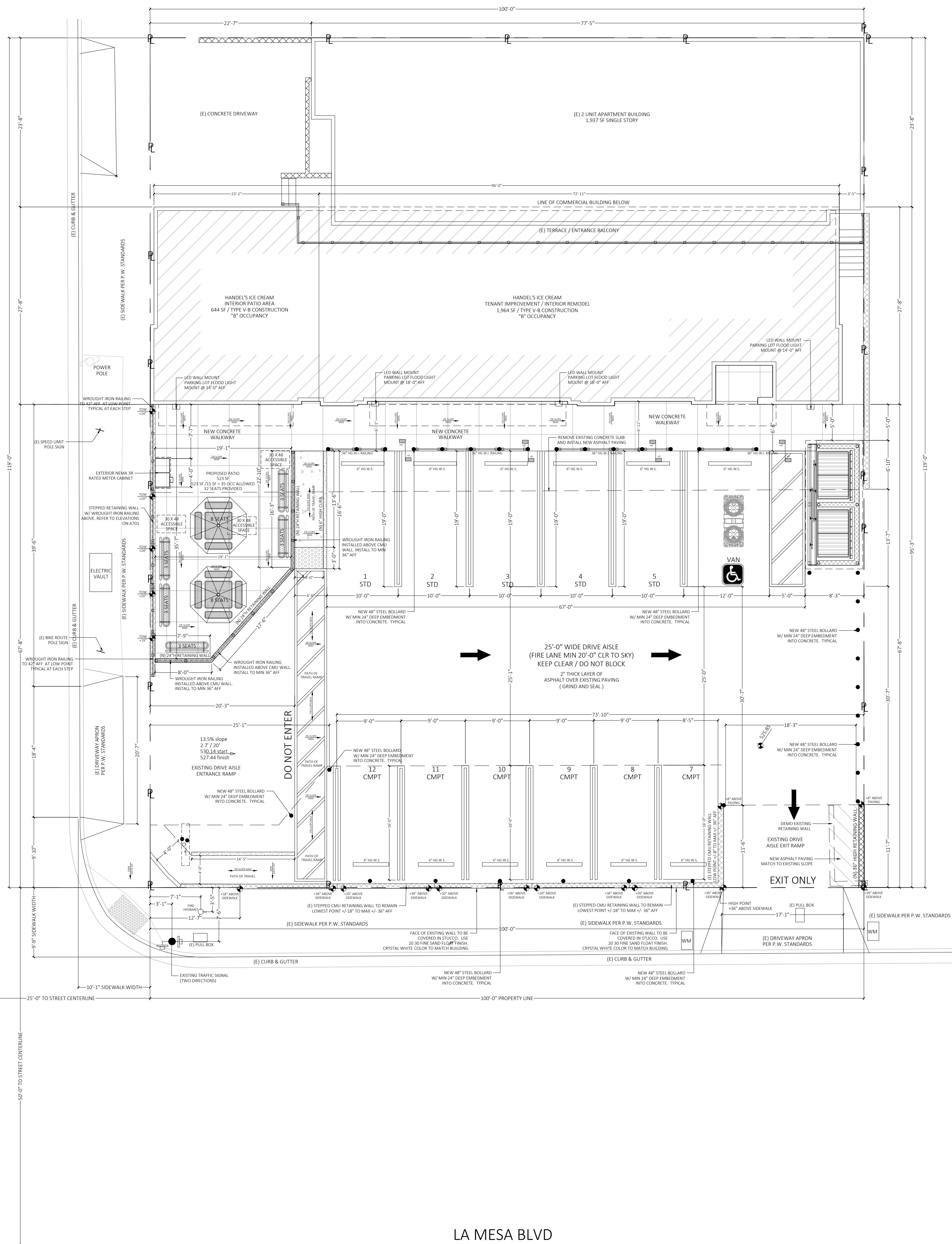
NO.	DATE	DESCRIPTION
09/22/25	PC1 - SUBMITTAL SET	
03/28/26	PC2 - DRB REVIEW CORR.	

**AGENCY STAMP**

**DRAWN BY:** FRANK WRIGHT  
**CHECKED BY:**  
**PRINTED ON:** 03/28/2026  
**PERMIT NO.:**  
**TITLE**  
**AS-BUILT DEMO SITE PLAN**  
**SHEET #**  
**A100**  
**NO.** OF



**DEMOLITION SITE PLAN** SCALE 1/8"=1'-0" 1 OF 1



**SYMBOL LEGEND**

	8" x 8" x 16" CMU WALL WITH REINFORCING BARS. SEE SITE PLAN FOR NEW OR EXISTING LOCATIONS AND HEIGHTS
	REPRESENTS AREA OF PROPOSED REMODEL TO BUILDING AREA AND BUILDING FACADE.
	PROPERTY LINE PER ASSESSOR'S INFORMATION. SEE SURVEY FOR ADDITIONAL INFORMATION. CONTRACTOR TO MARK LOCATE AND MARK PROPERTY LINE BOUNDARY PRIOR TO START OF WORK.
	EXISTING BUILDING AREA TO REMAIN. NO IMPROVEMENTS
	LINE REPRESENTS AREA OF DEMOLITION OF EXISTING BUILDING

**SITE PLAN NOTES**

PROVIDE RYWOOD BARRICADE AFTER DEMOLISHING EXTERIOR STOREFRONT. EITHER PAINT PLYWOOD (WHITE OR TO MATCH EXISTING STUCCO) OR PROVIDE FULL WRAP COMING SOON GRAPHICS, COMING SOON GRAPHICS TO BE REVIEWED AND APPROVED BY OWNER / CORP.

NOTE: THIS PROJECT IS EXEMPT FROM THE MINIMUM PARKING REQUIREMENTS UNDER AB 2097, AS THE SITE IS LOCATED WITHIN ONE-HALF MILE OF A MAJOR TRANSIT STOP.

**PROJECT STATISTICS / BREAKDOWN**

PROJECT NAME:	HANDEL'S ICE CREAM
JOB ADDRESS:	7995 LA MESA BLVD LA MESA, CA 91942
PROPERTY OWNER:	TERRY YARWICK TRUSTEE OF TERRY J. YARWICK LIVING TRUST 1788 GRANITE HILLS DR. EL CAJON, CA 92019
TENANT:	ALTY, INC. DBA: HANDEL'S ICE CREAM TERRY YARWICK 1748 GRANITE HILLS DR. EL CAJON, CA 92019
CONST. TYPE:	V-B (NON-SPRINKLERED)
FIRE ALARM:	NONE
NO. OF STORIES:	SINGLE STORY (EXISTING / NO CHANGE)
BLDG HEIGHT:	21'-0" / (21'-0" EXISTING / NO INCREASE)
ZONE:	CD-D (DOWNTOWN COMMERCIAL / URBAN DESIGN OVERLAY)
GENERAL LAND USE DESIGNATION:	DOWNTOWN COMMERCIAL
APN #	470-561-17-00
LEGAL DESCRIPTION:	LOTS 19 AND 20 IN BLOCK 4 OF SUNNYSIDE ADDITION TO LA MESA SPRINGS, IN THE CITY OF LA MESA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1118, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 4, 1908, EXCEPTING THEREFROM THE SOUTHWESTERLY 1/2 OF SAID LOTS, ALSO EXCEPTING THEREFROM THAT PORTION OF LOT 20 AS CONVEYED TO THE CITY OF LA MESA PER DEED RECORDED FEBRUARY 9, 1977 AS INSTRUMENT NO. 77-949914 OF OFFICIAL RECORDS.
OCCUPANCY:	"B" OCCUPANCY
PROPOSED USE:	"B" - ICE CREAM SHOP
EXISTING USE:	"B" / "M" - RETAIL / OFFICE
LOT AREA:	9,554 SF (COMMERCIAL LOT PORT.)
EXISTING BUILDING AREA:	3,828 SF
AREA TO BE DEMOLISHED:	1,212 SF
RESULTING BUILDING AREA:	2,616 SF
INTERIOR IMPROVEMENT AREA:	2,616 SF
EXISTING GROSS LEASED AREA:	3,828 SF
PROPOSED GROSS LEASED AREA / OWNER OCCUPIED SPACE:	2,616 SF
OUTDOOR PATIO AREA:	523 SF
OUTDOOR SEATING:	523 SF / 15 SF - 35 OCC / 32 SEATS PROVIDED (29 SEATS + 3 ACCESSIBLE SEATS)
PARKING BREAKDOWN REQUIRED:	NO PARKING REQUIRED PER AB 2097
PROVIDED:	12 TOTAL SPACES 5 STANDARD STALLS / 1 VAN ACCESSIBLE / 6 COMPACT STALLS (COMPACT RATIO ALLOWED = 50% TOTAL) (12 SPACE x 0.5 = 6 SPACES ALLOWED)
NOTE:	THIS PROJECT IS EXEMPT FROM THE MINIMUM PARKING REQUIREMENTS UNDER AB 2097, AS THE SITE IS LOCATED WITHIN ONE-HALF MILE OF A MAJOR TRANSIT STOP.

**ICON ARC INC**  
ARCHITECTS AND PLANNERS  
14623 HAWTHORNE BLVD, #306  
LAWDALE, CALIFORNIA 90260  
PH. 310-750-8939, 424-456-4811  
WWW.ICONARC.COM



**DATE SIGNED** 03/28/2026

**OWNER / TENANT**  
ALTY, INC.  
DBA: HANDEL'S ICE CREAM  
TERRY YARWICK  
1748 GRANITE HILLS DR  
EL CAJON, CA 92019



**PROJECT ADDRESS**  
7995 LA MESA BLVD  
LA MESA, CA 91942

**REVISIONS**

NO.	DATE	DESCRIPTION
09/22/25		PC1 - SUBMITTAL SET
03/28/26		PC2 - DRB REVIEW CORR.

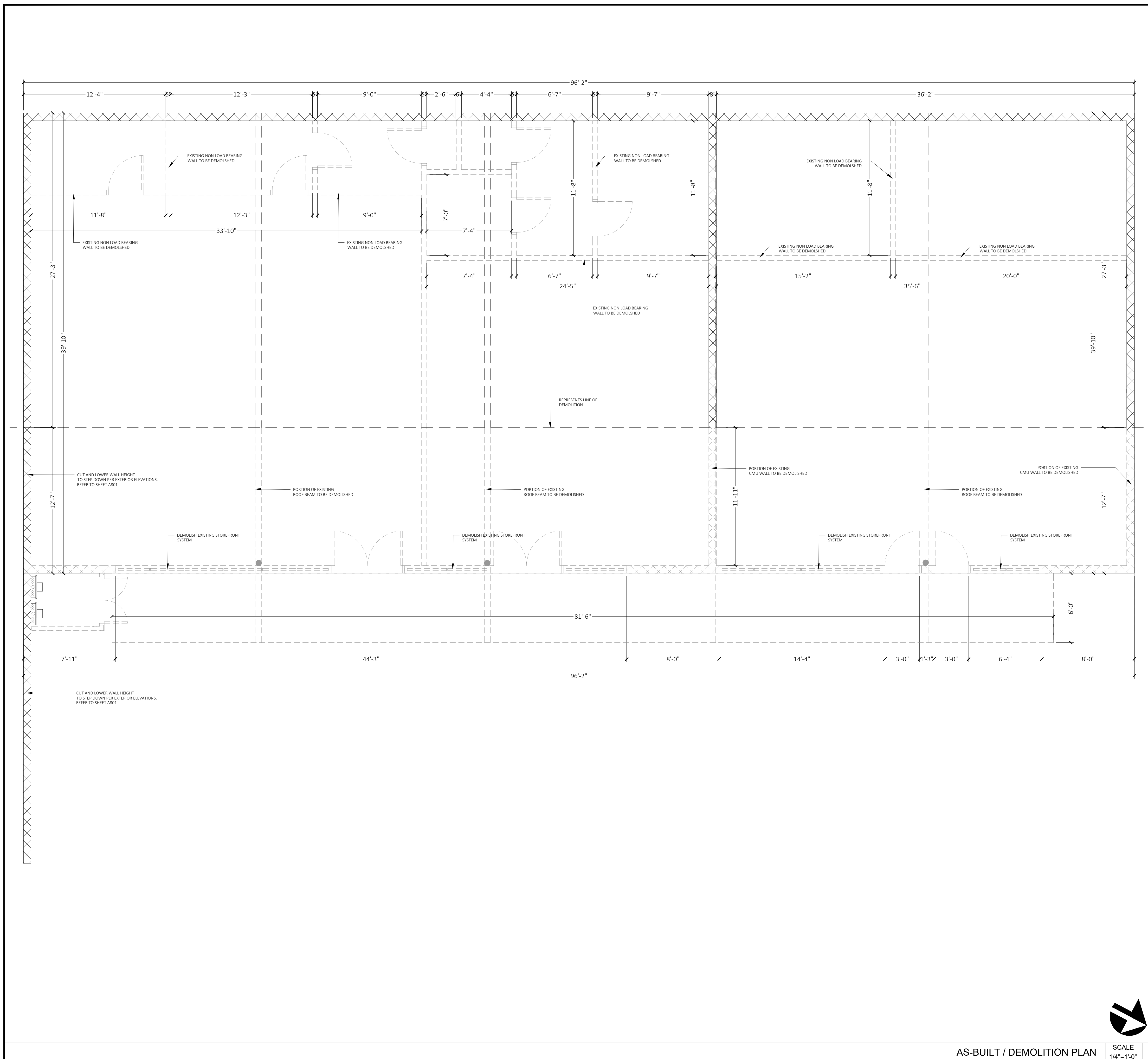
AGENCY STAMP

DRAWN BY: FRANK WRIGHT  
CHECKED BY:  
PRINTED ON: 03/28/2026  
PERMIT NO:  
TITLE  
**PROPOSED SITE PLAN**  
SHEET #  
**A101**  
NO. OF



SCALE 1/8"=1'-0" 1

LA MESA BLVD



**WALL SYMBOL LEGEND**

	(E) 8" x 8" x 16" CMU WALL WITH REINFORCING BARS AND FULLY GROUTED CELLS.
	(E) 8" x 8" x 16" CMU WALL TO BE DEMOLISHED. CONTRACTOR TO SAW CUT PRIOR TO DEMOLITION.
	(EX) NON-LOAD BEARING INTERIOR STUD WALL TO BE DEMOLISHED AND DISPOSED OF PER CITY STANDARDS.

**DEMOLITION PLAN NOTES**

PROVIDE PLYWOOD BARRICADE AFTER DEMOING EXTERIOR STOREFRONT. EITHER PAINT PLYWOOD (WHITE OR TO MATCH EXISTING STUCCO) OR PROVIDE FULL WRAP COMING SOON GRAPHICS. COMING SOON GRAPHICS TO BE REVIEWED AND APPROVED BY LL

**ICON ARC INC**  
ARCHITECTS AND PLANNERS  
14623 HAWTHORNE BLVD, #306  
LAWDALE, CALIFORNIA 90260  
PH. 310-750-8939, 424-456-4811  
WWW.ICONARC.COM

**STAMP**

**DATE SIGNED** 03/28/2026  
THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED, COPIED, DULICATED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

**OWNER / TENANT**  
ALLTY, INC  
DBA: HANDEL'S ICE CREAM  
TERRY YARWICK  
1748 GRANITE HILLS DR  
EL CAJON, CA 92019

**HANDEL'S**  
HOMEMADE ICE CREAM SINCE 1943

**PROJECT TITLE**

**PROJECT ADDRESS**  
7995 LA MESA BLVD  
LA MESA, CA 91942

**REVISIONS**

NO.	DATE	DESCRIPTION
09/22/25	PC1 - SUBMITTAL SET	
03/28/26	PC2 - DRB REVIEW CORR.	

**AGENCY STAMP**

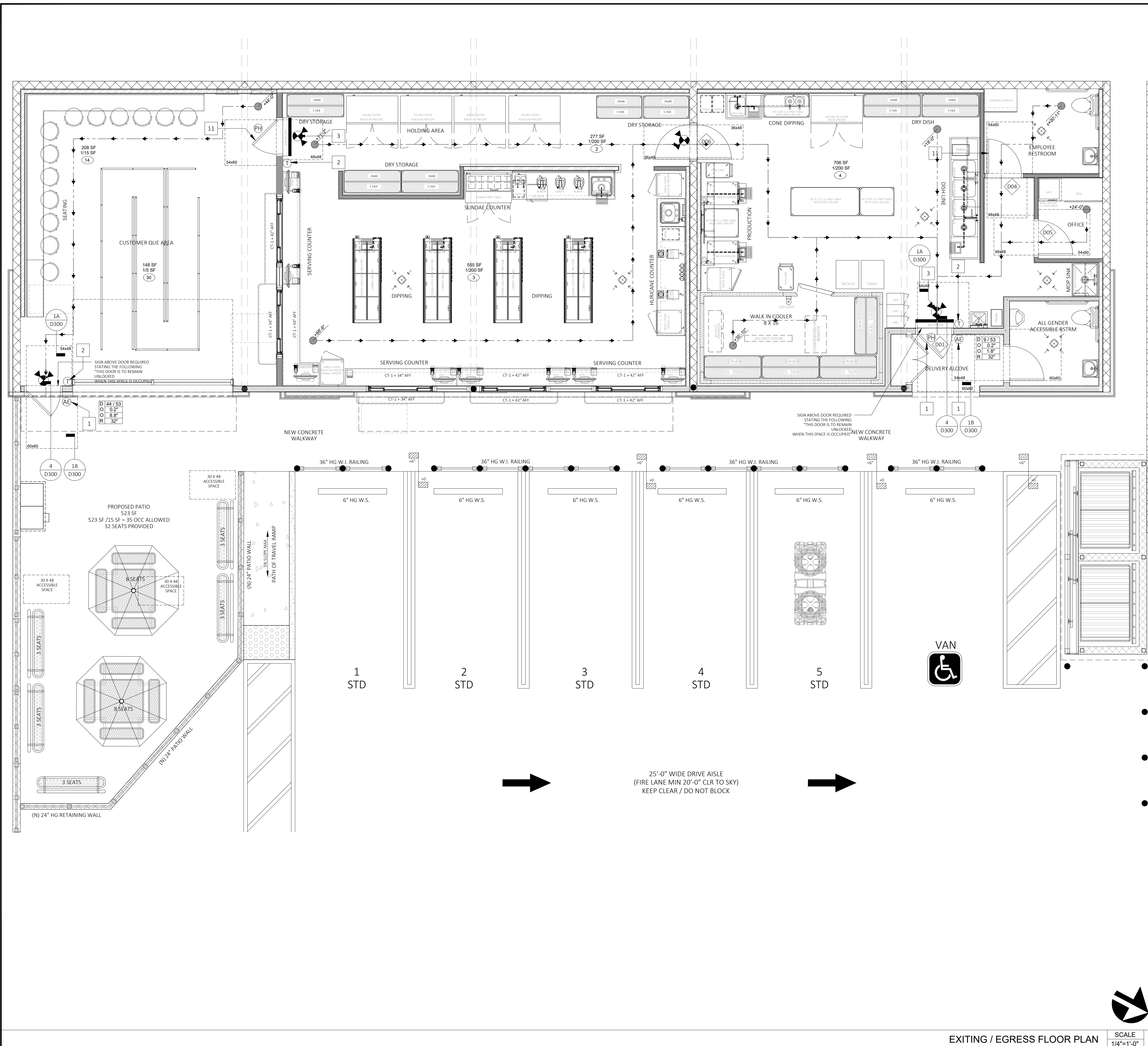
**DRAWN BY:** FRANK WRIGHT  
**CHECKED BY:**  
**PRINTED ON:** 03/28/2026  
**PERMIT NO.:**

**TITLE**  
AS-BUILT FLOOR PLAN

**SHEET #**  
A201  
**NO.** OF



**AS-BUILT / DEMOLITION PLAN** SCALE 1/4"=1'-0" 1



### WALL SYMBOL LEGEND

- (E) 6" x 6" CMU WALL WITH REINFORCING BARS AND FULLY GROUTED CELLS.
- NEW NON-BEARING 1-5/8" X 3-5/8" 20 GA METAL STUDS @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT EACH SIDE. 12'-0" HIGH WITH DIAGONAL BRACING @ MAX. 48" O.C. SEE DETAIL #1D400
- NEW EXTERIOR 2" X 4" STUD WALL WITH STUDS @ 16" O.C. INSTALL WITH MIN R-15 INSULATION IN WALL CAVITY. INSTALL WITH MIN 5/8" GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" THICK 3 COAT CEMENT STUCCO OVER WIRE MESH OVER PLYWOOD SHEATHING.
- NEW NON-BEARING 1-5/8" X 3-5/8" 20 GA METAL STUDS @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT EACH SIDE. 4'-0" HIGH WITH LOW WALL BRACING 32" O.C.
- NEW 1-1/2" X 3-5/8" 20GA METAL STUD FURRING WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD @ 1" SIDE.
- NEW 2" X 6" FURRING WALL WITH STUDS @ 16" O.C. INSTALL WITH MIN 7/8" THICK 3 COAT CEMENT STUCCO OVER WIRE MESH OVER PLYWOOD SHEATHING.
- PREFABRICATED GALVANIZED ALUMINUM WALK IN COOLER BOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATION.

