



## LA MESA HISTORIC PRESERVATION COMMISSION AGENDA

### A Regular Meeting

**Date:** Tuesday, July 1, 2025, 5:00 p.m.  
**Location:** City Manager's Conference Room, 8130 Allison Avenue  
La Mesa, California  
**Commissioners:** Chair Don Cary  
Vice Chair Lori Wilcox  
Commissioner David Cline  
Commissioner Tony Garcia  
Commissioner Todd Pitman  
Commissioner Curt Sherman  
Commissioner Jan Wilcox

The public may view the meeting in-person or live using the following remote options:

Teleconference Meeting Webinar

<https://us06web.zoom.us/j/85810064313>

Telephone (Audio only)

(669) 900-6833 or (253) 215-8782 Webinar ID: 858 1006 4313

Copy and paste the webinar link into your internet browser if the webinar link does not work directly from the agenda.

### **PUBLIC COMMENTS**

- **In-Person comments during the meeting:** Join us for the Commission meeting at the time and location specified on this agenda to make your comments. Comments will be limited to three (3) minutes.
- **How to submit eComments:** eComments are available once an agenda is published. Locate the meeting in "upcoming meetings" and click the comment bubble icon. Click on the item you wish to comment on. eComments can be submitted when the agenda is



published and until **24 hours prior** to the meeting. eComments are limited to 3700 characters (approximately 500 words). eComments may be viewed by the Commission and members of the public following the close of the eComment submission period (24 hours prior to the meeting). Email your comment to [planning@cityoflamesa.us](mailto:planning@cityoflamesa.us) if you have difficulty submitting an eComment. eComments will not be read aloud as a regular meeting item; however any member of the Commission or member of the public may do so during their respective comment time.

**PLEASE NOTE:** Public Comment will be limited to 3 minutes per item. The timer begins when the participant begins speaking. Time cannot be combined or yielded to another speaker.

Citizens who wish to make an audio/visual presentation pertaining to an item on the agenda, or during Public Comments, should contact the Community Development Department at 619.667.1176, **no later than** 12:00 p.m., the business day prior to the meeting day. Advance notification will ensure compatibility with City equipment and allow Commission meeting presentations to progress smoothly and in a consistent and equitable manner. **Please note** that all presentations/digital materials are considered part of the maximum time limit provided to speakers.

Agenda reports for items on this agenda are available for public review at the Community Development Department, 8130 Allison Avenue, during normal business hours.

Materials related to an item on this agenda submitted to the Commission after distribution of the agenda packet are available for public inspection at the Community Development Department, 8130 Allison Avenue, during normal business hours.

**ACCESSIBILITY:** The City of La Mesa encourages the participation of disabled individuals in the services, activities and programs provided by the City. Individuals with disabilities, who require reasonable accommodation in order to participate in the Commission meetings, should contact the Administrative Services Department 48 hours prior to the meeting at 619.667.1175, fax 619.667.1163, or [GSpaniol@cityoflamesa.us](mailto:GSpaniol@cityoflamesa.us).

Hearing assisted devices are available for the hearing impaired. A City staff member is available to provide these devices upon entry to City Council meetings, commission/board meetings or public hearings held in the City Council Chambers. A photo i.d. or signature will be required to secure a device for the meeting.

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**Pages**

1. **CALL TO ORDER**
  - 1.1 **PLEDGE OF ALLEGIANCE**
  - 1.2 **ROLL CALL**
2. **ADDITIONS AND/OR DELETIONS TO THE AGENDA**



3. **PRESENTATION**

4. **PUBLIC COMMENTS – (TOTAL TIME – 15 MINUTES)**

NOTE: In accordance with state law, an item not scheduled on the agenda may be brought forward by the general public for comment; however, the Historic Preservation Commission will not be able to discuss or take any action on the item at this meeting. If appropriate, the item will be referred to Staff or placed on a future agenda.