### OCCUPANT LOAD ANALYSIS

ROOM / AREA NAME	OCC.	LOAD FACTOR	NET SQ. FT.	OCCUPANT LOAD	EXITS REQ'D	EXIT WIDTH REQ'D	EXIT WIDTH PROV'D
KITCHEN / BOH	15'	200	706	4	1	0.8'	32"
HOLDING / CONE DIP.	15'	200	277	2	1	0.4'	32"
DIPPING / SERVING	15'	200	555	3	1	0.6'	32"
CUSTOMER QUE	15'	5	103	30	1	6"	32"
CUSTOMER SEATING	15'	15	208	14	1	2.8'	32"

### EXIT / EGRESS REQUIREMENTS

TOTAL REQUIRED EXIT WIDTH: (2022 CBC 1006.3.2)	TOTAL INTERIOR OCCUPANTS = 53	(# OF OCCUPANTS) X (10') = 10.6' REQ.
INTERIOR SPACE (COMMERCIAL KITCHEN) (B)	REQUIRED	EXIT WIDTH REQUIRED = 2.0' TOTAL WIDTH
	PROVIDED	EXIT WIDTH PROVIDED = 32" TOTAL WIDTH
TOTAL NUMBER OF REQUIRED EXITS (2022 CBC TABLE 1006.1)	REQUIRED	>48 OCCUPANTS = 2 EXITS REQUIRED
<30 OCCUPANTS = 1 EXIT	PROVIDED	53 OCCUPANTS = 2 EXITS PROVIDED
MAX EXIT TRAVEL DISTANCE (TABLE 1017.2) NON-SPRINKLERED BUILDING	ALLOWABLE 100 L.F. MAX. (2022 CBC TABLE 1006.2.1)	80'-0" MAXIMUM TRAVEL DISTANCE (PROVIDED)
MAX COMMON PATH OF EGRESS TRAVEL (TABLE 1006.2.1) NON-SPRINKLERED BUILDING	15' OCCUPANCY = 100'-0"	MAXIMUM DIAGONAL DISTANCE OF THE SPACE SERVED ONLY 1 DOOR REQUIRED
MINIMUM EXIT SEPARATION (NON-SPRINKLERED BUILDING)	ONLY 1 EXIT DOOR REQUIRED >48 OCC. IN B.M. OCC.	

- ### 2022 CBC 1004.9 POSTING OF OCCUPANT LOAD
- EVERY ROOM OR SPACE WHICH IS USED FOR ASSEMBLY, CLASSROOM, DINING, DRINKING OR SIMILAR PURPOSES HAVING AN OCCUPANT LOAD OF 50 OR MORE SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE, FOR THE INTENDED CONFIGURATION. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR THE OWNERS AUTHORIZED AGENT.
- ### NOTES:
- MAIN ENTRANCE DOOR IS THE ONLY DOOR WITH THE "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" SIGN, AND DOUBLE KEYED LOCKING SYSTEM.
  - ALL OTHER REQUIRED EXITS SHALL HAVE VALID EXIT DOOR HARDWARE.
  - SELF-RELEASING DOOR HARDWARE WITH INTERCONNECTED SINGLE LOCKING HARDWARE - SINGLE DEADBOLT PROTECTION WITH SINGLE KEY (NO-ACTIVATION) WHEN THE LEVER IS TURNED. THE DEADBOLT RETRACTS WHEN THE INTERIOR LEVER IS TURNED.
  - SELF-RELEASING DOOR HARDWARE. THE OUTSIDE LEVER IS LOCKED AND UNLOCKED BY A KEY FROM THE EXTERIOR. THE INSIDE LEVER IS ALWAYS UNLOCKED AND PROVIDES A SINGLE MOTION EXITING WHEN THE INTERIOR LEVER IS TURNED.
  - OTHER THAN THE MAIN ENTRANCE, REQUIRED EXIT DOORS AND DOOR SCHEDULES SHALL MATCH EITHER NUMBER 1 OR 2.
  - IF ONLY ONE EXIT IS REQUIRED AND THEY HAVE A 2ND DOOR, MAKE SURE THE HARDWARE IS CORRECT. IN OTHER WORDS, THE SECOND DOOR SHOULD NOT HAVE EXIT SIGN ABOVE AND DOUBLE KEYED LOCKING HARDWARE.
  - IF ONLY ONE EXIT IS REQUIRED AND THEY ARE CALLING OUT AND EXITS PROVIDED. THE MAIN ENTRANCE SHALL HAVE THE SIGN AND DOUBLE KEYED LOCKING SYSTEM. THE SECOND DOOR WITH AN EXIT SIGN SHALL BE PROVIDED WITH HARDWARE TYPE 1 OR 2.
  - NO THUMB LOCKS ARE PERMITTED OR ALLOWED.
  - 2022 CBC COMPLIANCE REQUIRED**
  - IN BUILDING WITH GROUP "B" OCCUPANCY, THE MAIN EXTERIOR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED:
    - THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED;
    - A VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING, "THIS DOOR IS TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED." THE SIGN SHALL BE IN LETTERS 1 IN HIGH ON A CONTRASTING BACKGROUND; AND
    - THE USE OF KEY OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.
  - MEANS OF EGRESS DOOR SHALL BE READILY DISTINGUISHABLE FROM THE ADJACENT CONSTRUCTION AND FINISHES SUCH AS THAT THE DOORS ARE EASILY RECOGNIZABLE AS DOORS. MIRRORS OR SIMILAR REFLECTING MATERIAL SHALL NOT BE USED ON MEANS OF EGRESS DOORS. MEANS OF EGRESS DOORS SHALL NOT BE CONCEALED BY CURTAINS, DRAPES, DECORATIONS OR SIMILAR MATERIALS. (CFC 1010.1)
  - THE MEANS OF EGRESS SYSTEM MUST HAVE A MIN CEILING HEIGHT OF 7'-6"

### FLOOR PLAN KEY NOTES

- INTERNATIONAL SYMBOL OF ACCESSIBILITY PER 2022 CBC 11B-703.7.2.1
- TACTILE EXIT SIGN PER 2022 CBC 11B-1013
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 604.
- DOOR PER DOOR SCHEDULE.

### FLOOR PLAN SYMBOLS

- (T) TACTILE EXIT SIGN TO COMPLY WITH IBC SECTION 11B-703 AND SHALL BE IN ACCORDANCE WITH 2023 IBC SECTION 1013
- (AE) ACCESSIBLE ENTRANCE SIGNAGE PER 2022 CBC CHAPTER 11B
- (PH) EGRESS PANIC HARDWARE
- (I) INTERNALLY ILLUMINATED EXIT SIGN TO BE CONNECTED TO EMERGENCY POWER SOURCE OR BACK-UP GENERATOR CAPABLE OF PROVIDING POWER FOR A DURATION OF NOT LESS THAN 90 MIN. REFER TO ELECTRICAL PLANS.
- (---) COMMON PATH OF TRAVEL (2022 IBC TABLE 1017.2) EXIT ACCESS TRAVEL DISTANCE AS FOLLOWS: B OCC = 100'-0"
- (123) ACCUMULATIVE OCCUPANT LOAD ALONG COMMON PATH OF EGRESS
- (800) OCCUPANT AREA SQUARE FOOTAGE
- (115 SF) OCCUPANT LOAD FACTOR
- (40) AREA OCCUPANT LOAD
- (D 22/43) ACCUMULATIVE / MAX. OCCUPANT LOAD THROUGH OPENING
- (O 0.2) CAPACITY FACTOR PER OCCUPANT (IN INCHES)
- (Q 4.4) TOTAL CAPACITY (IN INCHES)
- (R 32) CLEAR WIDTH (IN INCHES)
- (X) X (Y) MIN CLEAR
- (DH) INDICATES REQUIRED CLEAR MANEUVERING FLOOR SPACE AT DOORWAYS
- (DH) DOOR NUMBER PER DOOR SCHEDULE. REFER TO SHEET A005 FOR DOOR SCHEDULES

ICON ARC INC  
ARCHITECTS AND PLANNERS  
14623 HAWTHORNE BLVD, #306  
LAWNDALE, CALIFORNIA 90260  
PH. 310-750-8939, 424-456-4811  
WWW.ICONARC.COM

STAMP

DATE SIGNED 03/28/2026

OWNER / TENANT  
ALTY, INC  
DBA: HANDEL'S ICE CREAM  
TERRY YARWICK  
1748 GRANITE HILLS DR  
EL CAJON, CA 92019

PROJECT ADDRESS  
7995 LA MESA BLVD  
LA MESA, CA 91942

### REVISIONS

NO.	DATE	DESCRIPTION
09/22/25	PC1 - SUBMITTAL SET	
03/28/26	PC2 - DRB REVIEW CORR.	

AGENCY STAMP

DRAWN BY: FRANK WRIGHT  
CHECKED BY:  
PRINTED ON: 03/28/2026  
PERMIT NO:  
TITLE

EXITING EGRESS PLAN

SHEET #  
A301

NO. OF

EXITING / EGRESS FLOOR PLAN SCALE 1/4"=1'-0" 1



DATE SIGNED 03/28/2026  
THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED, COPIED, DULICATED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

OWNER / TENANT  
ALTY, INC  
DBA: HANDEL'S ICE CREAM  
TERRY YARWICK  
1748 GRANITE HILLS DR  
EL CAJON, CA 92019



PROJECT ADDRESS  
**7995 LA MESA BLVD**  
LA MESA, CA 91942

PROJECT TITLE

NO.	DATE	DESCRIPTION
09/22/25		PC1 - SUBMITTAL SET
03/28/26		PC2 - DRB REVIEW CORR.

AGENCY STAMP

DRAWN BY: FRANK WRIGHT

CHECKED BY:

PRINTED ON: 03/28/2026

PERMIT NO:

TITLE

**FLOOR PLAN DIMENSIONS**

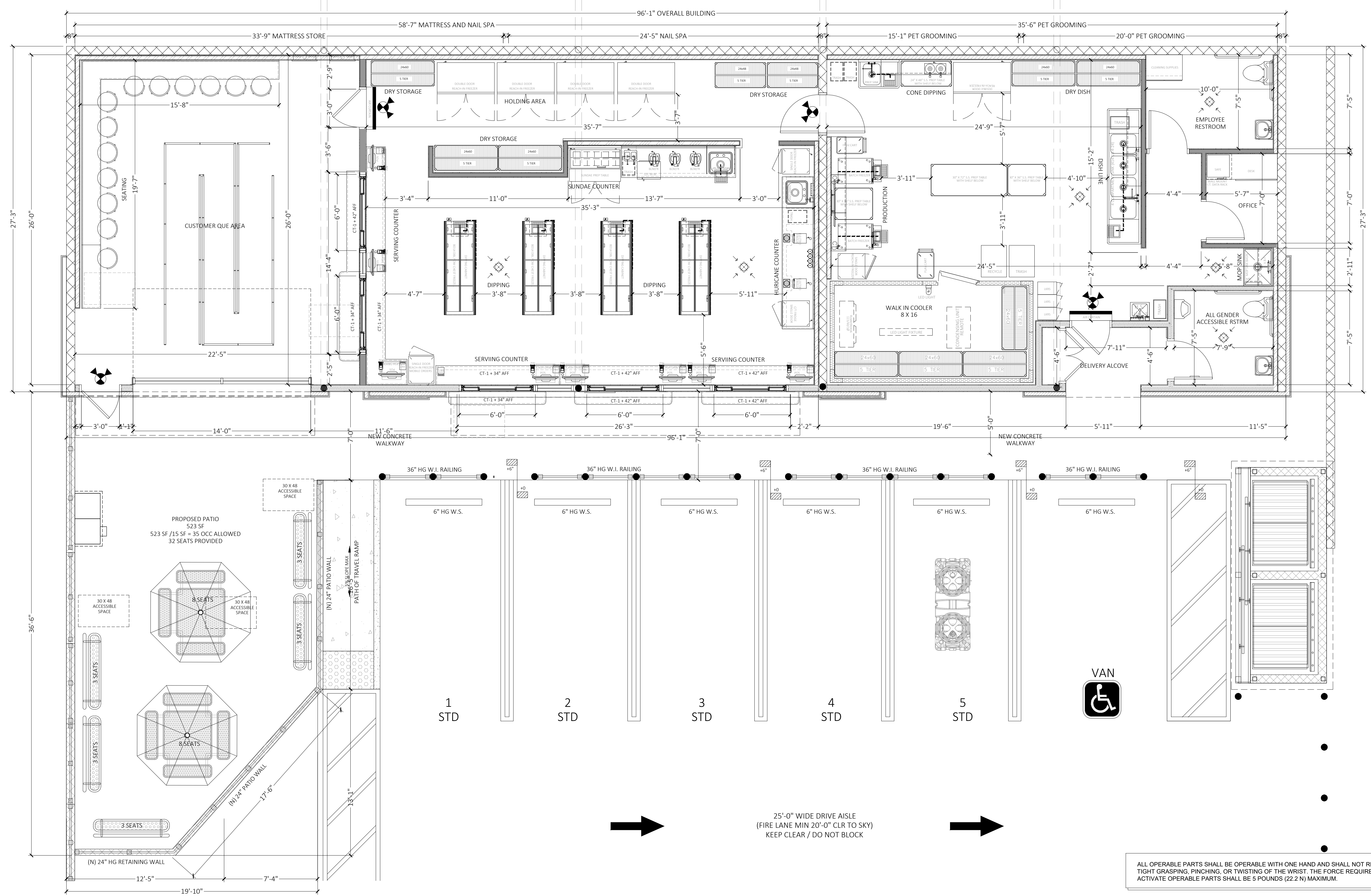
SHEET #

**A401**

NO. OF

**WALL SYMBOL LEGEND**

	(E) 8' x 8' x 16' CMU WALL WITH REINFORCING BARS AND FULLY GROUTED CELLS.
	NEW NON-BEARING 1-5/8 X 3-5/8" 20 GA METAL STUDS @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT EACH SIDE. 12'-0" HIGH WITH DIAGONAL BRACING @ MAX. 48" O.C. SEE DETAIL #10400
	NEW EXTERIOR 2" X 6" STUD WALL WITH STUDS @ 16" O.C. INSTALL WITH MIN R-15 INSULATION IN WALL CAVITY. INSTALL WITH MIN 5/8" GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" THICK 2 COAT CEMENT STUCCO OVER WIRE MESH OVER PLYWOOD SHEATHING.
	NEW NON-BEARING 1-5/8 X 3-5/8" 20 GA METAL STUDS @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT EACH SIDE. 4'-0" HIGH WITH LOW WALL BRACING 32" O.C.
	NEW 1-1/2 X 3-5/8" 20GA METAL STUD FURRING WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD OF DENSE GLASS @ 1 SIDE. REFER TO FINISH SCHEDULE FOR WALL FINISHES.
	NEW 2" X 6" FURRING WALL WITH STUDS @ 16" O.C. INSTALL WITH MIN 7/8" THICK 3 COAT CEMENT STUCCO OVER WIRE MESH OVER PLYWOOD SHEATHING.
	PREFABRICATED GALVANIZED ALUMINUM WALK-IN COOLER BOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATION.



ALL OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM.

FLOOR PLAN DIMENSIONS SCALE 1/4"=1'-0" 1

FLOOR PLAN SYMBOLS	
	TACTILE EXIT SIGN TO COMPLY WITH CBC SECTION 11B-703 AND SHALL BE IN ACCORDANCE WITH CBC SECTION 101.4
	ACCESSIBLE ENTRANCE SIGNAGE PER 2019 CBC CHAPTER 11B
	EGRESS PANIC HARDWARE
	INTERNALLY ILLUMINATED EXIT SIGN TO BE CONNECTED TO EMERGENCY POWER SOURCE OR BACK-UP GENERATOR CAPABLE OF PROVIDING POWER FOR A DURATION OF NOT LESS THAN 90 MIN. REFER TO ELECTRICAL PLANS.
	INTERNALLY ILLUMINATED BUG-EYED LIGHT TO BE CONNECTED TO EMERGENCY POWER SOURCE OR BACK-UP GENERATOR CAPABLE OF PROVIDING POWER FOR A DURATION OF NOT LESS THAN 90 MIN. REFER TO ELECTRICAL PLANS.
	INDICATES REQUIRED CLEAR MANEUVERING FLOOR SPACE AT DOORWAYS
	WINDOW PER WINDOW SCHEDULE. SEE SHEET AP-400 FOR SCHEDULES
	DOOR NUMBER PER DOOR SCHEDULE. REFER TO SHEET AP-400 FOR SCHEDULES
	RECESSED FIRE EXTINGUISHER CABINET
	INDICATES ROOM NAME
	INDICATES WALL TYPE - REFER WALL TYPE LEGEND

FLOOR PLAN NOTES	
NOTE:	CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK
NOTE:	ALL PLANS MUST BE APPROVED BY THE HEALTH DEPT & THE BUILDING AND SAFETY DEPT. PRIOR TO CONSTRUCTION
NOTE:	G.C. IS RESPONSIBLE FOR RECEIVING ALL EQUIPMENT, OFF-LOADING AND STORAGE OF RECEIVED EQUIPMENT.
NOTES:	1. 2022 CBC / CFC CHAPTER 10 COMPLIANT EGRESS PANIC HARDWARE REQ. ON ALL DOORS WITH EXIT SIGNS EITHER NEW OR EXISTING.
2.	PANIC HARDWARE IS REQUIRED WITH THE EXCEPTION BEING THE FRONT MAIN ENTRANCE DOOR. IT MAY COMPLY WITH 2022 CFC SECTION 1012.4
FLAME SPREAD OF FINISH MATERIALS:	INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.3 FOR THE GROUP AND LOCATION DESIGNATED.
THIS SIGN SHALL BE POSTED ABOVE OR NEXT TO MAIN ENTRY DOOR @ THE INTERIOR SIDE * THIS DOOR TO REMAIN UNLOCKED WHILE THIS SPACE IS OCCUPIED. LETTERS SHALL BE 1" HIGH ON CONTRASTING BACKGROUND.	
THE MEANS OF EGRESS TRAVEL, INCLUDING THE EXIT DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE. *LIGHTS SHALL BE EQUIPPED WITH VANDAL PROTECTION*	
EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 604.	
EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS, INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE MARKED BY EXIT SIGNS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET (30.48 MM) OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.	
NOTE:	EGRESS DOORS SHALL BE OPENABLE WITHOUT THE USE OF A KEY.

FLOOR PLAN KEY NOTES	
17	PREFABRICATED GALVANIZED ALUMINUM WALK-IN COOLER BOX. REFER TO SHEET A-535 FOR ADDITIONAL INFORMATION.
18	WALK-IN COOLER CONDENSING UNIT LOCATED ON ROOF ABOVE WALK-IN COOLER BOX. REFER TO WALK-IN COOLER DRAWINGS SHEET A-535 FOR ADDITIONAL INFORMATION. CONTRACTOR TO PROVIDE LIQUID AND SUCTION LINE SETS AS WELL AS POWER ON ROOF PER ELECTRICAL DRAWINGS.
19	LOCATION OF NEW MAIN PANEL ELECTRICAL PANEL / SUB PANEL. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
20	LOCATION OF RECESSED FIRE EXTINGUISHER CABINET WITH (1) 12A 120V FIRE EXTINGUISHER.
21	ACCESSIBLE LAVATORY TO BE INSTALLED PER SHEET D-200
22	ACCESSIBLE WATER CLOSET TO BE INSTALLED PER SHEET D-200
23	ACCESSIBLE URINAL TO BE INSTALLED PER SHEET D-200
24	ACCESSIBLE GRAB BAR TO BE INSTALLED AT 33" MIN - 36" MAX. TO TOP OF GRAB BAR. REFER TO SHEET D-200 FOR ADDITIONAL INFORMATION.
26	REQUIRED AIR CURTAIN WITH MICRO-SWITCH LOCATED ABOVE THE DESIGNATED DELIVERY DOOR. CONTRACTOR TO PROVIDE AND INSTALL UNIT, ELECTRICAL AND MICRO SWITCH

FLOOR PLAN KEY NOTES	
1	INTERNATIONAL SYMBOL OF ACCESSIBILITY PER 2022 CBC 11B-703.7.2.1
2	TACTILE EXIT SIGN PER 2022 CBC 11B-1013
3	EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 604.
4	EXISTING EXTERIOR BUILDING WALL TO REMAIN. 2X STUD FRAMING @ 16" O.C. WITH 5/8" TYPE "X" DRYWALL AT INTERIOR SIDE AND 7/8" MIN THICK STUCCO CEILING AT EXTERIOR SIDE.
5	NEW 2X4 METAL STUD FRAMING @ 16" O.C. WITH 1/2" GYPSUM WALL BOARD @ BOTH SIDES.
6	SPARE
7	SOLID SURFACE COUNTER TOP. INSTALL ON MIN 3/4" PLYWOOD SUB-TOP OVER CABINET BASE. INSTALL WITH LIQUID NAIL ADHESIVE OR EQUAL. REFER TO FINISH SCHEDULE FOR COLOR AND ADDITIONAL INFORMATION.
8	CUSTOM BUILT MDF CABINETS WITH SHELVES AND OR DOORS PER INTERIOR ELEVATIONS. INSTALL ON MIN 6" HIGH TOE KICK / CABINET BASE.
9	2" DIA HOLE CUT IN COUNTER-TOP TO ALLOW FOR POWER AND DATA CORDS TO PLUG IN.
10	SOLID SURFACE CUSTOMER COUNTER TO BE INSTALLED ON MIN 3/4" PLYWOOD SUB-TOP. INSTALL USING LIQUID NAIL ADHESIVE. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
11	DOOR PER DOOR SCHEDULE.
12	WALK UP SERVICE TRANSACTION SERVICE WINDOW PER PLAN. REFER TO WINDOW SCHEDULE ON SHEET A-005 FOR ADDITIONAL INFORMATION.
14	EQUIPMENT PER EQUIPMENT FLOOR PLAN AND EQUIPMENT SCHEDULE. REFER TO SHEET A-501 EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION.
15	NEW 20 GA 1-5/8" X 3-5/8" METAL STUD FURRING WALL WITH MIN 5/8" GYPSUM WALL AT 1 SIDE.

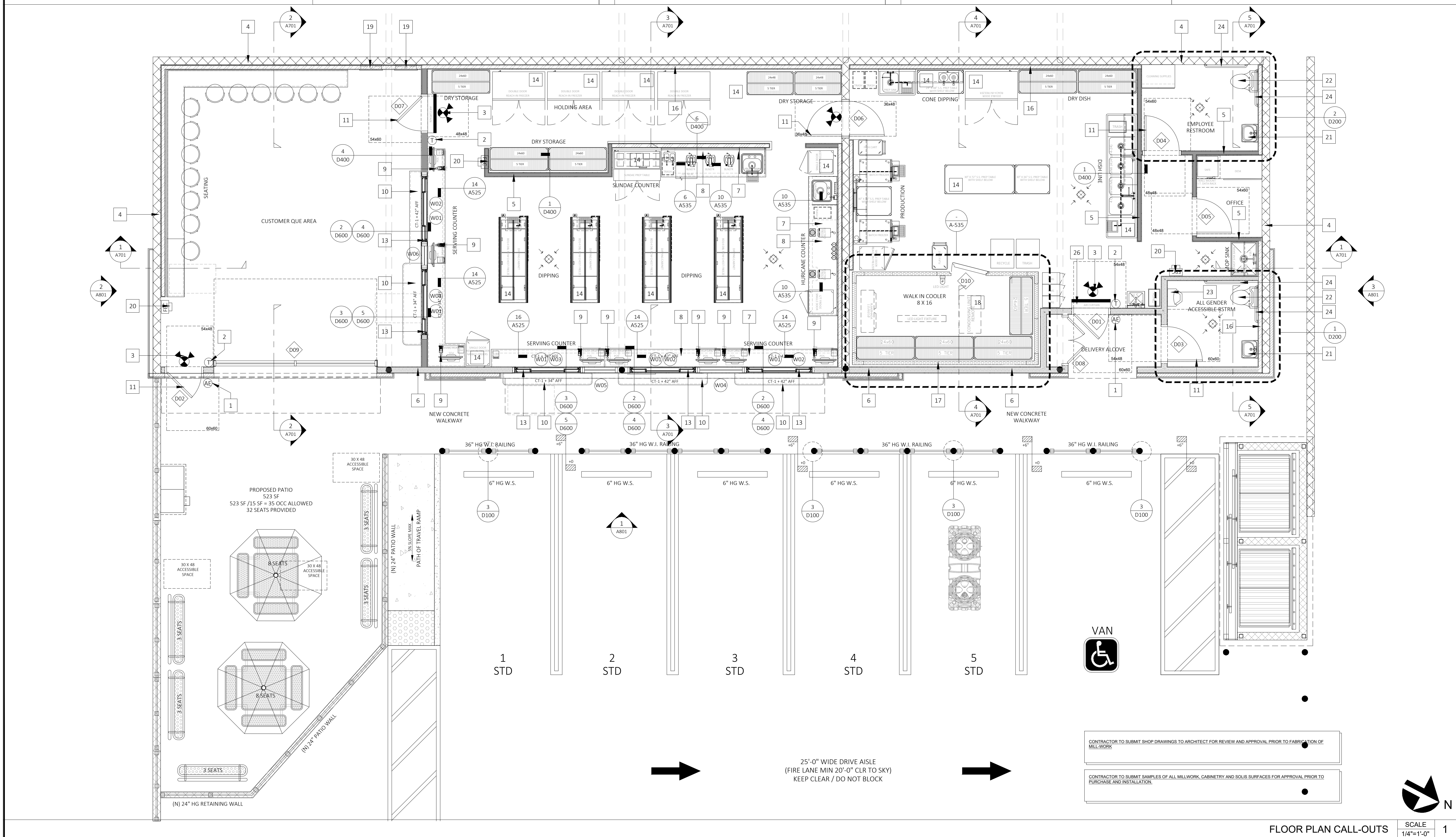
WALL SYMBOL LEGEND	
	(E) 8' x 8' x 16' CMU WALL WITH REINFORCING BARS AND FULLY GROUTED CELLS.
	NEW NON-BEARING 1-5/8 X 3-5/8" 20 GA METAL STUDS @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT EACH SIDE. 12'-0" HIGH WITH DIAGONAL BRACING @ MAX. 48" O.C. SEE DETAIL #14A00
	NEW EXTERIOR 2" X 4" STUD WALL WITH STUDS @ 16" O.C. INSTALL WITH MIN R-15 INSULATION IN WALL CAVITY. INSTALL WITH MIN 5/8" GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" THICK 3 COAT CEMENT STUCCO OVER WIRE MESH OVER PLYWOOD SHEATHING.
	NEW NON-BEARING 1-5/8 X 3-5/8" 20 GA METAL STUDS @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT EACH SIDE. 4'-0" HIGH WITH LOW WALL BRACING 32" O.C.
	NEW 1-1/2 X 3-5/8" 20GA METAL STUD FURRING WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD OF DENS-GLASS @ 1 SIDE. REFER TO FINISH SCHEDULE FOR WALL FINISHES.
	NEW 2' X 4' FURRING WALL WITH STUDS @ 16" O.C. INSTALL WITH MIN 7/8" THICK 3 COAT CEMENT STUCCO OVER WIRE MESH OVER PLYWOOD SHEATHING.
	PREFABRICATED GALVANIZED ALUMINUM WALK-IN COOLER BOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATION.

**ICON ARC INC**  
**ARCHITECTS AND PLANNERS**  
 14623 HAWTHORNE BLVD, #306  
 LAWDALE, CALIFORNIA 90260  
 PH. 310-750-8939, 424-456-4811  
 WWW.ICONARC.COM

STAMP

DATE SIGNED 03/28/2026  
THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED, COPIED, DULICATED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

OWNER / TENANT  
 ALLTY, INC  
 DBA: HANDEL'S ICE CREAM  
 TERRY YARWICK  
 1748 GRANITE HILLS DR  
 EL CAJON, CA 92019



PROJECT TITLE  
**HANDEL'S**  
 HOMEMADE ICE CREAM SINCE 1942

PROJECT ADDRESS  
**7995 LA MESA BLVD**  
**LA MESA, CA 91942**

REVISIONS		
NO.	DATE	DESCRIPTION
09/22/25		PC1 - SUBMITTAL SET
03/28/26		PC2 - DRB REVIEW CORR.

AGENCY STAMP

DRAWN BY: FRANK WRIGHT  
 CHECKED BY:  
 PRINTED ON: 03/28/2026  
 PERMIT NO:  
 TITLE  
**FLOOR PLAN CALL-OUTS**

SHEET #  
**A405**

NO. OF

SCALE  
 1/4"=1'-0" 1

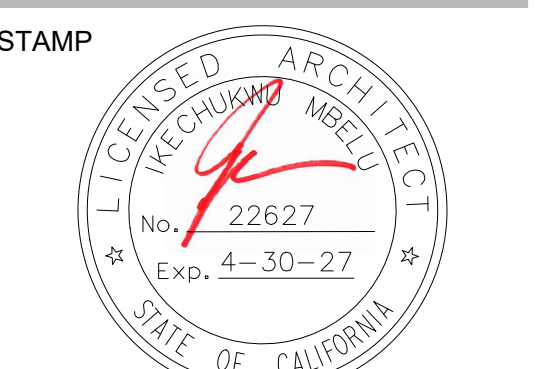
FLOOR PLAN CALL-OUTS

CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OF MILLWORK

CONTRACTOR TO SUBMIT SAMPLES OF ALL MILLWORK, CABINETRY AND SOLID SURFACES FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.







DATE SIGNED 03/28/2026  
THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED, COPIED, DULICATED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

OWNER / TENANT  
ALTTY. INC  
DBA: HANDEL'S ICE CREAM  
TERRY YARWICK  
1748 GRANITE HILLS DR  
EL CAJON, CA 92019



PROJECT TITLE  
7995 LA MESA BLVD  
LA MESA, CA 91942

NO.	DATE	DESCRIPTION
09/22/25		PC1 - SUBMITTAL SET
03/28/26		PC2 - DRB REVIEW CORR.

AGENCY STAMP

DRAWN BY: FRANK WRIGHT

CHECKED BY:

PRINTED ON: 03/28/2026

PERMIT NO:

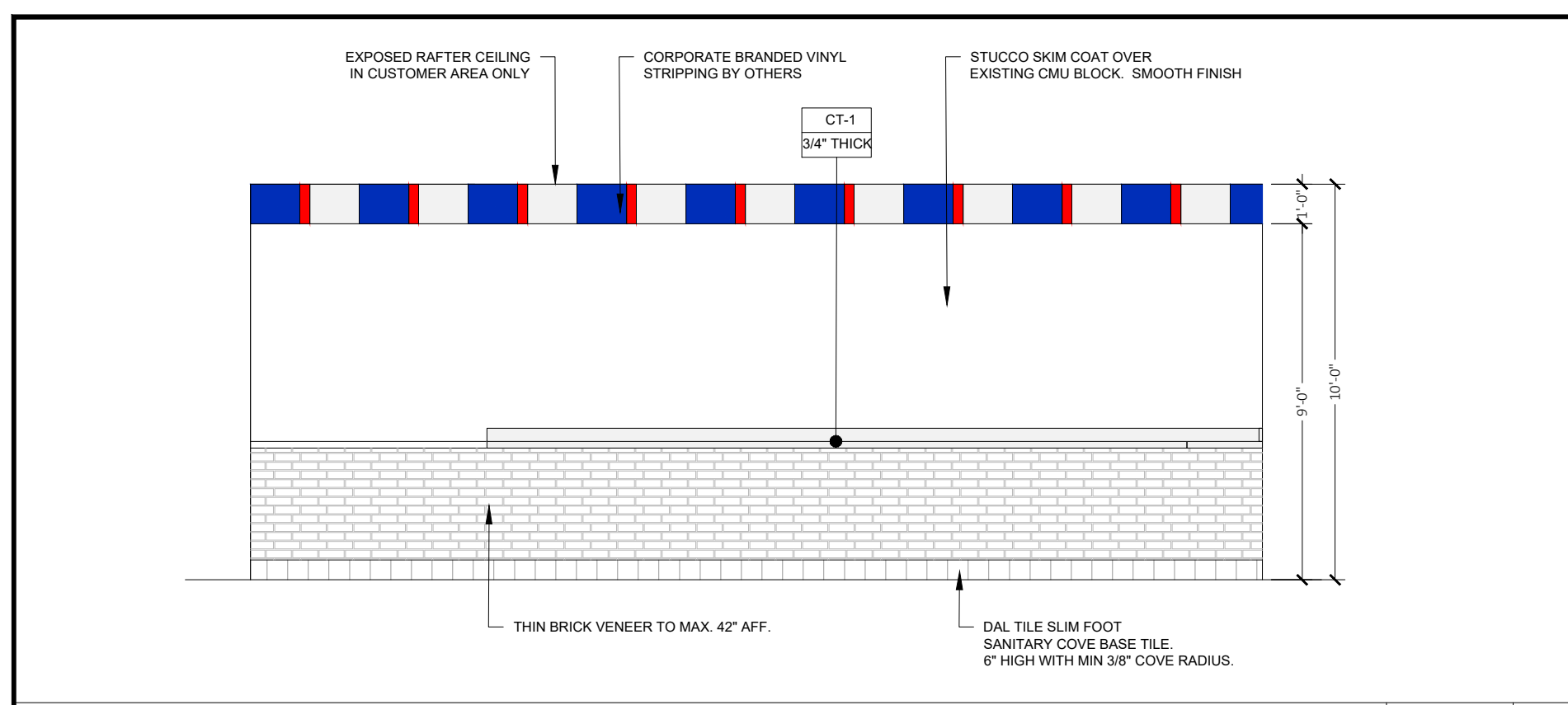
TITLE

**INTERIOR ELEVATIONS**

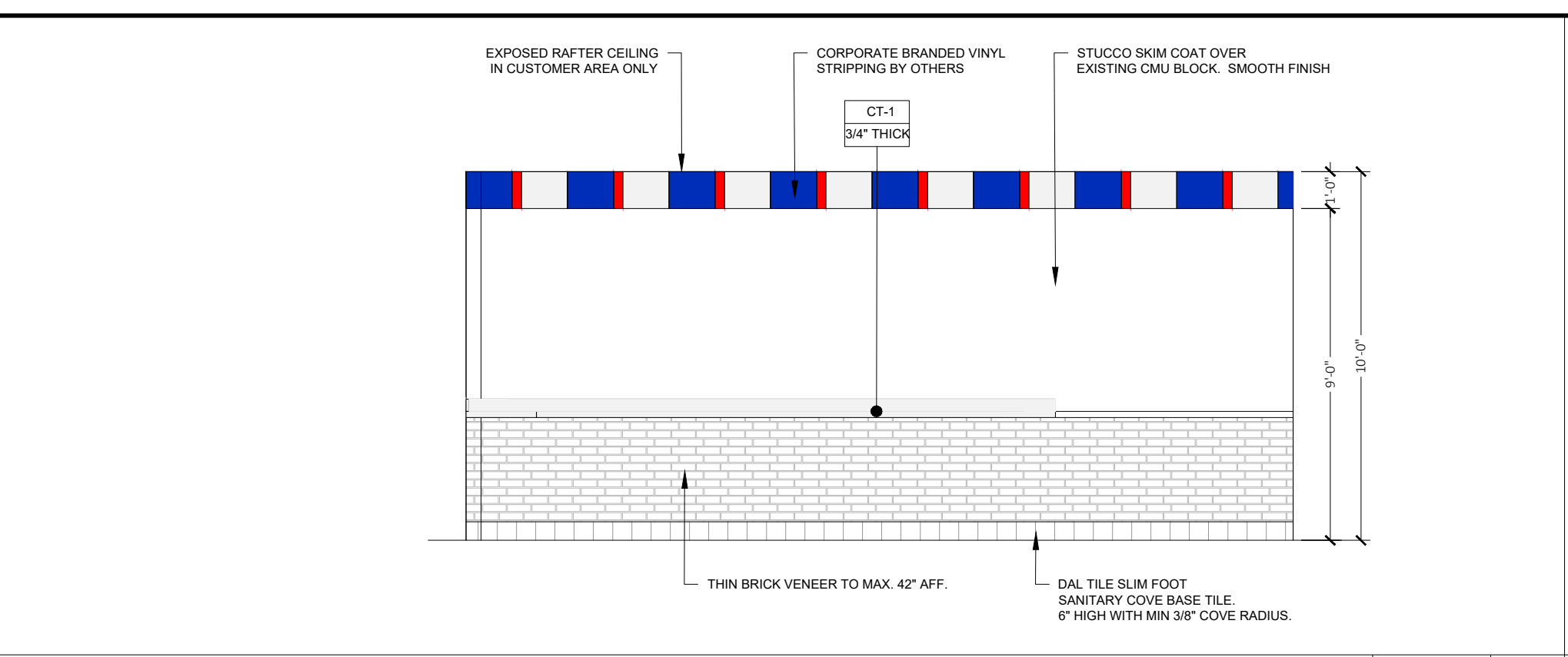
SHEET #

**A601**

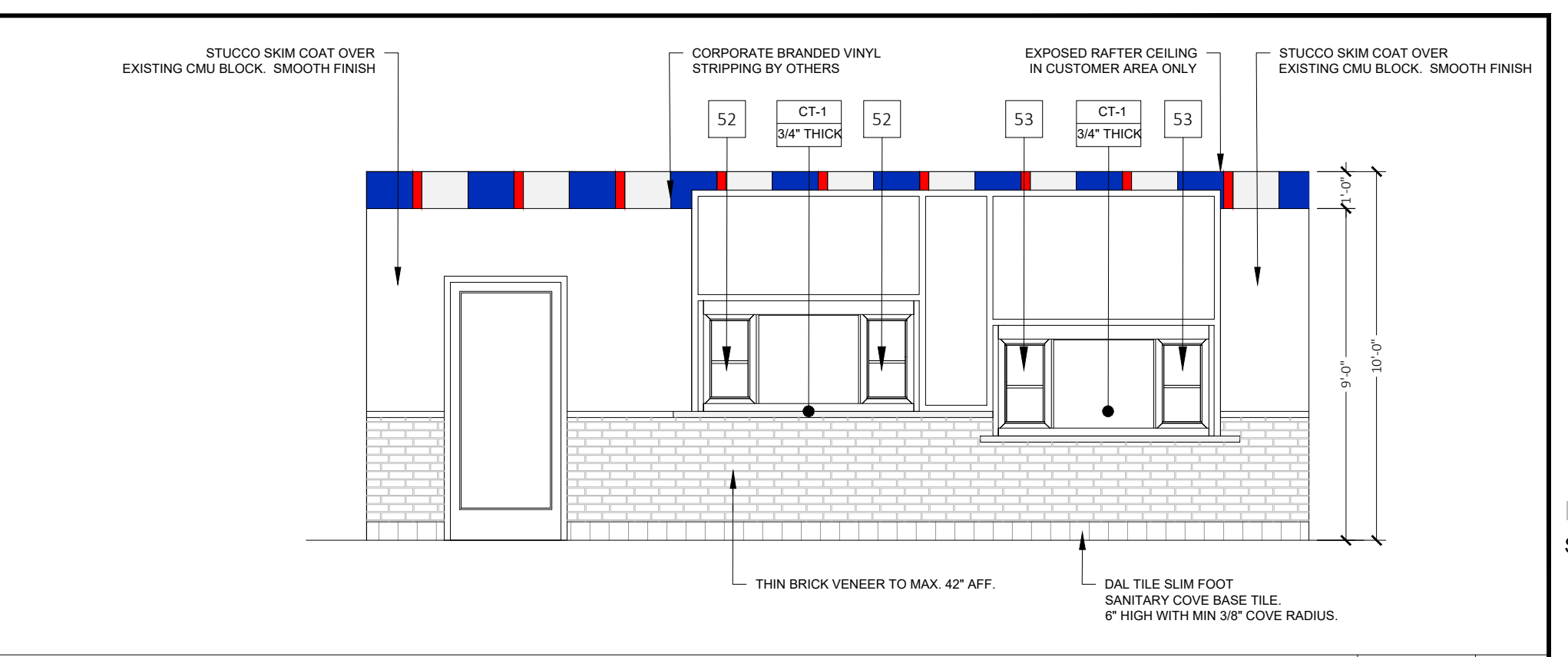
NO. OF



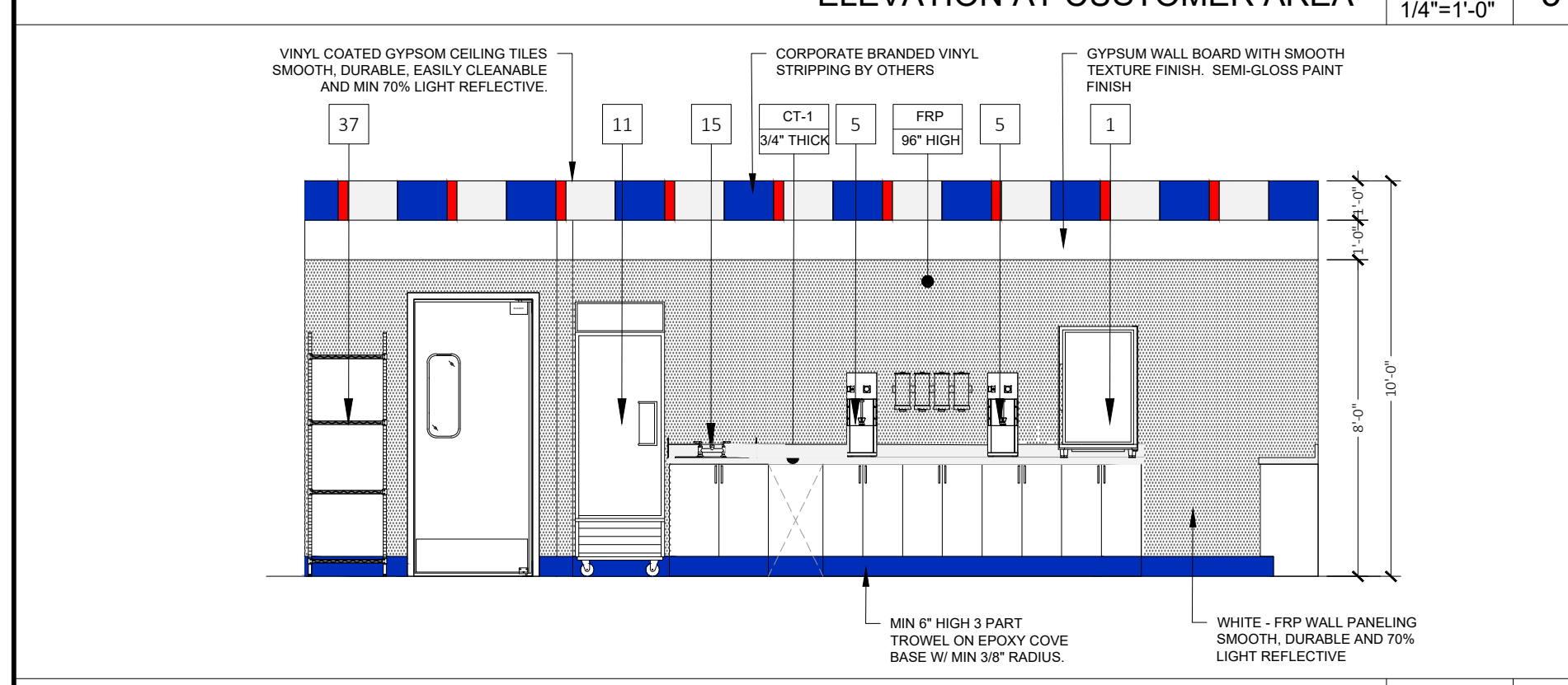
ELEVATION AT CUSTOMER AREA SCALE 1/4"=1'-0" 3