5. **CONFLICT DISCLOSURES**

6. **CURRENT BUSINESS**

6.1 **APPROVAL OF THE MEETING MINUTES OF THE HISTORIC  
PRESERVATION COMMISSION REGULAR MEETING HELD  
TUESDAY, APRIL 1, 2025**

4

6.2 **PROJECT 2025-0867 (1140 LEXINGTON LLC)  
A REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR  
EXTERIOR ALTERATIONS TO 4566 DATE AVENUE IN THE DATE  
AVENUE HISTORIC DISTRICT**

6

**Recommended Motion:**

Adopt a resolution granting a certificate of appropriateness (**Attachment A**).

7. **HEARING**

8. **STAFF AND COMMISSIONER ANNOUNCEMENTS**

9. **ADJOURNMENT**





## La Mesa Historic Preservation Commission

### Minutes of a Regular Meeting

Date: April 1, 2025, 5:00 p.m.  
Location: City Manager's Conference Room, 8130 Allison Avenue  
La Mesa, California

Present: Vice Chair Lori Wilcox  
Commissioner David Cline  
Commissioner Tony Garcia  
Commissioner Curt Sherman

Staff: Assistant Director of Community Development Jared Chavez  
Associate Planner Kinnard

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#### 1. **CALL TO ORDER**

Vice Chair L. Wilcox called the meeting to order at 5:05pm.

##### **1.1 PLEDGE OF ALLEGIANCE**

#### 2. **ADDITIONS AND/OR DELETIONS TO THE AGENDA**

No additions or deletions

#### 3. **PRESENTATION**

No presentations

#### 4. **PUBLIC COMMENTS – (TOTAL TIME – 15 MINUTES)**

NOTE: In accordance with state law, an item not scheduled on the agenda may be brought forward by the general public for comment; however, the Historic Preservation Commission will not be able to discuss or take any action on the item at this meeting. If appropriate, the item will be referred to Staff or placed on a future agenda.

No public comments

#### 5. **CONFLICT DISCLOSURES**

No conflict disclosures



**6. CURRENT BUSINESS**

**6.1 APPROVAL OF THE MEETING MINUTES FROM THE HISTORIC PRESERVATION COMMISSION REGULAR MEETING HELD FEBRUARY 4, 2025**

**Moved by** Commissioner Sherman

Yes (4): Vice Chair Wilcox, Commissioner Cline, Commissioner Garcia, and Commissioner Sherman

Absent (3): Chair Cary, Commissioner Pitman, and Commissioner Wilcox

**Motion Approved (4 to 0)**

**6.2 UPDATE ON THE LA MESA HISTORY CENTER SURVEY PROJECT**

**7. HEARING**

No hearings

**8. STAFF AND COMMISSIONER ANNOUNCEMENTS**

**9. ADJOURNMENT**

Vice Chair L. Wilcox adjourned the meeting at 5:37pm



REPORT to the LA MESA HISTORIC PRESERVATION COMMISSION

DATE: July 1, 2025

SUBJECT: PROJECT 2025-0867 (1140 LEXINGTON LLC) – A REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR EXTERIOR ALTERATIONS TO 4566 DATE AVENUE IN THE DATE AVENUE HISTORIC DISTRICT

ISSUING DEPARTMENT: Community Development

SUMMARY:

Issue(s):

Does the project, as designed, meet the required criteria for issuance of a Certificate of Appropriateness?

Recommendation:

Adopt a resolution granting a certificate of appropriateness (**Attachment A**).

Environmental Review:

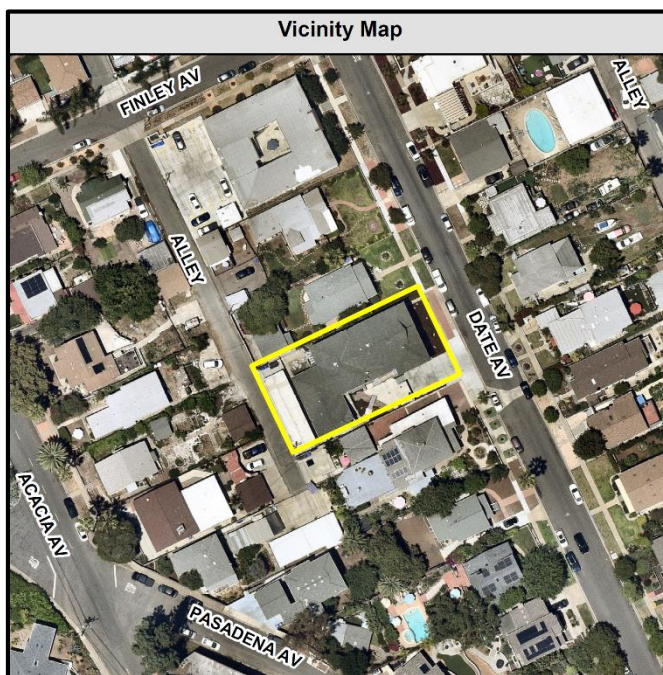
The project is categorically exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301, Existing Facilities. None of the exceptions in Section 15300.2 apply.

BACKGROUND:

The project site, located on the west side of Date Avenue south of Finley Avenue in the Date Avenue Historic District, is developed with an eight-unit apartment building constructed in 1963. At that time, the neighborhood was zoned Multiple Unit Residential (R3) and there are several other apartment buildings along Date Avenue dating from the same period. Surrounding development in the historic district is otherwise comprised of single-family residences built during the first quarter of the twentieth century.



The 0.25-acre project site slopes uphill from the street to a public alley at the rear. The two-story apartment building steps up the slope, with the front portion of the building sitting atop a partially enclosed carport at street level. Other site features include a central courtyard, a covered parking area off the alley completed in 1967, and an original decorative breeze block wall visible from the street that matches breeze block on the front wall of the carport. A vicinity map of the project site is shown to the right, and recent photographs are provided as **Attachment B**.



While the mid-century design of the apartment building exhibits some character defining elements of the Tiki-Polynesian Modernism sub-style, notably an upswept ridge beam and upswept eaves, the property is not from the period of significance of the historic district and therefore is not a contributing resource. It is also not listed on the Historic Resources Inventory. Prior alterations include a 2018 building permit to re-stucco and install replacement windows within the original openings. Otherwise, the apartment building is relatively unaltered from its original condition.

### DISCUSSION:

The property owner proposes to enclose the carport at the front of the building for use as an accessory dwelling unit as shown on the project plans provided as **Attachment C**. Enclosing the carport would involve removing decorative breeze blocks along the front elevation and infilling the three resulting openings. The new wall segments would have exterior cement plaster finish to match the rest of the building. Two vinyl slider windows are also proposed on the front elevation. On the south side elevation, facing the driveway, the carport access would be infilled with a new building wall that includes an entry door and two vinyl slider windows. On the north wall adjacent to the north side property line, two ground-level slider windows are proposed. The owner is also proposing landscaping in the front yard to partially obscure asymmetrical placement of the new windows compared to those above. No exterior changes are planned other than those associated with conversion of the carport.

Municipal Code Section 24.05.020.D.8 allows an ADU within a historic district provided that the location and design of the accessory dwelling unit meets historical preservation



requirements. Accessory dwelling units are required to be designed in substantially the same architectural style and finish materials composition as the primary residence(s) on the site.

CONCLUSION:

The design elements of the proposed ADU are consistent with the existing building design and the project does not add additional building footprint to the site. With the addition of front yard landscaping the project would not detract from the historic district. Staff recommends a condition of approval requiring that irrigated landscaping be provided and maintained in the front yard, of sufficient height and coverage to partially screen the ground-level front building wall.

Staff recommends adoption of a Certificate of Appropriateness (**Attachment A**), with conditions, based on findings set forth in Municipal Code Section 25.03.040.F. The action is consistent with the purposes of the Historic Preservation Ordinance and does not adversely affect and is compatible with the external appearance of existing improvements, buildings, and structures in the historic district.