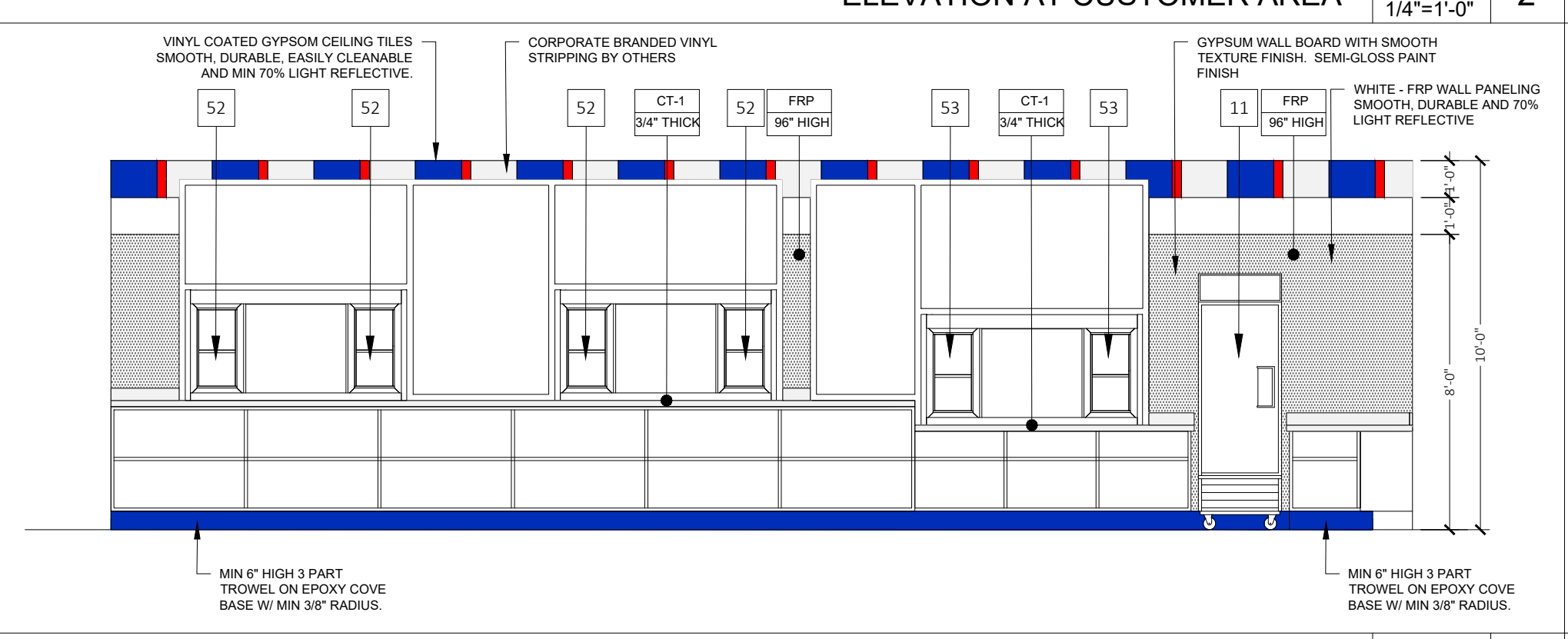
ELEVATION AT CUSTOMER AREA SCALE 1/4"=1'-0" 2



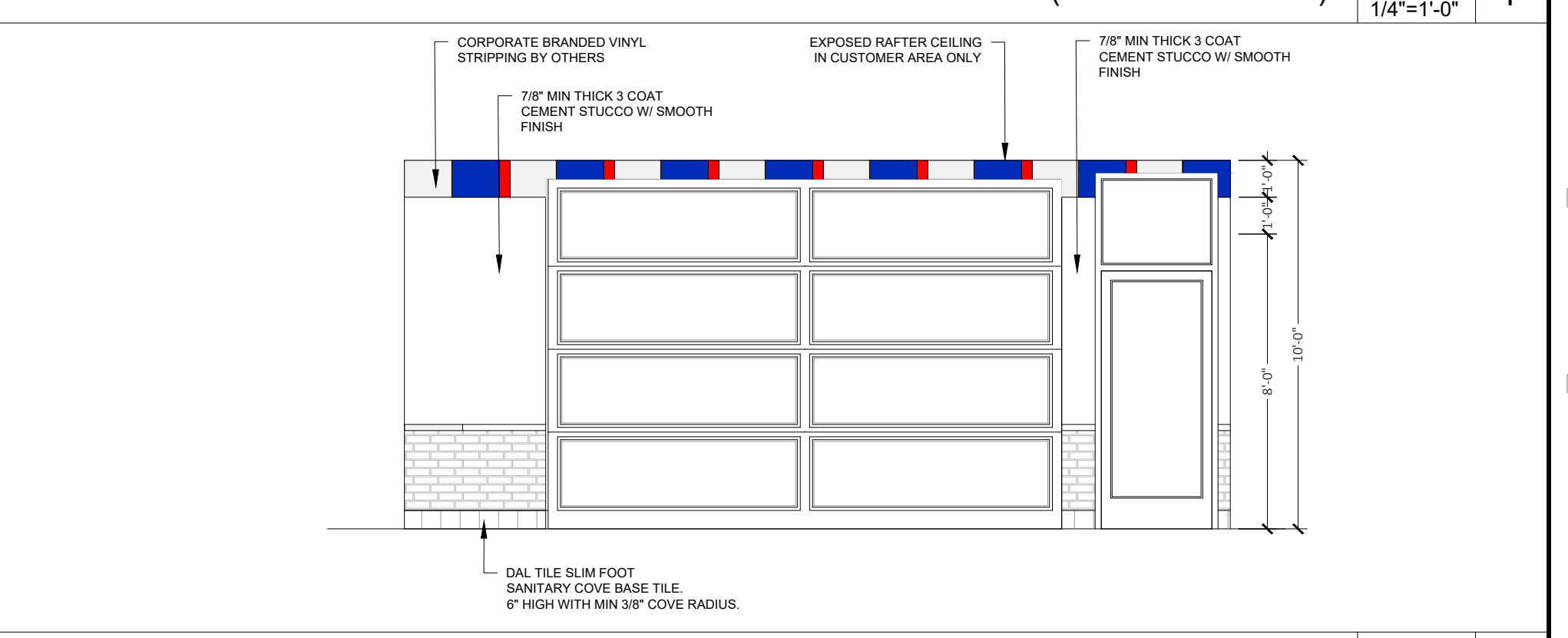
ELEVATION AT SERVICE COUNTER (CUSTOMER SIDE) SCALE 1/4"=1'-0" 1



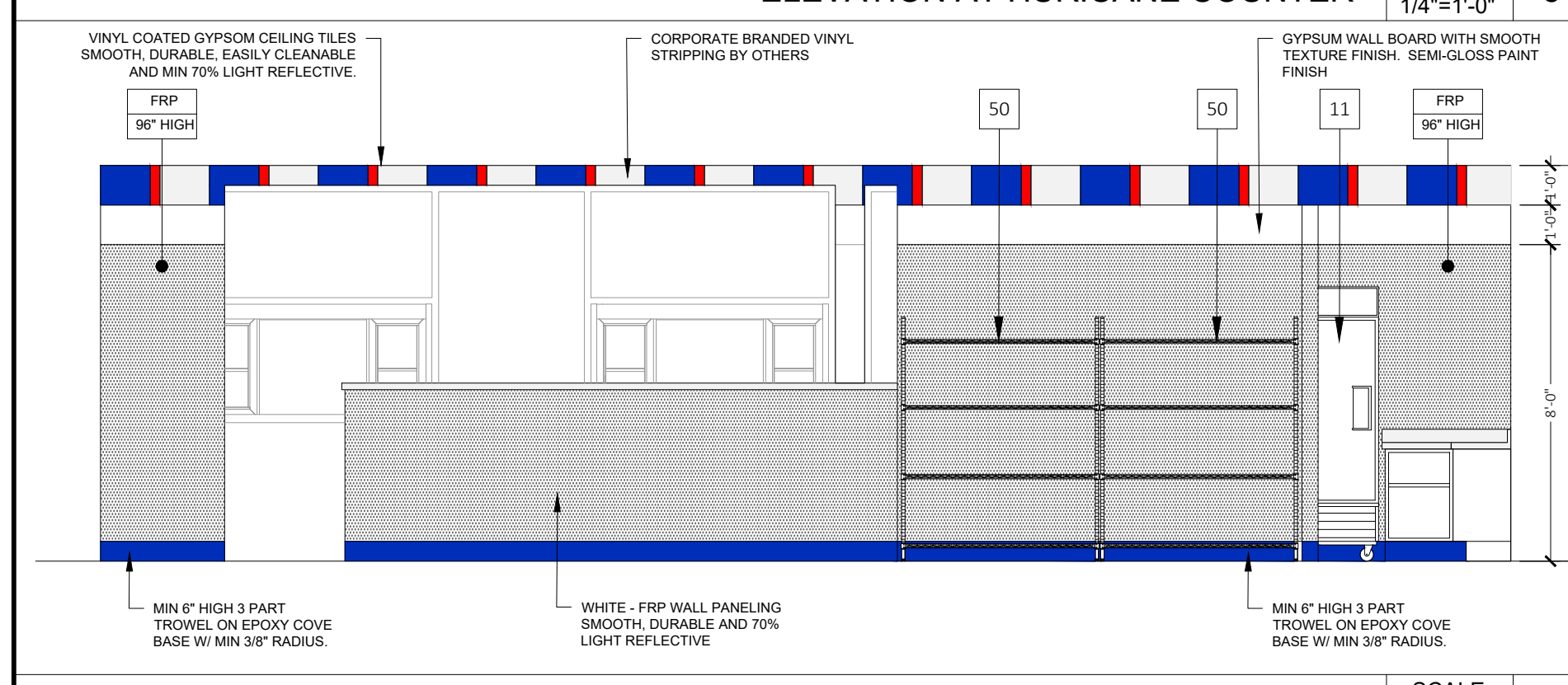
ELEVATION AT HURICANE COUNTER SCALE 1/4"=1'-0" 6



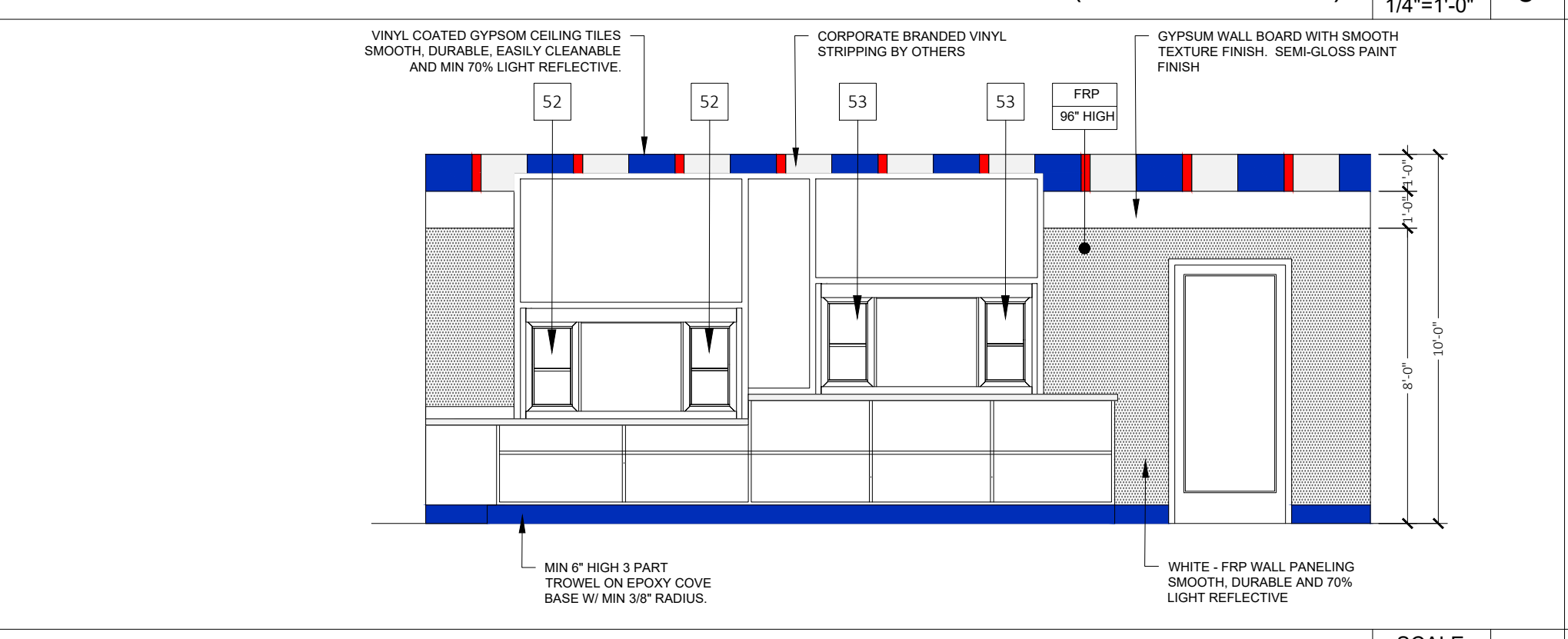
ELEVATION AT SERVING COUNTER (EMPLOYEE SIDE) SCALE 1/4"=1'-0" 5



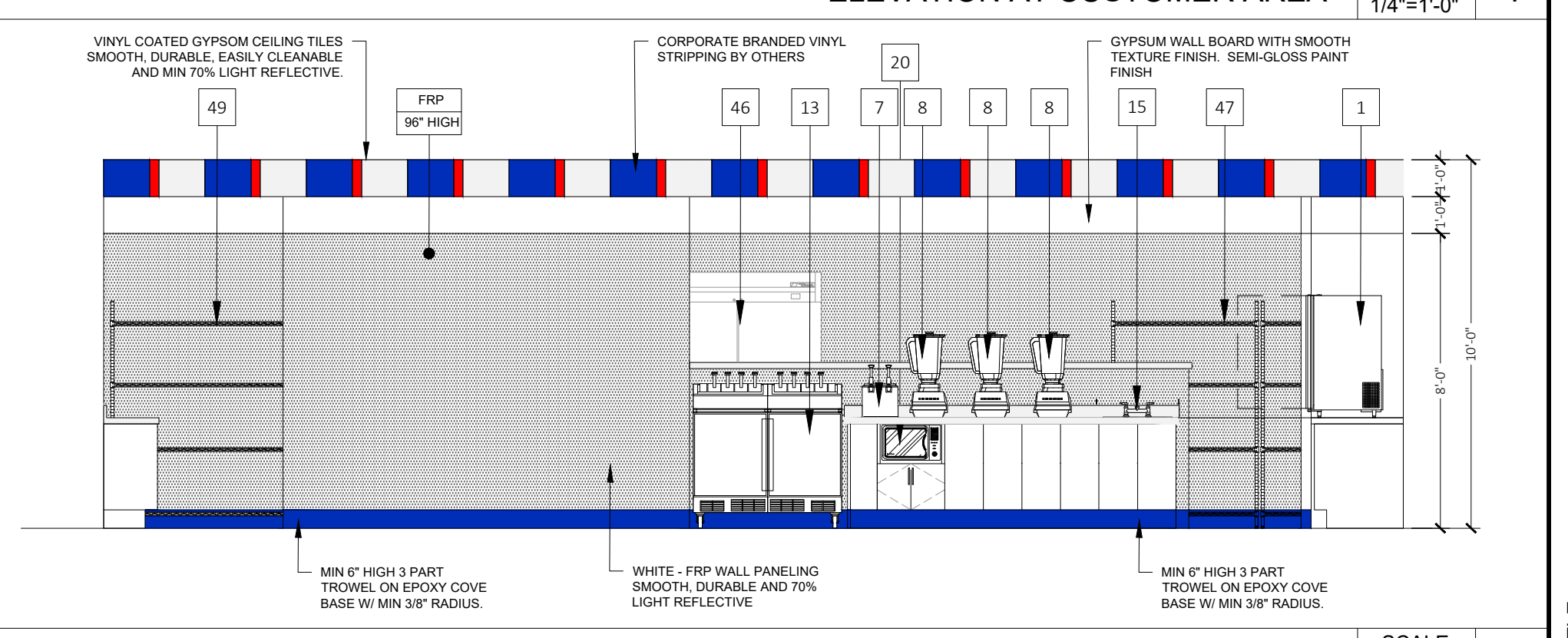
ELEVATION AT CUSTOMER AREA SCALE 1/4"=1'-0" 4



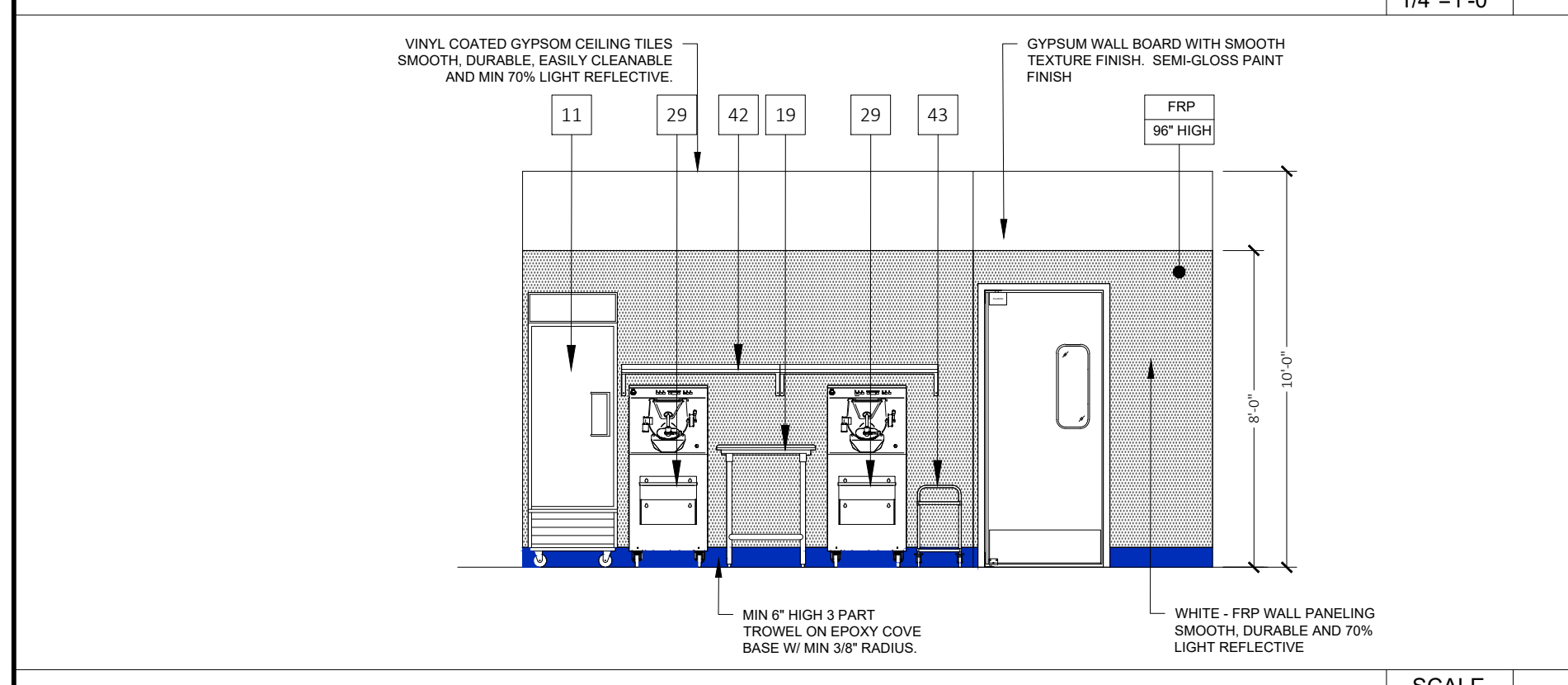
HOLDING AREA / DRY STORAGE SCALE 1/4"=1'-0" 9