Respectfully submitted by:

**Allyson Kinnard**

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Allyson Kinnard  
Associate Planner

Reviewed by:



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Lynnette Santos  
Director of Community Development

Attachments:

- A. Draft Certificate of Appropriateness
- B. Photographs
- C. Project Plans



RESOLUTION NO. HPC 2025-xx

A RESOLUTION OF THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LA MESA GRANTING A CERTIFICATE OF APPROPRIATENESS FOR PROJECT 2025-0867 (1140 LEXINGTON LLC) FOR EXTERIOR ALTERATIONS TO 4566 DATE AVENUE IN THE DATE AVENUE HISTORIC DISTRICT

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WHEREAS, the owner of 4566 Date Avenue, a property currently developed with an 8-unit apartment building in the R1 (Urban Residential) zone, has submitted an application to the City of La Mesa for exterior alterations associated with enclosing an attached carport for use as an accessory dwelling unit;

WHEREAS, the subject property is located in the Date Avenue Historic District;

WHEREAS, LMMC Section 24.05.020.D.8 allows an ADU within a historic district provided that the location and design of the accessory dwelling unit meets historical preservation requirements. Accessory dwelling units are required to be designed in substantially the same architectural style and finish materials composition as the primary residence(s) on the site;

WHEREAS, La Mesa Municipal Code (LMMC) Section 25.03.040A of the Historic Preservation Ordinance provides that no person shall carry out or cause to be carried out on a designated landmark or in a designated historic district any alteration to any exterior architectural feature of such structures, improvements, or sites, including construction or relocation, without a Certificate of Appropriateness;

WHEREAS, the Historic Preservation Commission did receive and consider a staff report for the proposed project; and

WHEREAS, the Historic Preservation Commission of the City of La Mesa held a duly noticed public meeting on July 1, 2025, and accepted public testimony in considering Project 2025-0867.

THE HISTORIC PRESERVATION COMMISSION FINDS AND DETERMINES AS FOLLOWS:

1. That the project is exempt from environmental review under CEQA Guidelines Section 15301, which exempts minor additions to existing structures. The project meets the criteria for the exemption. None of the exceptions in Section 15300.2 apply.
2. That the project complies with Section 25.03.040 of the Historic Preservation Ordinance for issuance of a Certificate of Appropriateness:
  - A. The action proposed is consistent with the purposes of the Historic Preservation Ordinance; and
  - B. The project would not adversely affect and would be compatible with the external appearance of existing improvements, buildings, and structures in the historic district.



NOW, THEREFORE, BE IT FURTHER RESOLVED by the Historic Preservation Commission of the City of La Mesa as follows:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.
2. The foregoing findings of fact and determinations are supported by the minutes, plans, and exhibits, all of which are herein incorporated by reference.
3. The Historic Preservation Commission approves Project 2025-0867, a request for a Certificate of Appropriateness for exterior alterations to 4566 Date Avenue, subject to the conditions in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the Historic Preservation Commission of the City of La Mesa, California, held the 1<sup>st</sup> day of July, 2025, by the following vote, to wit:

Aye:

Nay:

Absent:

I, Lynnette Santos, Secretary of the La Mesa Historic Preservation Commission do hereby certify the foregoing to be a true and exact copy of Resolution No. HPC 2025-xx, duly passed and adopted by the Historic Preservation Commission.

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Lynnette Santos, Secretary  
La Mesa Historic Preservation Commission



**Exhibit A**  
HPC Resolution HPC-2025-xx  
Project 2025-0867  
Conditions of Approval

1. The project is conditionally approved as set forth on the application and project drawings stamped received by the City on June 23, 2025, consisting of five sheets numbered SP (Site Plan), GN.1 (Notes), A01 (Floor Plan), A02 (Exterior Elevations), and A03 (Electrical Plan) all designated as approved by the Historic Preservation Commission on July 1, 2025, and shall not be altered without express authorization by the Community Development Department.
2. The applicant shall provide and maintain irrigated landscaping in the front yard, of sufficient height and coverage to partially obscure the asymmetrical placement of new windows compared to those above.
3. This constitutes an approval of the Historic Preservation Commission as authorized by the Historic Preservation Ordinance only. Additional permits, including but not limited to building and grading permits, may be required by the Community Development Department or other City departments prior to commencement of construction and/or use. It is the property owner and applicant's responsibility to obtain all necessary permits required for the type of project proposed.
4. The applicant is responsible for coordinating plans and supplemental materials at building permit submittal to ensure that all project plans and materials are internally consistent and consistent with each other. Inconsistent construction documents will not be accepted.
5. This approval shall not waive compliance with any section of the La Mesa Municipal Code and all other applicable City regulations in effect at the time of building permit issuance unless specifically waived herein.
6. Prior to any use or issuance of final occupancy of the project site pursuant to this approval, all conditions of approval contained herein shall be completed or secured to the satisfaction of the Community Development Department.
7. The Owner(s) shall waive any claims of liability against the City and indemnify, hold harm-less and defend the City and City's employees regarding any component of the City's ap-proval, and shall execute an indemnity agreement in substantially the form as provided by the Community Development Department prior to building permit issuance, initiating use in reliance of this permit, recordation of the final map and/or recordation of the final parcel map, as applicable, and the Community Development Director is hereby authorized to ex-ecute the same.



















2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS  
2022 CALIFORNIA FIRE CODE

NO FIRE SPRINKLERS FOUND IN EXISTING  
RESIDENCE.

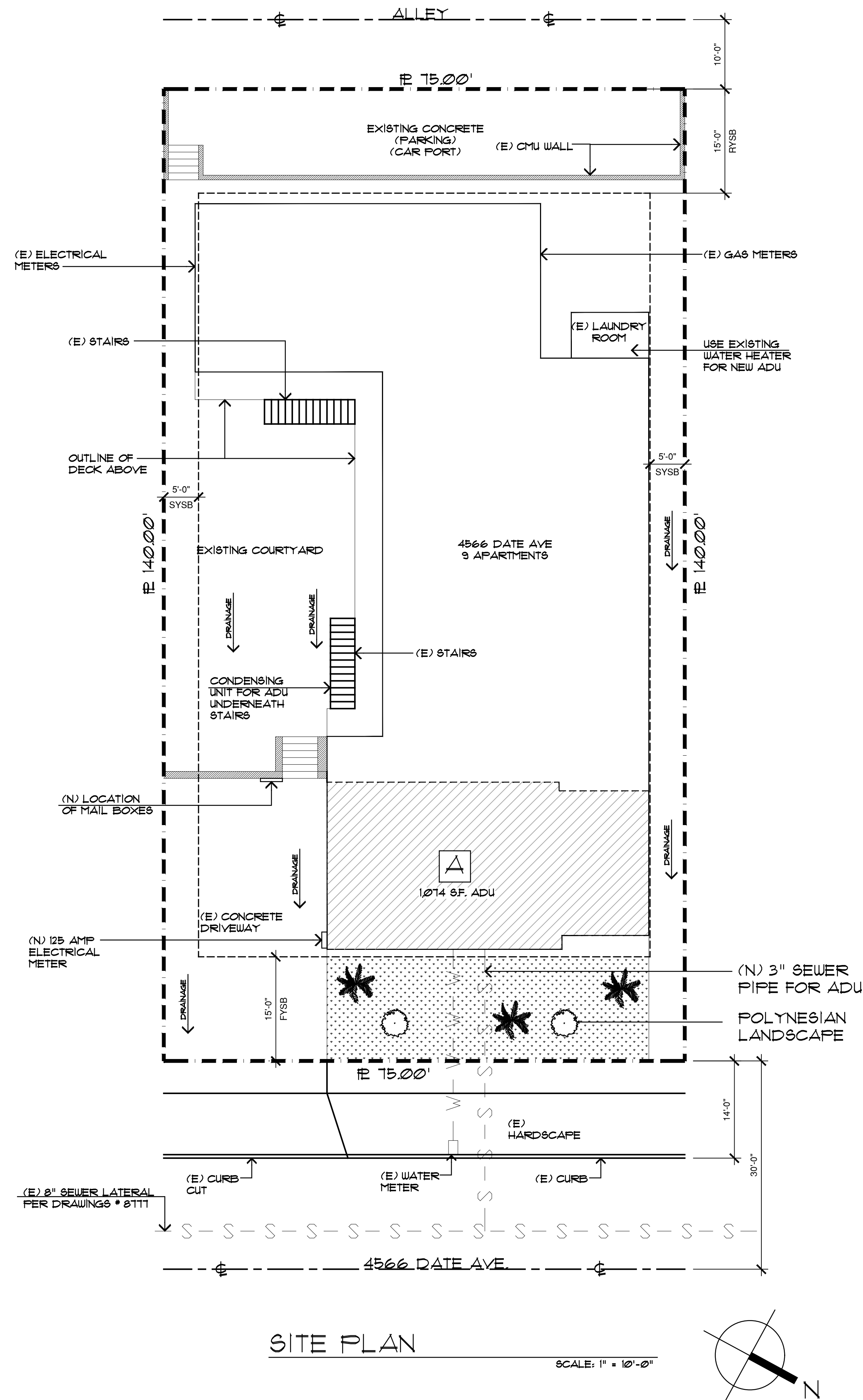
GRADING SHALL COMPLY TO ALL LIMITATIONS OF LGMC 18.08.070, AND BE LIMITED TO LESS THAN 50 CUBIC YARDS EARTHWORK. OTHERWISE A GRADING PERMIT SHALL BE REQUIRED.