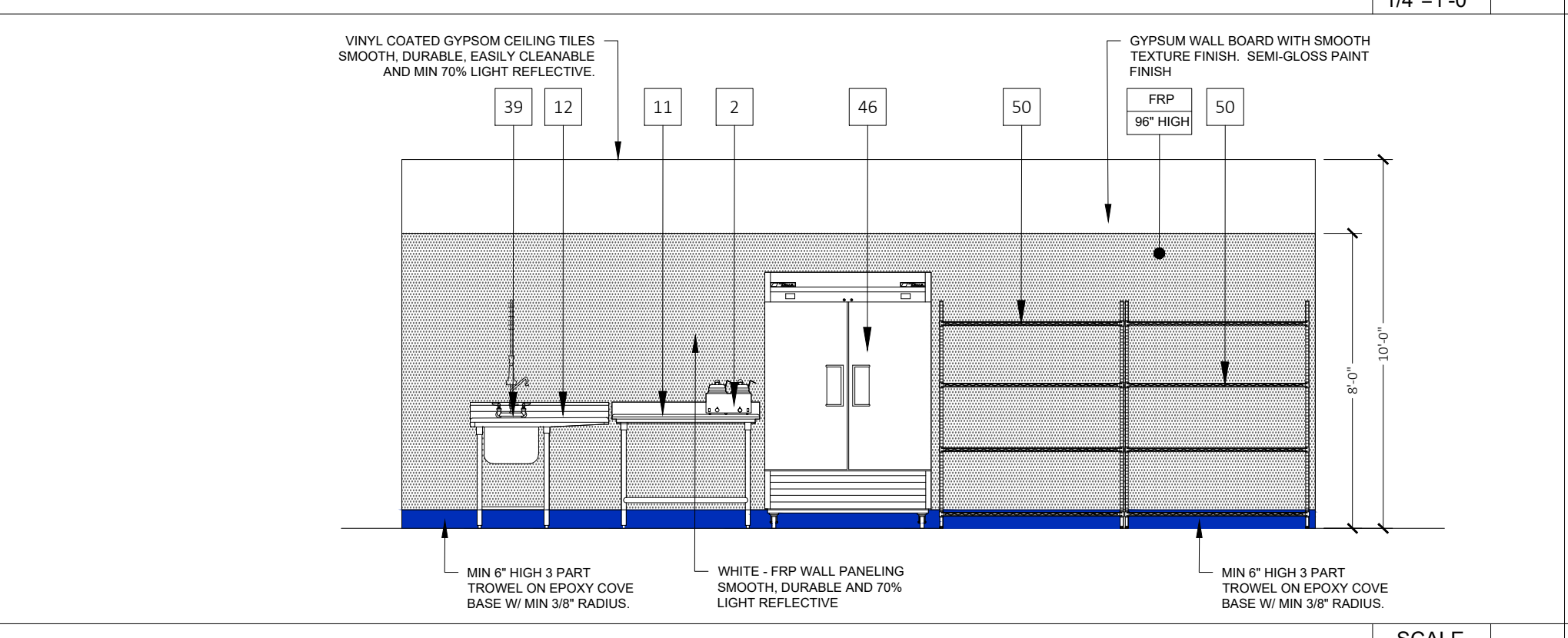
ELEVATION AT SERVING COUNTER (EMPLOYEE SIDE) SCALE 1/4"=1'-0" 8



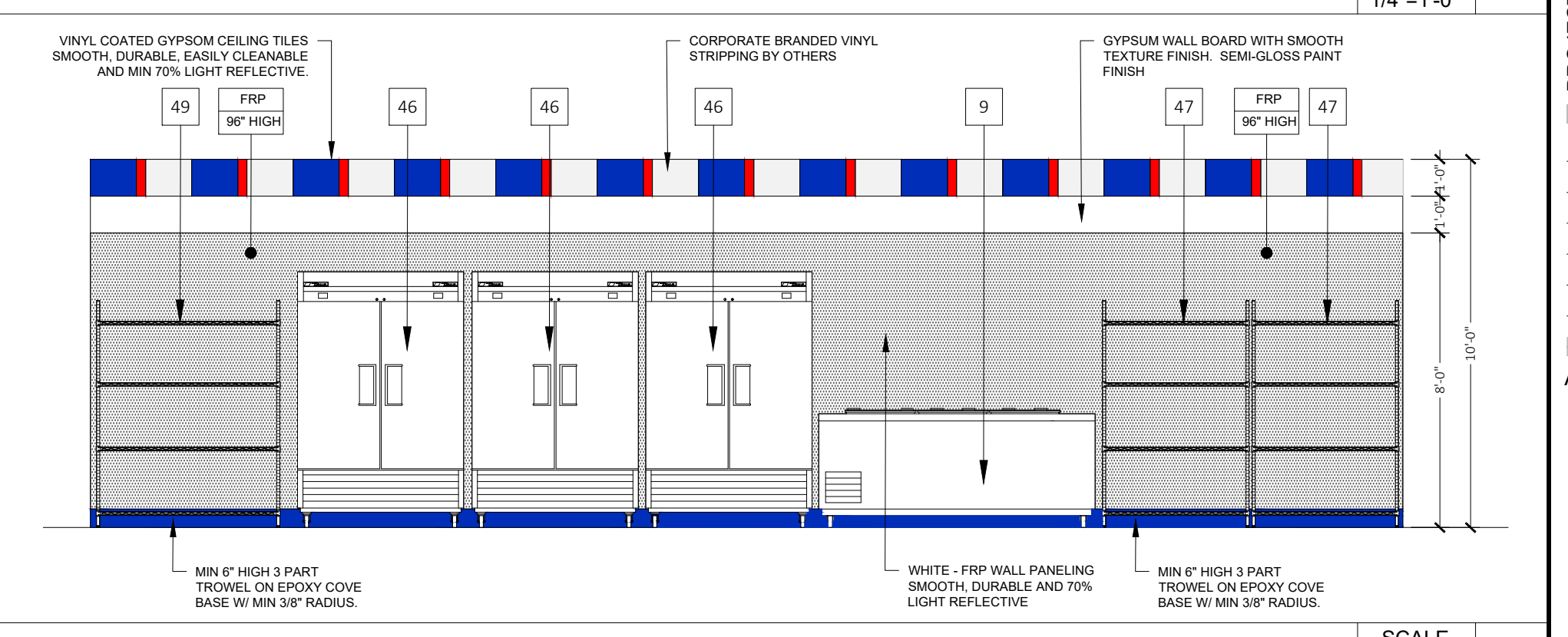
ELEVATION AT SUNDAE COUNTER SCALE 1/4"=1'-0" 7



ELEVATION AT PRODUCTION AREA SCALE 1/4"=1'-0" 12



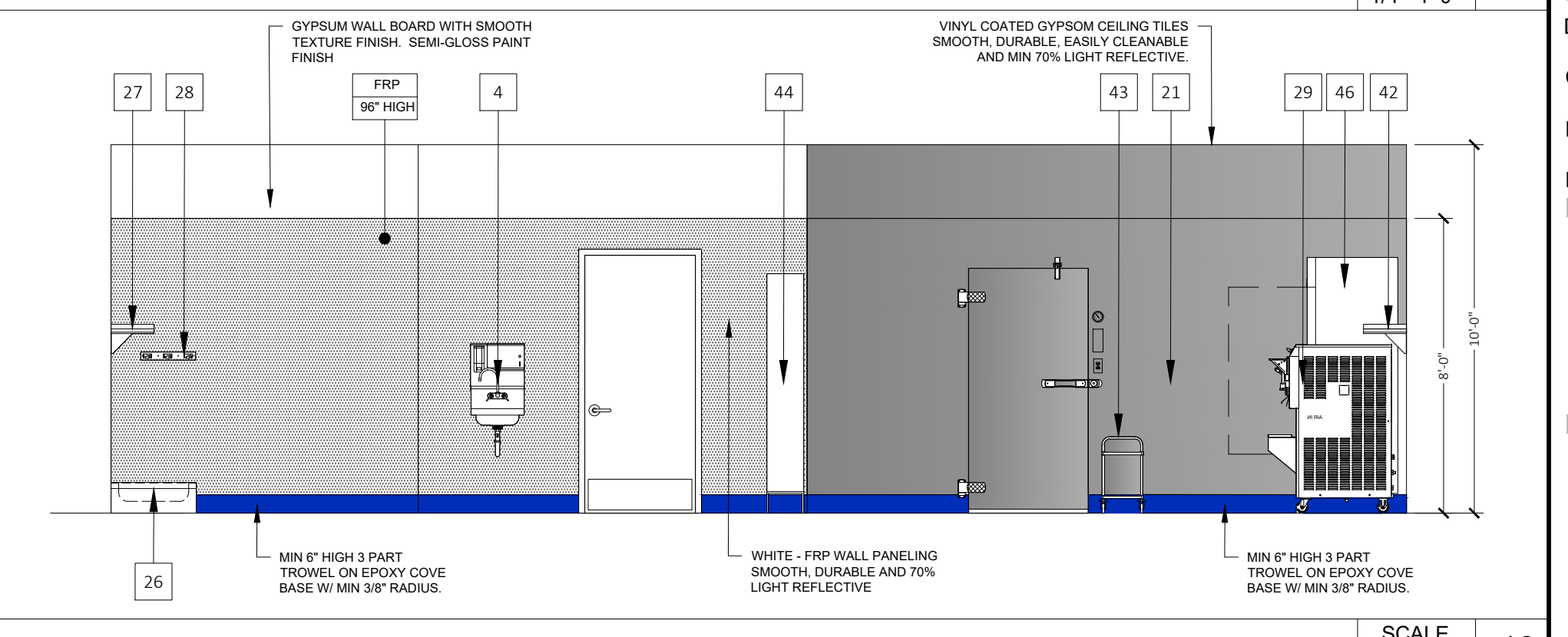
ELEVATION AT PREP AREA SCALE 1/4"=1'-0" 11