PROVIDE VISIBLE ADDRESS FOR ADU  
FROM THE ROADWAY FRONTING THE  
PROPERTY TO WHICH IT IS ADDRESSED.  
CFC 505

A/C CONDENSER UNITS SUPPORTED FROM THE GROUND SHALL REST ON A CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3" ABOVE THE GROUND LEVEL. CMC 1105.2

NO EASEMENTS EXIST ON PROPERTY.

REQUIRED SPECIAL FEATURES	
<p>The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.</p> <ul style="list-style-type: none"> <li>Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed</li> </ul>	
HERS FEATURE SUMMARY	
<p>The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry</p> <ul style="list-style-type: none"> <li>Indoor air quality ventilation</li> <li>Kitchen range hood</li> <li>Verified heat pump rated heating capacity</li> </ul>	



\* AT  
 AA. ATTIC ACCESS  
 AB. ANCHOR BOLT  
 ABV. ANCHOR BOLT  
 ACAP. AS CLOSE AS POSSIBLE  
 A/C. AIR CONDITIONER  
 AL. ALUMINUM  
 ALG. ALING  
 BLK. BLOCK  
 BLKG. BLOCKING  
 BM. BEAM  
 BN. BOUNDARY NAIL  
 C/O. CASED OPENING  
 CLG. CEILING  
 CLR. CLEAR  
 CMU. CONCRETE MASONRY UNIT  
 COMP. COMPOSITION  
 CONT. CONTINUOUS  
 CONC. CONCRETE  
 CSMT. CEMENT  
 D. DRYER  
 DBL. DOUBLE  
 DW. DRIVEWAY  
 DWJ. DISHWASHER  
 EQ. EQUAL  
 E. EACH WAY  
 (E). EXISTING  
 EXSTG. EXISTING  
 EXT. EXT  
 FAIL. FORCED AIR UNIT  
 FF. FINISHED FLOOR  
 FG. FINISH GRADE  
 FGL. FIBERGLASS  
 FN. FIELD NAIL  
 FS. FACE OF STUD  
 F.O.P. FACE OF POST  
 FP. FIRE PLACE  
 FTG. FOOTING  
 F.V. FLAT VALLEY  
 FB. GYPSUM BOARD  
 GAB. GARAGE DISPOSAL  
 GFCI. GROUND FAULT CIRCUIT INTERRUPT  
 GL. GLASS  
 GLR. GLASS RAIL  
 HB. HOSE BIBB  
 HDR. HEADER  
 HR. HANDRAIL  
 HTS. HEATER  
 INT. INTERIOR  
 MAX. MAXIMUM  
 MB. MACHINE BOLT  
 MC. MEDICINE CABINET  
 MN. MINIMUM  
 MIRR. MIRROR  
 MFR. MANUFACTURER  
 O. OVER  
 OBCS. OCCURE  
 OC. ON CENTER  
 OJA. OVERHANG  
 OFNG. OPENING  
 P.C.C. PORTLAND CONC. CEMENT  
 PCT. FOOTST  
 PLT. PLATE  
 P.T. PRESSURE TREATED  
 RAD. RADIANT  
 REF. REFRIGERATOR  
 RMVD. REMOVED  
 REQ. REQUIRED  
 R/O. REQUIRED OPENING  
 SGD. SLIDING GLASS DOOR  
 SLD. SLIDING GLASS WINDOW  
 SHU. SINGLE HUNG WINDOW  
 SHT. SHEET  
 SHTG. SHEATHING  
 SHU. SHOWER  
 SM. SHEET METAL  
 S # P. SHELF # POLE  
 T. TOWEL BAR  
 T.C. TRASH COMPACTOR  
 T # B. TOP # BOTTOM  
 T # G. TONGUE # GROOVE  
 TEMP. TEMPERED  
 TN. TOE NAIL  
 TYP. TYPICAL  
 U.O.N. UNLESS OTHERWISE NOTED  
 V. VENT  
 VB. VAPOR BARRIER  
 W. WASHER  
 W/. WITH  
 W/C. WATER CLOSET  
 WDO. WINDOW  
 WH. WATER HEATER  
 W/P. WATER PUMP  
 V.I.A. VERIFY IN FIELD

<u>(E) HABITABLE AREA</u>	
UNIT 1	1,000 SQ. FT.
UNIT 2	1,000 SQ. FT.
UNIT 3	1,000 SQ. FT.
UNIT 4	1,000 SQ. FT.
UNIT 5	1,000 SQ. FT.
UNIT 6	1,000 SQ. FT.
UNIT 7	1,015 SQ. FT.
UNIT 8	1,015 SQ. FT.
UNIT 9	1,000 SQ. FT.
<b>TOTAL BUILDING FLOOR AREA:</b>	<b>9,030 SQ. FT.</b>
NEW ADU	1,074 SQ. FT.
<b>TOTAL HABITABLE AREA</b>	<b>10,104 SQ. FT.</b>

BASE ZONE: \_\_\_\_\_ R-1  
 OCCUPANCY/GROUP SFR \_\_\_\_\_ R-3  
 CONSTRUCTION TYPE: \_\_\_\_\_ V-B  
 \_\_\_\_\_  
 SETBACKS \_\_\_\_\_ ZONE REQUIREMENTS \_\_\_\_\_  
 \_\_\_\_\_  
 FRONT \_\_\_\_\_ B'-0"  
 LEFT SIDE YARD \_\_\_\_\_ B'-0"/4'-0" (ADU)  
 RIGHT SIDE YARD \_\_\_\_\_ B'-0"/4'-0" (ADU)  
 REAR YARD \_\_\_\_\_ B'-0"/4'-0" (ADU)

LOT AREA: \_\_\_\_\_ 10,500 SF.  
 YEAR BUILT: \_\_\_\_\_ 1970

(E) MDU BUILDING IS NOT EQUIPPED WITH A FIRE ALARM SYSTEM

**MAZIN & ROMIN TALIA**  
**4451 PARKS AVE**  
**LA MESA CA 91941**  
**romin@taliaestates.com**  
**619-944-5099**

**SITE ADDRESS**  
**4566 DATE AVE**  
**LA MESA CA 91941**

APN :	470-613-09-00
LOT NOs	LOT 6 LOT 5 & N 1/2 OF
MAP NO:	994
COMMUNITY:	GRABLES ADD


[illegible]

**A** EXISTING GARAGE AND STORAGE TO BE  
CONVERTED INTO AN ADU, WITH 2 BEDROOM  
AND 2 BATH, NEW SLAB ON GRADE PER  
PLAN. (1Ø74 SF.)