ELEVATION AT HOLDING AREA / DRY STORAGE SCALE 1/4"=1'-0" 10

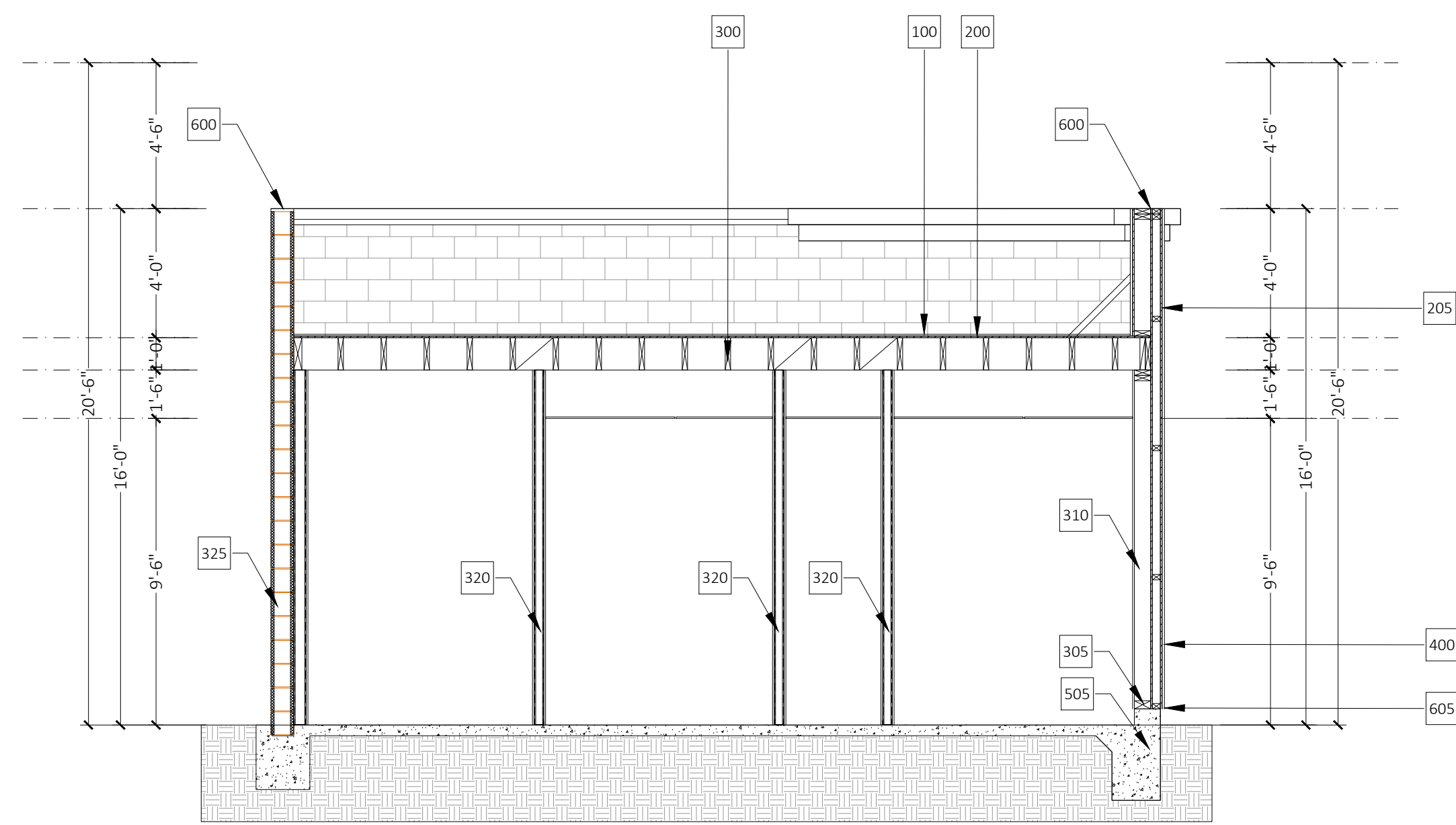


ELEVATION AT DISH LINE SCALE 1/4"=1'-0" 14

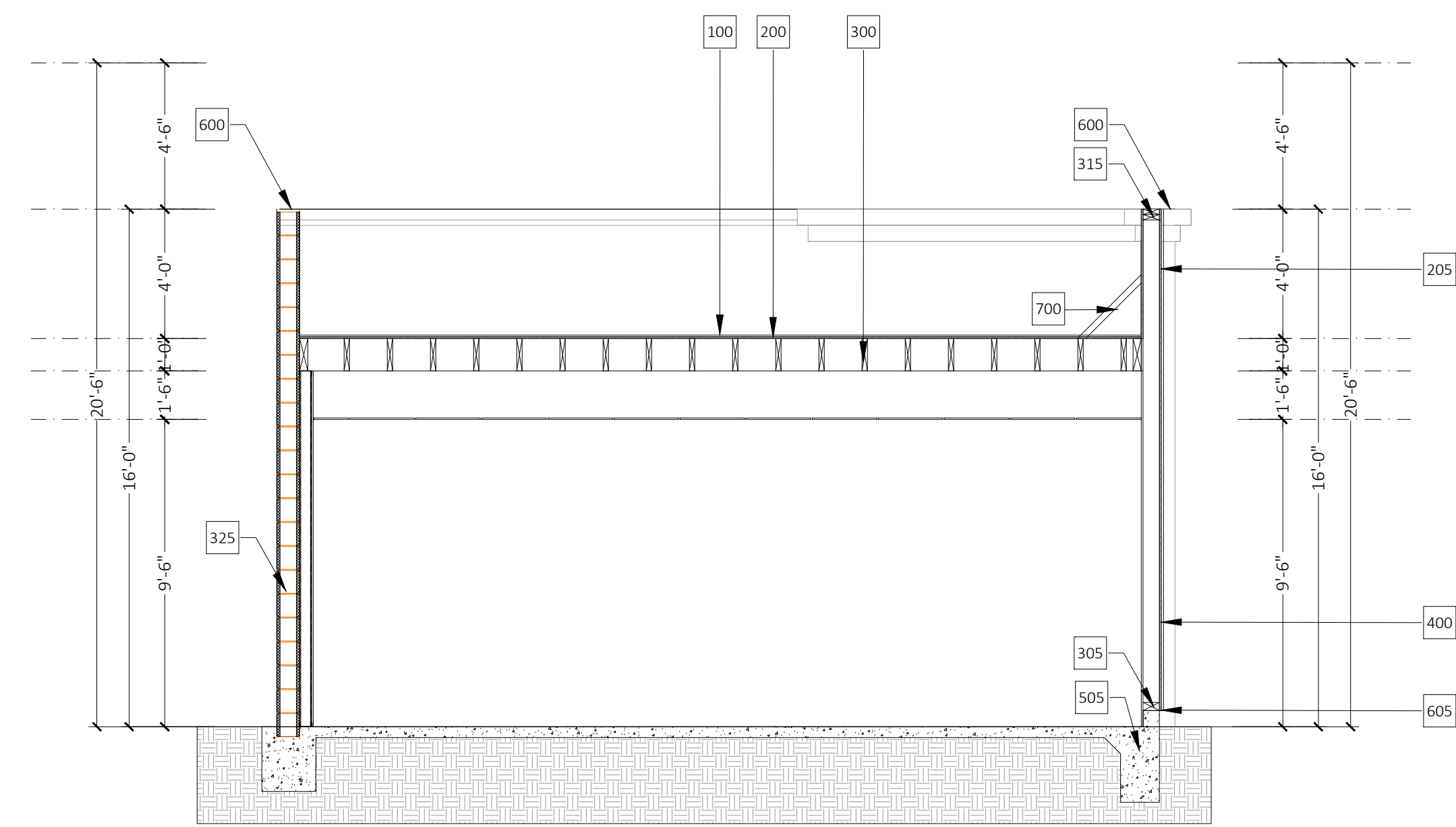


ELEVATION AT WALK-IN COOLER SCALE 1/4"=1'-0" 13

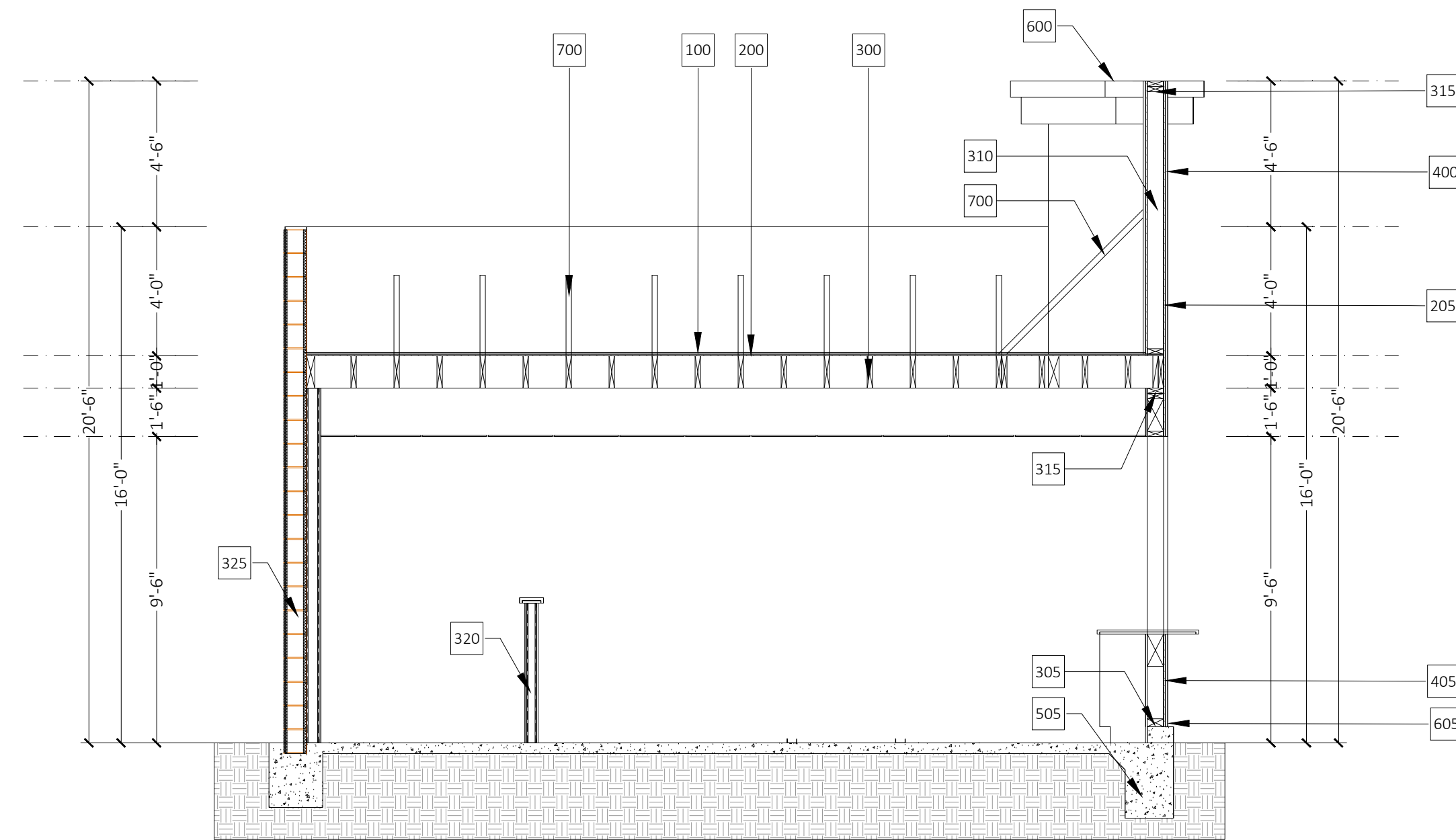
SCALE 1/4"=1'-0" 15



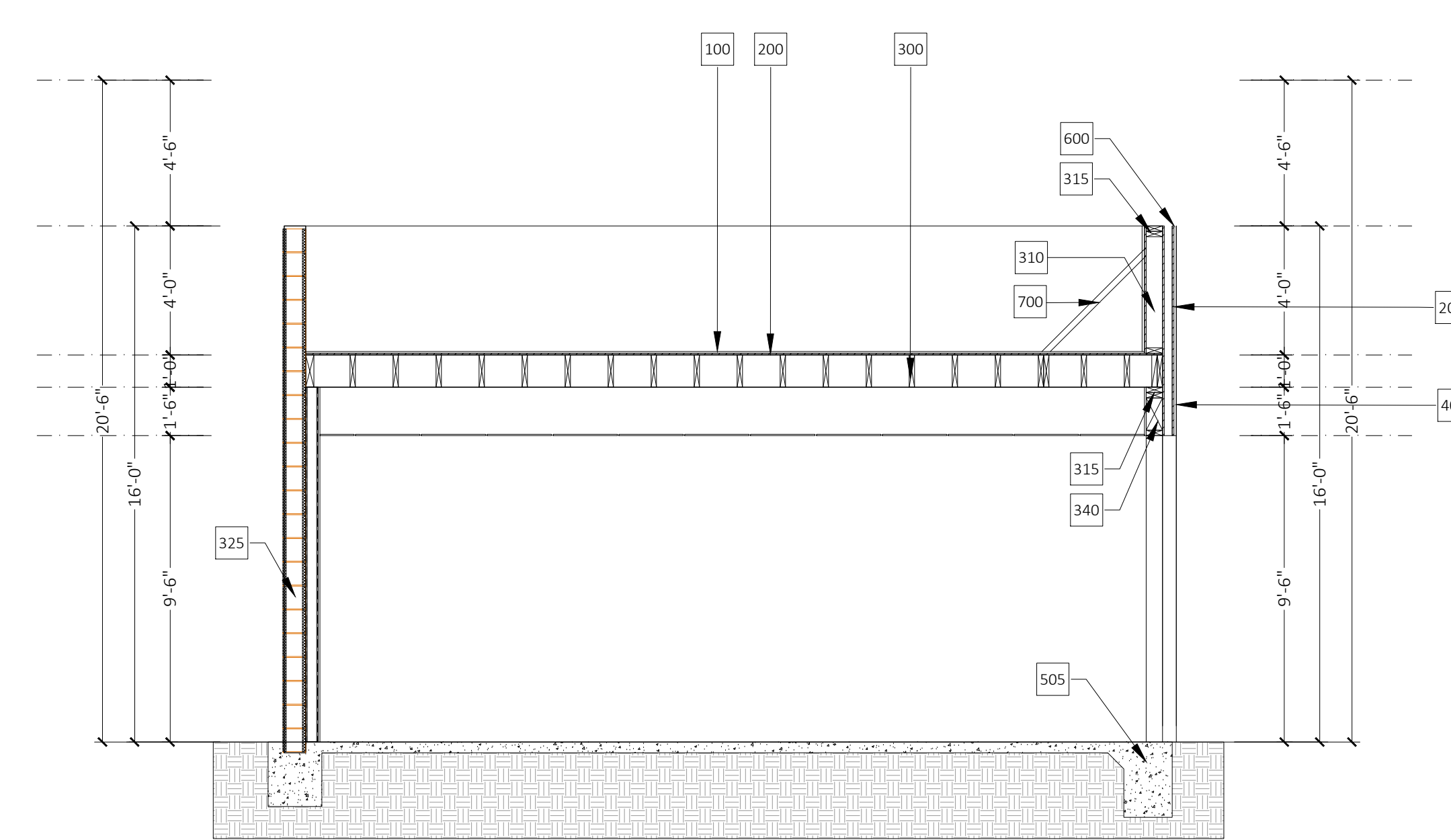
BUILDING SECTION SCALE 1/4"=1'-0" 5



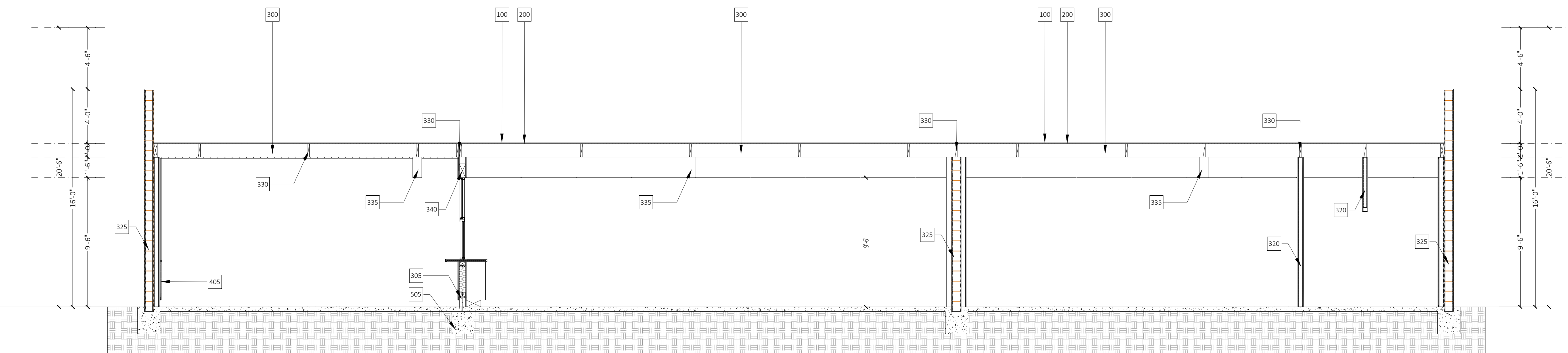
BUILDING SECTION SCALE 1/4"=1'-0" 4



BUILDING SECTION SCALE 1/4"=1'-0" 3



BUILDING SECTION SCALE 1/4"=1'-0" 2



KEYNOTE LEGEND	
KEY #	DESCRIPTION
100	NEW TORCH DOWN ROOFING OVER TWO LAYERS 3/8" FIBER PAPER OVER PLYWOOD SHEATHING.
200	NEW PLYWOOD ROOF SHEATHING PER STRUCTURAL PLAN.
205	NEW EXTERIOR PLYWOOD WALL SHEATHING PER STRUCTURAL PLAN.
300	EXISTING 2X ROOF FRAMING @ 24" O.C. TO REMAIN.
305	NEW 2X OR 3X PRESSURE TREATED SILL PLATE PER STRUCTURAL DRAWINGS.
310	NEW 2X6 STUDS @ 16" O.C.
315	NEW DBL 2X6 TOP PLATE.
320	NEW 1-5/8" X 3-5/8" NON LOAD BEARING METAL STUD WALL @ 16" O.C. INSTALL WITH MIN 5/8" GYPSUM WALL BOARD AT BOTH SIDES.
325	EXISTING CMU WALL TO REMAIN.
330	NEW 2X BLOCKING AS NEEDED. REFER TO STRUCTURAL PLAN FOR ADDITIONAL INFORMATION.
335	EXISTING BEAM OR HEADER PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL PLAN FOR ADDITIONAL INFORMATION.
340	NEW BEAM OR HEADER PER STRUCTURAL DRAWINGS.
345	NEW STEEL POST PER STRUCTURAL DRAWINGS.
400	NEW 7/8" MIN THICK 3/8" GDT CEMENT STUCCO OVER WIRE MESH OVER TWX OVER EXTERIOR WALL SHEATHING. 3/8" 20 MEDIUM TROWEL FINISH.
405	THIN BRICK VENEER INSTALLED OVER 1/2" THICK CEMENT MORTAR BED WITH MIN 1/4" INSET INTO CEMENT.
500	FOOTING PER STRUCTURAL DRAWINGS.
600	16 GA GALVANIZED SHEET METAL WALL CAP FLASHING WITH DRIP EDGE FLASHING.
605	20 GA GALVANIZED WEEP SCREEN FLASHING. NIB 4" ABOVE WALKWAY BELOW.
700	NEW PARAPET WALL BRACING. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.

**ICON ARC INC**  
**ARCHITECTS AND PLANNERS**  
 14623 HAWTHORNE BLVD, #306  
 LAWDALE, CALIFORNIA 90260  
 PH. 310-750-8939, 424-456-4811  
 WWW.ICONARC.COM



DATE SIGNED 03/28/2026  
 THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED, COPIED, DULICATED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

OWNER / TENANT  
 ALLTY, INC  
 DBA: HANDEL'S ICE CREAM  
 TERRY YARWICK  
 1748 GRANITE HILLS DR  
 EL CAJON, CA 92019



PROJECT TITLE  
 PROJECT ADDRESS  
**7995 LA MESA BLVD**  
**LA MESA, CA 91942**

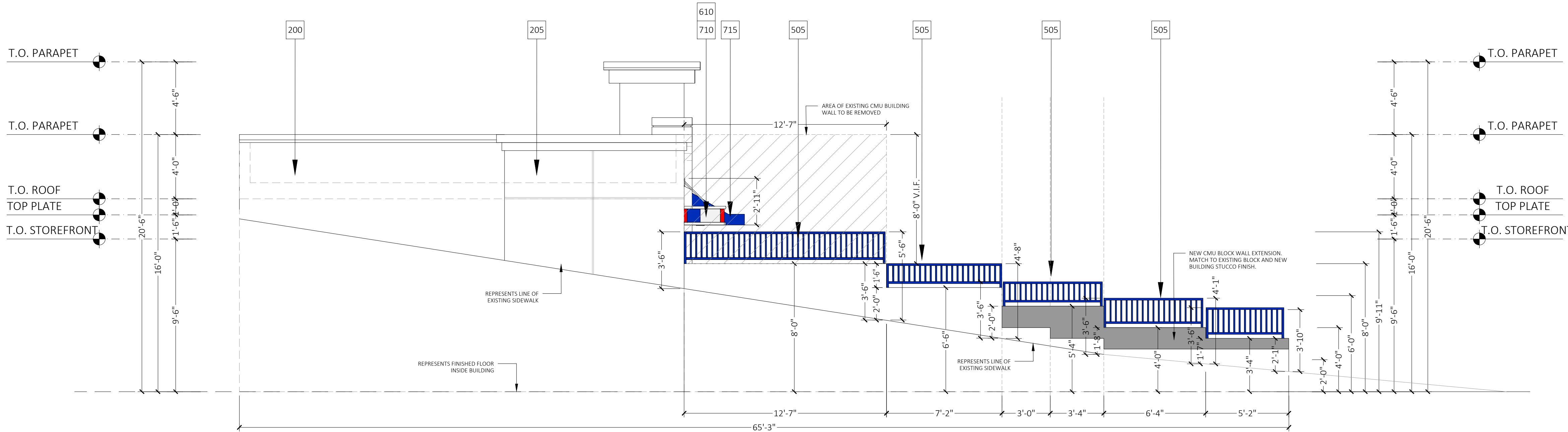
REVISIONS		
NO.	DATE	DESCRIPTION
09/22/25		PC1 - SUBMITTAL SET
03/28/26		PC2 - DRB REVIEW CORR.

AGENCY STAMP

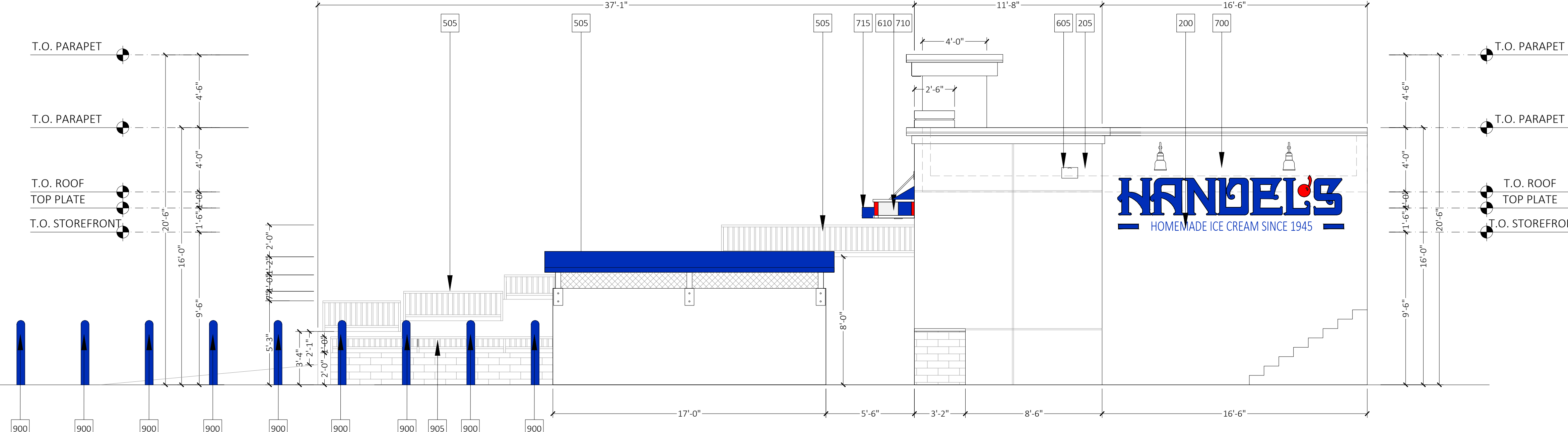
DRAWN BY: FRANK WRIGHT  
 CHECKED BY:  
 PRINTED ON: 03/28/2026  
 PERMIT NO:

TITLE  
**BUILDING SECTIONS**

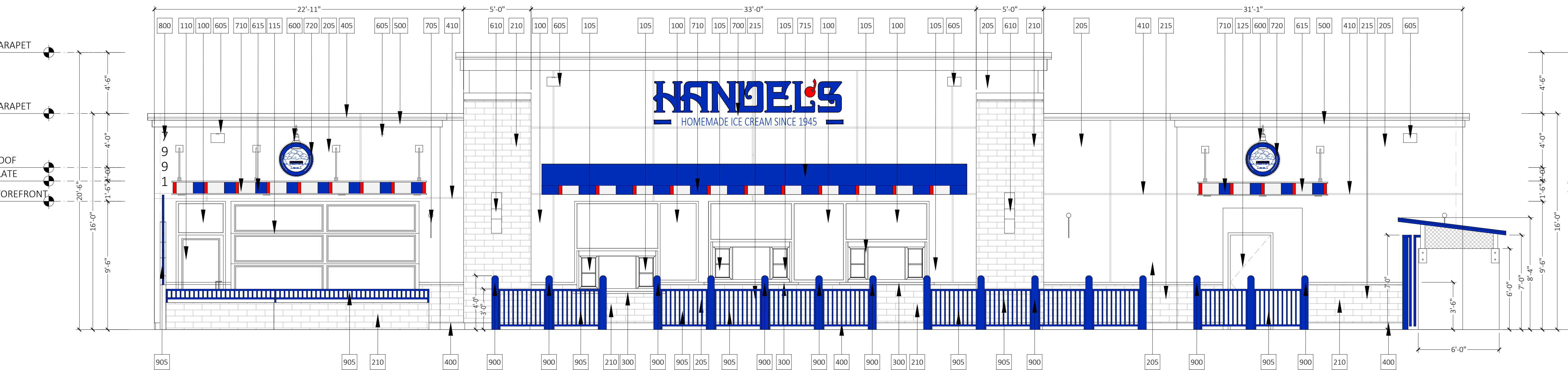
SHEET #  
**A701**  
 NO. OF



EAST ELEVATION SCALE 1/4"=1'-0" 3



WEST ELEVATION SCALE 1/4"=1'-0" 3



NORTH ELEVATION SCALE 1/4"=1'-0" 1

KEY #	DESCRIPTION
100	TEMPERED GLASS STOREFRONT SYSTEM TO BE INSTALLED ON 42" HIGH WALL BELOW. REFER TO WINDOW SCHEDULE ON SHEET A007 FOR ADDITIONAL INFORMATION.
105	TEMPERED GLASS STOREFRONT TRANSACTION SERVICE WINDOW LOCATION. OPENING TO BE RESTRICTED TO MAX 216 SQ IN PER HEALTH DEPT. REQUIREMENT. REFER TO WINDOW SCHEDULE ON SHEET A007
110	TEMPERED GLASS ENTRY DOOR. REFER TO DOOR SCHEDULE ON SHEET A006.
120	TEMPERED GLASS OVERHEAD GARAGE DOOR SYSTEM. REFER TO SHEET A006 FOR ADDITIONAL INFORMATION
125	SOLID CORE / METAL EXTERIOR DOOR. REFER TO DOOR SCHEDULE ON SHEET A006
200	MIN 7/8" THICK 3 COAT CEMENT STUCCO OVER EXISTING CMU WALL. LAHABRA 16 / 20 MEDIUM FLOAT FINISH. CRYSTAL WHITE COLOR.
205	MIN 7/8" THICK 3 COAT CEMENT STUCCO OVER WIRE MESH OVER TYVEK BUILDING WRAP OVER EXTERIOR SHEATHING PER STRUCTURAL PLAN. LAHABRA 16 / 20 MEDIUM FLOAT FINISH. CRYSTAL WHITE COLOR.
210	USE OLD MIL BRAND - BRICKWEBB BOSTON MILL - 4" X 8" X 1/2" THICK THIN BRICK VENER TO BE INSTALLED OVER 1/2" THICK MORTAR BED OVER WIRE MESH OVER TYVEK BUILDING WRAP OVER 5/8" PLYWOOD SHEETING. MORTAR USE - GRAPEVINE
300	EXTERIOR SOLID SURFACE COUNTER TOP PER PLAN. USE VICO STONE PURE WHITE 3/4" THICK. INSTALL OVER 3/4" PLYWOOD SUB-TOP USING LIQUID NAIL ADHESIVE. INSTALL WITH COUNTER-TOP METAL SUPPORT BRACKETS. REFER TO FINISH SCHEDULE FOR ADDITION.
400	20 GA GALVANIZED WEEP SCREED FLASHING INSTALL MIN 6" ABOVE FINISHED GRADE.
405	GALVANIZED SHEET METAL ROOF / WALL CAP FLASHING TO REMAIN. NO CHANGES.
410	20 GA GALVANIZED FRY RIGLET / STUCCO JOINT FLASHING.
500	STUCCO COVERED BUILT UP CROWN MOULDING. (1) 2"x12" WITH (3) 2"x6" OVER COVERED WITH STUCCO.
600	EXTERIOR LED WALL MOUNTED PARKING LOT LIGHTS WITH REFLECTIVE SHIELDS TO PREVENT GLARE AND TO CONTAIN LIGHTING TO WITH IN THE PROPERTY LINE.
605	EXTERIOR GOSSE NECK LED LIGHTS TO BE SELECTED BY OWNER. SELECTION TO BE SUBMITTED TO ARCHITECT AND CITY FOR REVIEW AND FINAL APPROVAL.
610	EXTERIOR WALL MOUNT WALL WASHED LIGHT FIXTURE. FIXTURE SELECTION TO BE SUBMITTED TO ARCHITECT AND CITY FOR REVIEW AND FINAL APPROVAL.
615	METAL PREFABRICATED SUSPENSION AWNING TO BE INSTALLED PER MANUFACTURE SPECIFICATIONS. SHOP DRAWINGS TO BE SUBMITTED TO ARCHITECT FOR APPROVAL.
700	PROPOSED LOCATION OF EXTERIOR TENANT CHANNEL LETTER SIGN. ALL SIGNS TO BE SUBMITTED AND REVIEWED UNDER SEPARATE SIGN PERMIT AND SHALL BE PER CITY SIGN CRITERIA. SIGNS TO BE REVIEWED AND APPROVED BY HANDEL'S CORPORATION PRIOR TO SUBMITTAL TO THE CITY FOR REVIEW AND PERMITTING. CONTRACTOR TO COORDINATE INSTALL AND MOUNTING REQUIREMENTS WITH SIGN CONTRACTOR. CONTRACTOR TO PROVIDE APPROPRIATE BACKING AS REQUIRED BY SIGN DRAWINGS AND DETAILS. SIGNS TO BE INSTALLED BY SIGN CONTRACTOR.
705	LOCATION OF PROPOSED BLADE SIGN TO BE INSTALLED AT 84" A.F.F. ALL SIGNS TO BE SUBMITTED AND REVIEWED UNDER SEPARATE SIGN PERMIT AND SHALL BE PER CITY SIGN CRITERIA. SIGNS TO BE REVIEWED AND APPROVED BY HANDEL'S CORPORATION PRIOR TO SUBMITTAL TO THE CITY FOR REVIEW AND PERMITTING. CONTRACTOR TO COORDINATE INSTALL AND MOUNTING REQUIREMENTS WITH SIGN CONTRACTOR. CONTRACTOR TO PROVIDE APPROPRIATE BACKING AS REQUIRED BY SIGN DRAWINGS AND DETAILS. SIGNS TO BE INSTALLED BY SIGN CONTRACTOR.
710	HANDEL'S ALUMINUM BRANDED STRIPPED BAND TO BE ATTACHED TO METAL AWNING. ALL AWNINGS TO BE SUBMITTED AND REVIEWED UNDER SEPARATE SIGN PERMIT. SIGN TO BE REVIEWED AND APPROVED BY HANDEL'S CORPORATION PRIOR TO SUBMITTAL TO THE CITY FOR REVIEW AND PERMITTING. CONTRACTOR TO COORDINATE INSTALL AND MOUNTING REQUIREMENTS WITH SIGN CONTRACTOR. CONTRACTOR TO PROVIDE APPROPRIATE BACKING AS REQUIRED BY SIGN DRAWINGS AND DETAILS. TO BE INSTALLED BY SIGN CONTRACTOR. NO INTERNAL ILLUMINATION ALLOWED.
715	LOCATION OF PROPOSED FRAMED BUILDING OVERHANG WITH BLUE POWDER COATED METAL ROOF. NO INTERNAL OR BACK LIGHTING SHALL BE PERMITTED AT ANY AWNINGS OR OVERHANGS PER CITY SIGN STANDARDS.
720	LOCATION OF PROPOSED CLIP LOGO SIGN. ALL SIGNS TO BE SUBMITTED AND REVIEWED UNDER SEPARATE SIGN PERMIT. SIGNS TO BE REVIEWED AND APPROVED BY HANDEL'S CORPORATION PRIOR TO SUBMITTAL TO THE CITY FOR REVIEW AND PERMITTING. CONTRACTOR TO COORDINATE INSTALL AND MOUNTING REQUIREMENTS WITH SIGN CONTRACTOR. CONTRACTOR TO PROVIDE APPROPRIATE BACKING AS REQUIRED BY SIGN DRAWINGS AND DETAILS. SIGNS TO BE INSTALLED BY SIGN CONTRACTOR. NO INTERNAL OR BACK LIGHTING SHALL BE PERMITTED PER CITY SIGN STANDARDS.
800	LOCATION OF CITY APPROVED ADDRESS NUMBERS. ADDRESS SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY AND NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. NUMBERS SHALL BE A MINIMUM OF EIGHT INCHES (8") HIGH AND ONE-HALF (1 1/2") STROKE FOR COMMERCIAL, MULTI-RESIDENTIAL BUILDING, AND INDUSTRIAL BUILDINGS. REFERENCE 2025 CALIFORNIA FIRE CODE SECTION 505.1 AS AMENDED BY THE CITY OF LA MESA.
900	CONCRETE FILLED STEEL ROLLARDS TO BE PAINTED HANDEL'S APPROVED BLUE. REFER TO BRANDING STANDARD GUIDELINES FOR ADDITIONAL INFORMATION.
905	POWDER COATED WROUGHT IRON RAILING TO BE INSTALLED TO VARIOUS HEIGHTS. REFER TO PLANS FOR ADDITIONAL INFORMATION.

METAL ROOFING CALCULATION	
TOTAL BUILDING WALL AREA	= 1,745 SF
ALLOW 50% BUILDING WALL AREA PROVIDED METAL ROOFING AREA	= 174.5 SF ALLOWED
	= 312 SF
METAL SUSPENDED AWNING #1	12'H x 19'0" L = 19.00 SF
METAL SUSPENDED AWNING #2	12'H x 9'8" L = 9.75 SF
TOTAL METAL USED	= 140.75 SF

**ICON ARC INC**  
**ARCHITECTS AND PLANNERS**  
 14623 HAWTHORNE BLVD, #306  
 LAWDALE, CALIFORNIA 90260  
 PH. 310-750-8939, 424-456-4811  
 WWW.ICONARC.COM



DATE SIGNED 03/28/2026  
 THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE DUPLICATED OR ALTERED IN PART OR AS A WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

OWNER / TENANT  
 ALLTY, INC  
 DBA: HANDEL'S ICE CREAM  
 TERRY YARWICK  
 1748 GRANITE HILLS DR  
 EL CAJON, CA 92019

PROJECT TITLE  
**7995 LA MESA BLVD**  
**LA MESA, CA 91942**  
 PROJECT ADDRESS

NO.	DATE	DESCRIPTION
09/22/25	PC1 - SUBMITTAL SET	
03/28/26	PC2 - DRB REVIEW CORR.	

AGENCY STAMP

DRAWN BY: FRANK WRIGHT

CHECKED BY:

PRINTED ON: 03/28/2026

PERMIT NO:

TITLE

**BUILDING ELEVATIONS**

SHEET #

**A801**

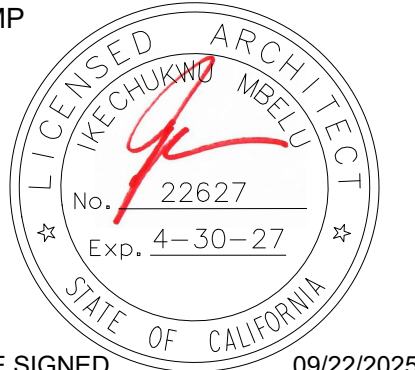
NO. OF



ICON ARC INC.  
ARCHITECTS AND PLANNERS

14623 HAWTHORNE BLVD, #306  
LAWDALE, CALIFORNIA 90260  
PH. 310-750-8939, 424-456-4811  
WWW.ICONARC.COM

STAMP



DATE SIGNED 09/22/2025  
THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED, COPIED, DULICATED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

OWNER / TENANT  
ALLTY, INC  
DBA: HANDEL'S ICE CREAM  
TERRY YARWICK  
1748 GRANITE HILLS DR  
EL CAJON, CA 92019



HANDEL'S  
HOMEMADE ICE CREAM SINCE 1943



7995 LA MESA BLVD  
LA MESA, CA 91942

PROJECT TITLE

REVISIONS	NO	DATE	DESCRIPTION
	09/22/25	PC1 - SUBMITTAL SET	

AGENCY STAMP

DRAWN BY: FRANK WRIGHT

CHECKED BY:

PRINTED ON: 09/22/2025

PERMIT NO:

TITLE

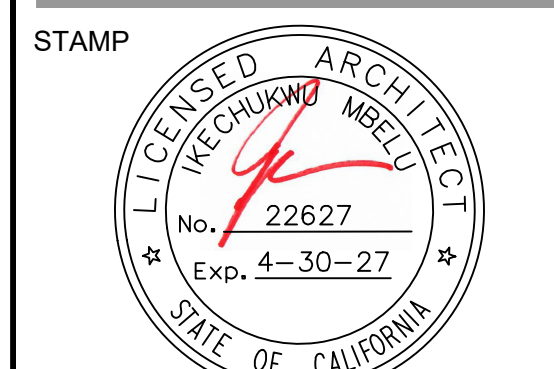
SITE SURVEY

SHEET #

C001

NO. OF





DATE SIGNED 03/28/2026  
THIS DESIGN AND DRAWING IS FOR USE ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON ARC INC. AND SHALL NOT BE REPRODUCED, COPIED, DULICATED OR ALTERED IN PART OR IN WHOLE WITHOUT WRITTEN APPROVAL OF ICON ARC INC.

OWNER / TENANT  
ALTY, INC  
DBA: HANDEL'S ICE CREAM  
TERRY YARWICK  
1748 GRANITE HILLS DR  
EL CAJON, CA 92019



PROJECT TITLE  
**7995 LA MESA BLVD**  
**LA MESA, CA 91942**  
PROJECT ADDRESS

NO.	DATE	DESCRIPTION
09/22/25		PC1 - SUBMITTAL SET
03/28/26		PC2 - DRB REVIEW CORR.

AGENCY STAMP

DRAWN BY: FRANK WRIGHT

CHECKED BY:

PRINTED ON: 03/28/2026

PERMIT NO:

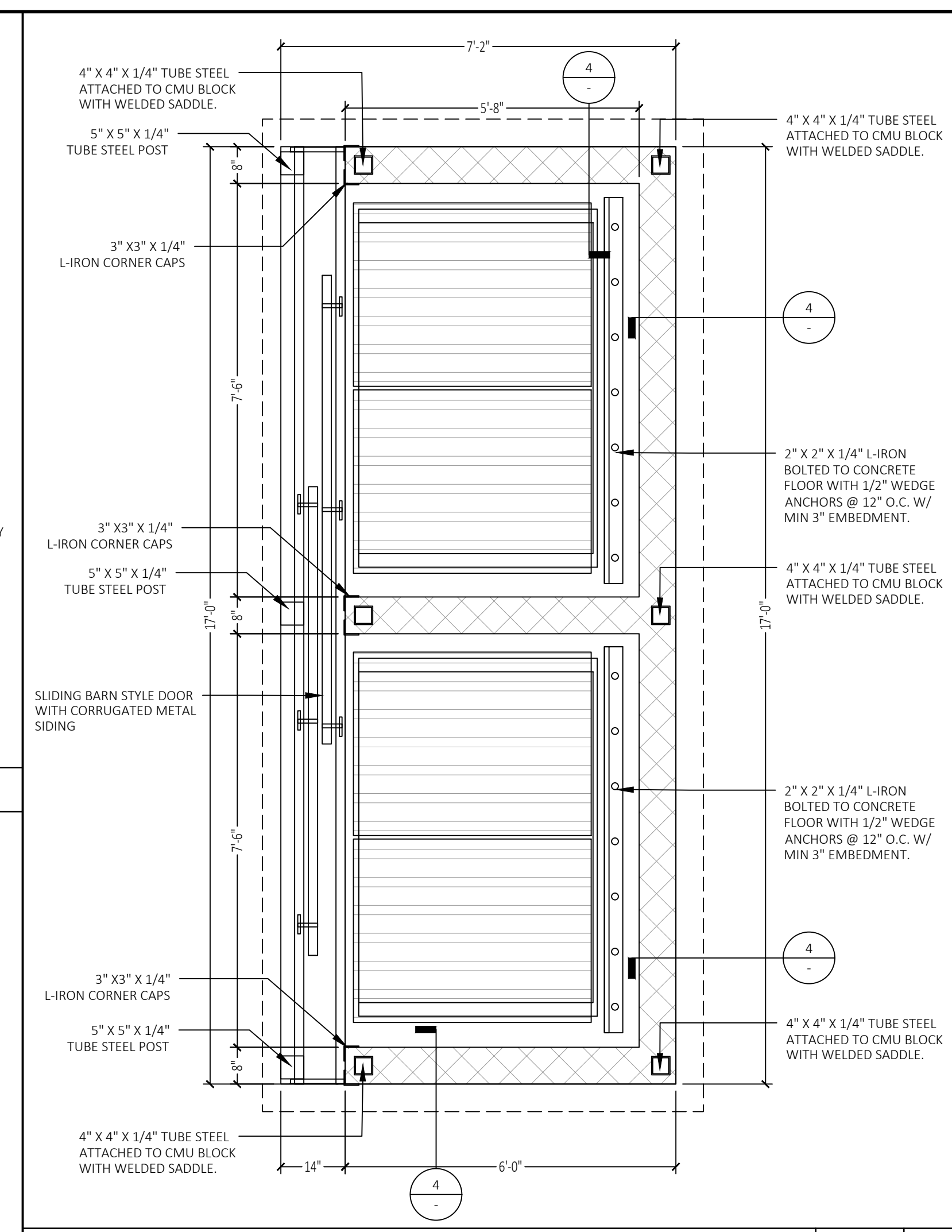
TITLE

**TRASH ENCLOSURE**

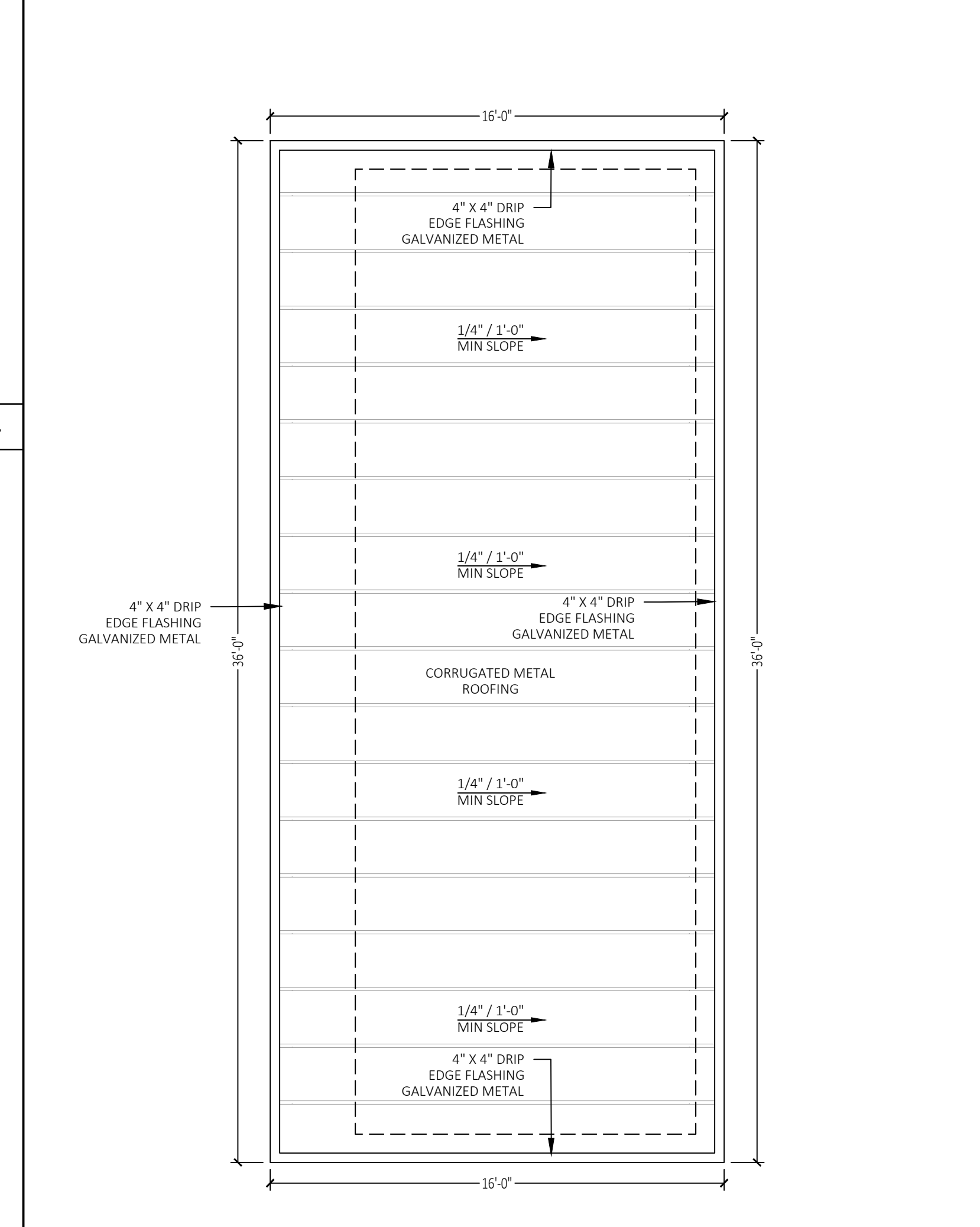
SHEET #

**D110**

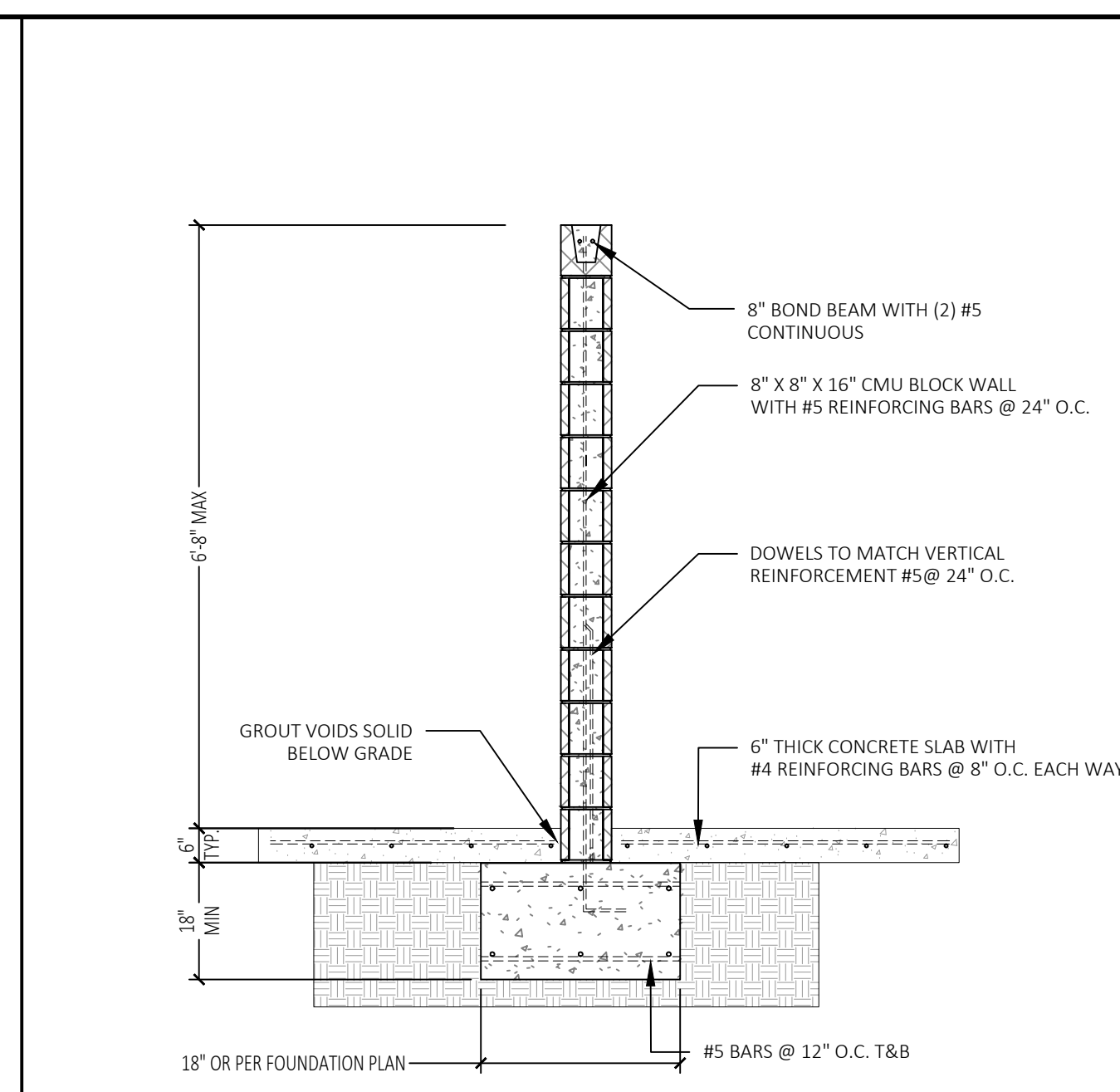
NO. OF



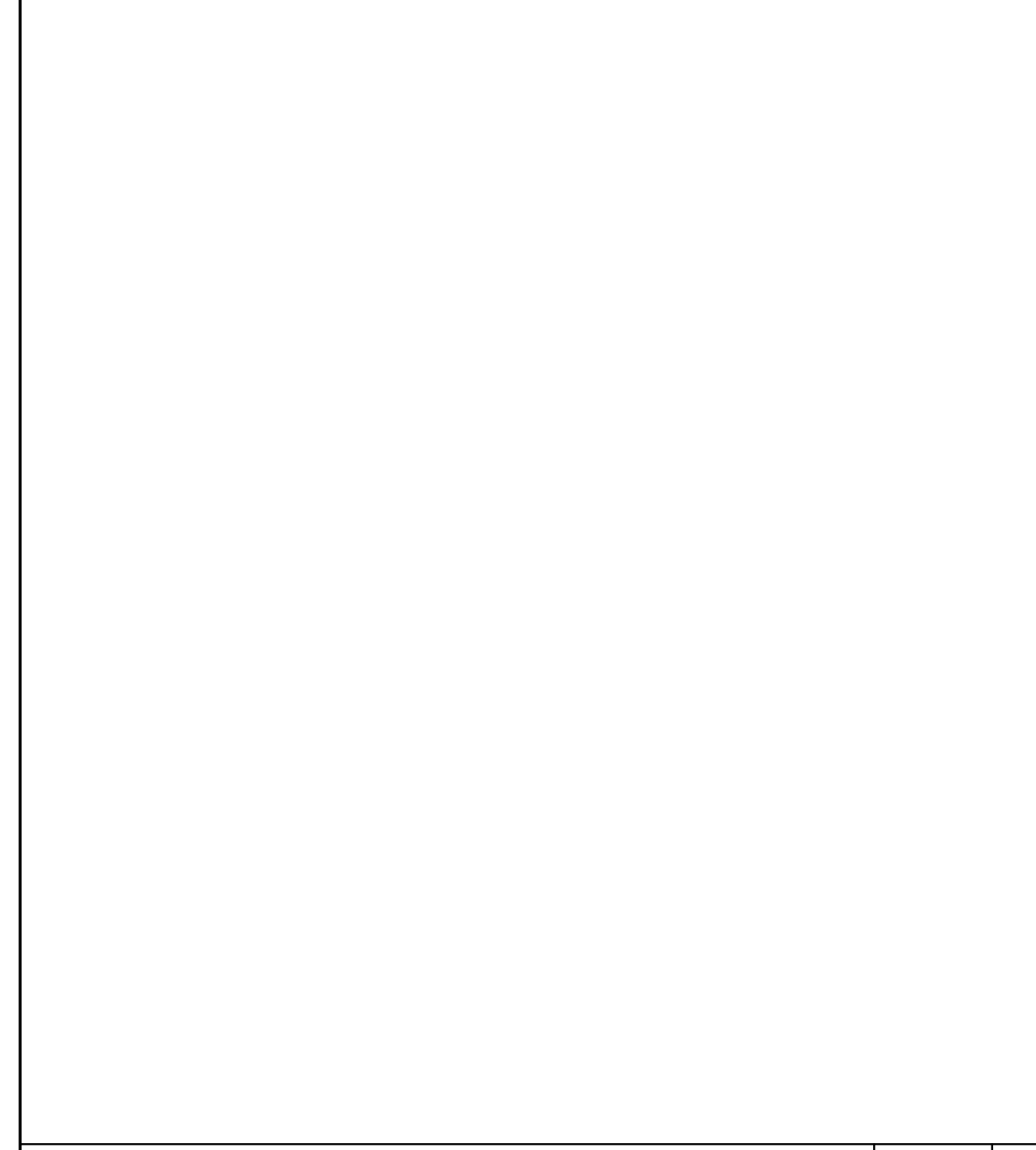
TRASH ENCLOSURE ROOF FRAMING PLAN SCALE 1/2" = 1'-0" 1



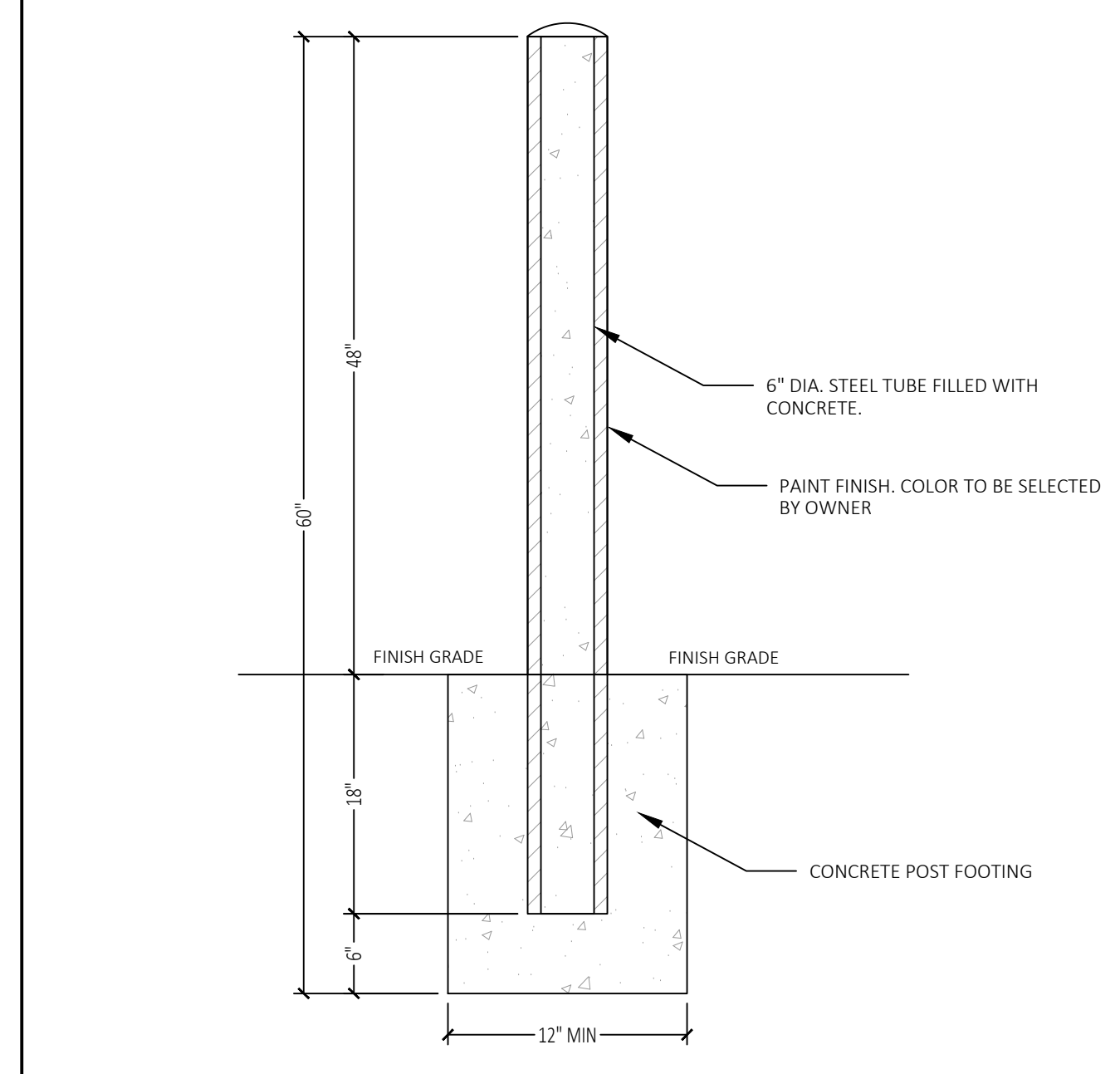
TRASH ENCLOSURE ROOF PLAN SCALE 1/2" = 1'-0" 2



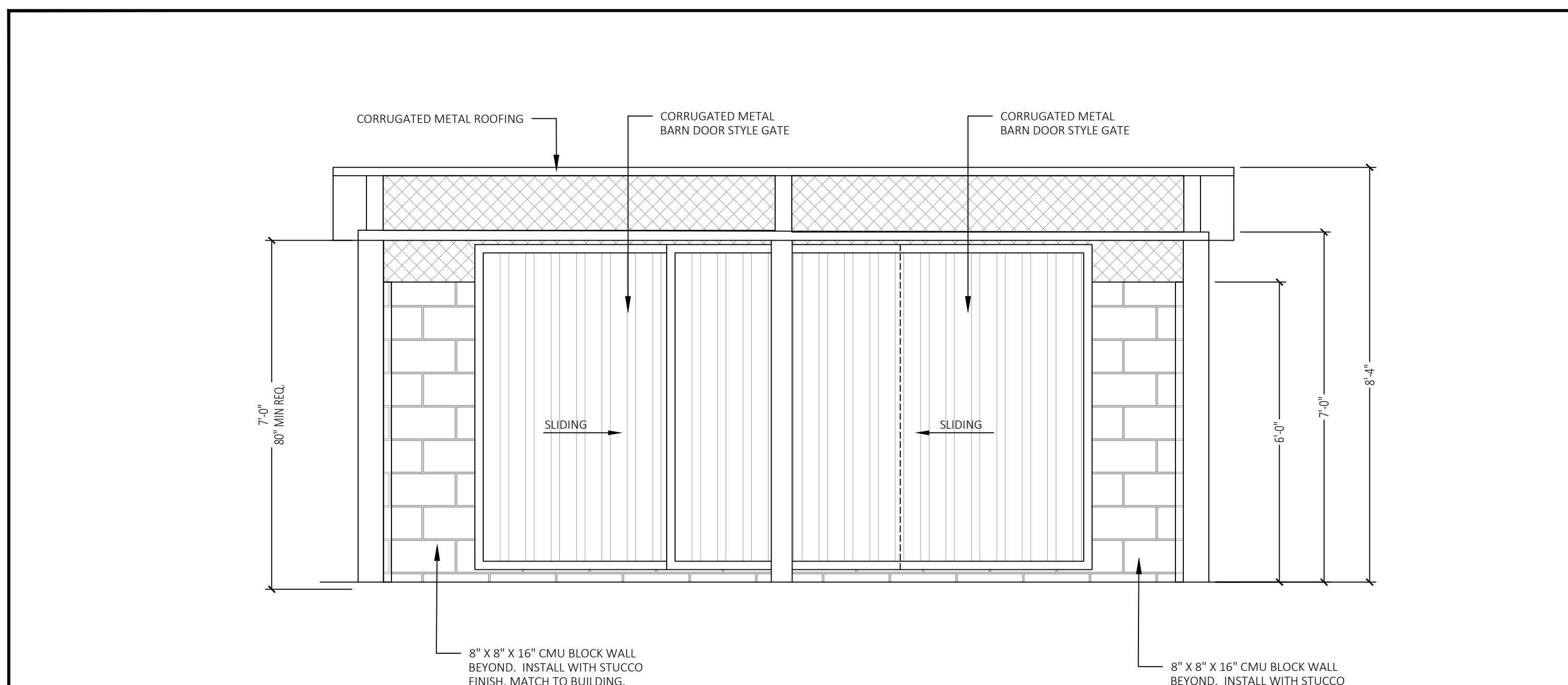
TRASH ENCLOSURE WALL SECTION SCALE N.T.S. 3



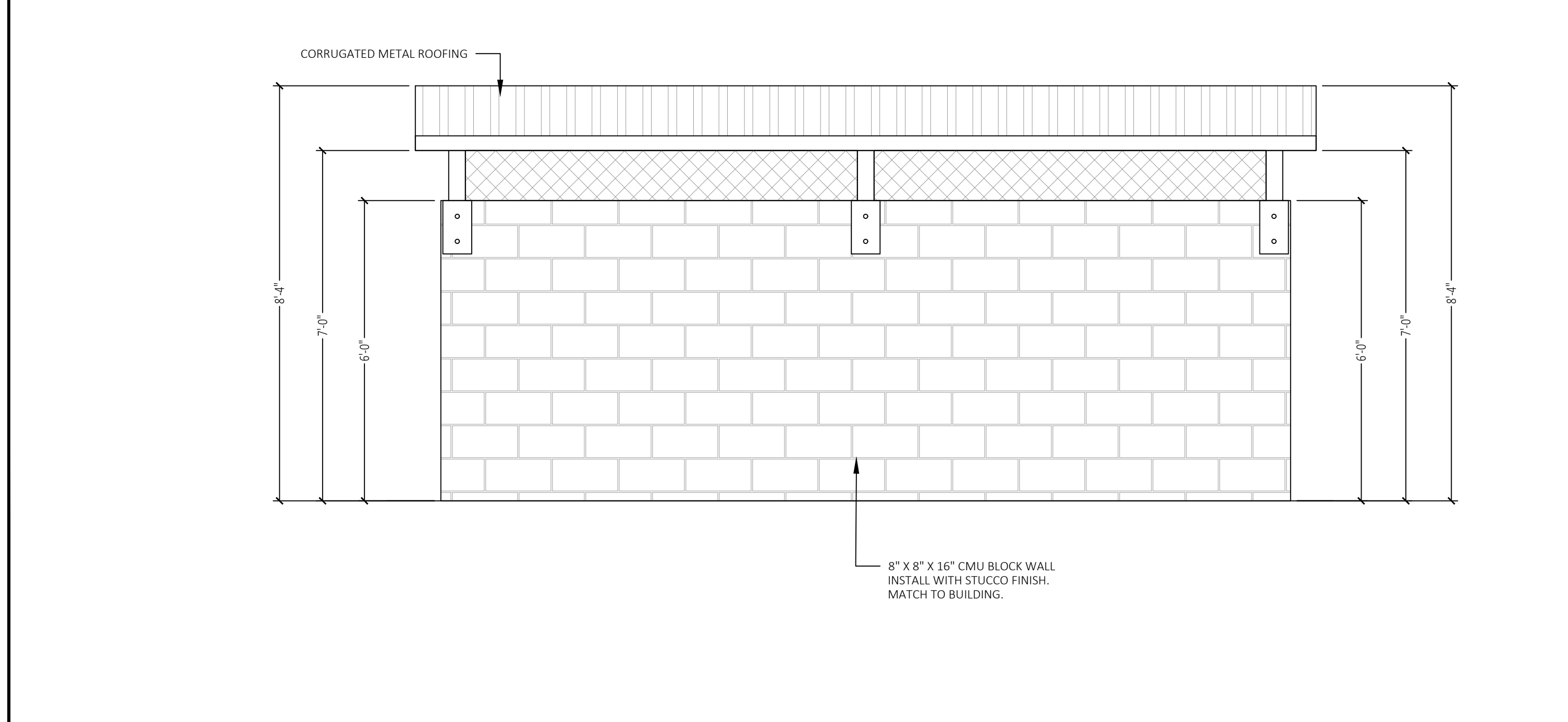
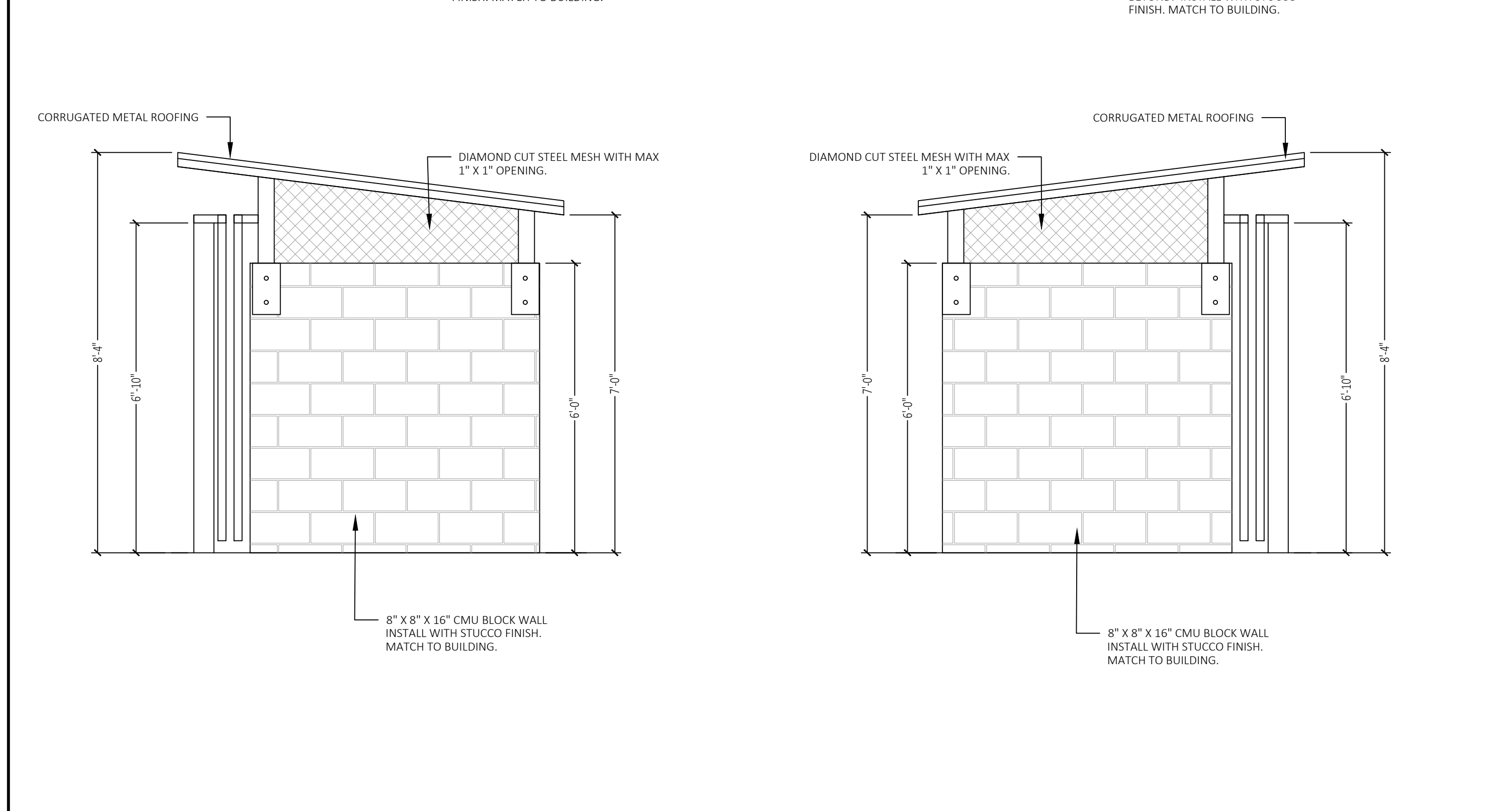
TRASH ENCLOSURE HINGE DETAIL SCALE N.T.S. 4



CONCRETE FILLED PROTECTIVE BOLLARD SCALE N.T.S. 5



TRASH ENCLOSURE WALL SECTION SCALE N.T.S. 9



TRASH ENCLOSURE WALL SECTION SCALE N.T.S. 9



SOUTH / EAST ELEVATION AERIAL VIEW



SOUTH AERIAL ELEVATION AERIAL VIEW



EAST ELEVATION VIEW @ EXTERIOR PATIO



NORTH / EAST ELEVATION AERIAL VIEW



ELEVATION @ CORNER OF NORMAL AVE AND LA MESA BLVD



AERIAL @ CORNER OF NORMAL AVE AND LA MESA BLVD

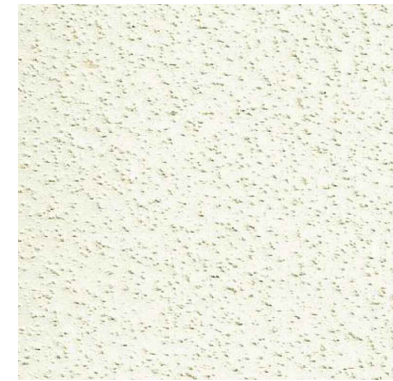


GENERAL SHALE BRICK COMPANY  
 MODEL: PEPPERMILL  
 TYPE: THIN BRICK VENEER  
 SIZE: 1/2" THICK

**PAINT**  
 Make: Sherwin Williams  
 Line: Duration Home, Satin Finish

Color To Go Rusty Red				Color To Go Royal Blue				Extra White	
CCP Colour	02	32	64	120	CCP Colour	02	32	64	120
WT - White	-	2	1	-	WT - White	-	2	1	-
E2 - Mason	-	11	1	1	E1 - Black	-	4	1	-
E3 - Argento	-	33	1	-	L1 - Blue	-	2	12	-
E4 - New Red	-	49	1	-	E3 - Argento	-	13	1	-

PAINT CODES  
 MANUF: SHERWIN WILLIAMS  
 TYPE: EXTERIOR GRADE LATEX PAINT



STUCCO COLOR  
 MANUF: LA HABRA STUCCO  
 TYPE: 7/8" THICK 3 COAT CEMENT STUCCO  
 FINISH: 16 / 20 MEDIUM FLOAT FINISH  
 COLOR: CRYSTAL WHITE



METAL ROOFING  
 MANUF: BERRIDGE METAL ROOFING  
 TYPE: STANDING SEAM  
 COLOR: ROYAL BLUE

**20W Series | LED SCORCE WALL LIGHT**

**PRODUCT DESCRIPTION**  
 The 20W Series Wall Light offers versatile lighting for outdoor spaces. Its "Turbid Technology" lens can adjust color temperature and brightness. With its 180-degree beam and a built-in dusk-to-dawn sensor, it's energy efficient and automatically adjusts.

**PRODUCT FEATURES & COMMON USE APPLICATIONS**

- UL-listed, weatherproof
- Energy efficient, long life span
- Adjustable color temperature
- Adjustable brightness
- Adjustable beam angle
- Adjustable mounting height
- Adjustable mounting angle
- Adjustable mounting location
- Adjustable mounting orientation
- Adjustable mounting direction
- Adjustable mounting position
- Adjustable mounting location
- Adjustable mounting orientation
- Adjustable mounting direction
- Adjustable mounting position

**PRODUCT DIMENSIONS**

LEGENDARY USA SUPPORT

DECORATIVE WALL SCORCE BLACK / DARK BRONZED

**50W Series | LED GOOSENECK LIGHT**

**PRODUCT DESCRIPTION**  
 The 50W Series Light is a classic design for outdoor spaces. Its adjustable arm allows you to adjust the light to your liking. It has an adjustable color temperature and brightness. With its 180-degree beam and a built-in dusk-to-dawn sensor, it's energy efficient and automatically adjusts.

**PRODUCT FEATURES & COMMON USE APPLICATIONS**

- UL-listed, weatherproof
- Energy efficient, long life span
- Adjustable color temperature
- Adjustable brightness
- Adjustable beam angle
- Adjustable mounting height
- Adjustable mounting angle
- Adjustable mounting location
- Adjustable mounting orientation
- Adjustable mounting direction
- Adjustable mounting position

**PRODUCT DIMENSIONS**

LEGENDARY USA SUPPORT

GOOSE NECK SIGN LIGHT BLACK / DARK BRONZED

**120W Rotate IV | LED WALL PACK LIGHT**

**PRODUCT DESCRIPTION**  
 The 120W Rotate IV Light is a classic design for outdoor spaces. Its adjustable arm allows you to adjust the light to your liking. It has an adjustable color temperature and brightness. With its 180-degree beam and a built-in dusk-to-dawn sensor, it's energy efficient and automatically adjusts.

**PRODUCT FEATURES & COMMON USE APPLICATIONS**

- UL-listed, weatherproof
- Energy efficient, long life span
- Adjustable color temperature
- Adjustable brightness
- Adjustable beam angle
- Adjustable mounting height
- Adjustable mounting angle
- Adjustable mounting location
- Adjustable mounting orientation
- Adjustable mounting direction
- Adjustable mounting position

**PRODUCT DIMENSIONS**

LEGENDARY USA SUPPORT

LED WALL MOUNT FLOOD LIGHT BLACK / DARK BRONZED

## RENDERINGS / MATERIAL SAMPLE BOARD

HANDEL'S ICE CREAM  
 7991 LA MESA BLVD, LA MESA, CA 91942

PROPERTY OWNER:  
 TERRY YARWICK TRUSTEE OF TERRY J. YARWICK LIVING TRUST  
 1748 GRANITE HILLS DR, EL CAJON, CA 92019  
 PH: 858-271-4421 / EMAIL: EVSCOFFEE@AOL.COM

ARCHITECT: ICON ARC INC / FRANK WRIGHT  
 14623 HAWTHORN BLVD #306, LAWNDAL, CA 90260  
 PH: 310-750-8939 / EMAIL: FRANK@ICONARC.COM



ICON ARC INC.  
 ARCHITECTS AND PLANNERS

ATTACHMENT E