MISC. NEW 125 AMP ELECTRICAL METER FOR  
NEW ADU

REMOVE EXISTING SLAB AND ADD NEW  
SLAB TO MAKE CLEARANCE OF 7'-6"

SP	SITE PLAN
GN1	GENERAL NOTES
GN2	GENERAL NOTES
A01	EXISTING / DEMO/PROPOSED FLOOR
A02	EXTERIOR ELEVATIONS/SECTIONS
A03	ELECTRICAL PLAN



DE LA RIVA DESIGN & BUILD LLC.  
**NOTHING IS IMPOSSIBLE**  
 LIC # B-1077043  
 619-554-6422

2305 SWEETWATER RD  
SPRING VALLEY CA 91977  
CELL 619.554.6422

THESE DRAWINGS ARE THE PROPRIETARY  
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FOR THE EXCLUSIVE USE OF GERARDO SERGIO,  
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CONTAINED THEREIN WITHOUT THE  
WRITTEN PERMISSION OF GERARDO SERGIO DE LA  
RIVA JR., IS PROHIBITED AND MAY  
SUBJECT YOU TO A CLAIM FOR DAMAGES.

TALIA ADU  
4566 DATE AVE  
LA MESA CA 91941

Drawn By GERARDO

PLAN CHECK 05.17.25

PLAN CHECK HIST. 05.28.25
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RE CHECK #2 06.23.25

Recheck #3

APN: 470-613-09-00

Scale  
PER DRAWING

Page #

SP



CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT-CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRWQCB), LA MESA MUNICIPAL STORM WATER PERMIT, THE CITY OF LA MESA LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF LA MESA "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCL) FOR CONSTRUCTION LEVEL BMPS AND, IF APPLICABLE, STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMP'S.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION, INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTRACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCL WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATION, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCL.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGES LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGES, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BPS WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR-ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LODEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCL SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENT AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMP'S DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA, TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQDA FACT SHEET TO-C1 OR CAL TRANS FACE SHEET TO-C1 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (A) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE LA MESA MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM AFTER MANAGEMENT AND DISCHARGED CONTRLOL.

FIRE NOTES:

Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33, Welding, cutting, and o ther ho w rk shall be in conformance with CFC Chapter 35."

Address identification shall be provided to r al new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way o f a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Sectio n 501.2." [CFC 505]

Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.11 and shall meet the flame propagation performance criteria of the Califo mia Code of Regulations, Title 19, Divisio n 1. Deco rative materials shall be pro perly treated by a pro duct o r pro cess appro ved by the State Fire Marshal with appropriate do cumentation provided to the City o f LA MESA.

Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or I IA structure separated by 10 feet fro m o ther structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated.[CFC304.3]

"Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of LA MESA and CFC Section 306."

"The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in any egress paths."

GENERAL PLAN NOTES:

- NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OR RECORD:  
BY USING THIS PERMIT FOR CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF LA MESA FOR SPECIAL INSPECTION, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
- NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/ OWNER-BUILDER: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE THAT YOU ARE AWARE OF THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF LA MESA FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
- THE CONTRACTOR SHALL TAKE THE NECESSARY TIME AND CARE TO BECOME FAMILIAR WITH THE APPROVED SET OF DRAWINGS AND REFER ONLY TO APPROVED SETS OF DRAWINGS DURING THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE EXISTING STRUCTURE, ELEVATIONS AND SITE CONDITIONS AFFECTED BY PROPOSED WORK. VERIFY ALL PLAN DIMENSIONS OF "NEW" ADDED OR REMODELED AREA PRIOR TO STARTING WORK. THIS INCLUDES EXISTING WINDOWS & DOORS TO BE REPLACED OR RETRO-FITTED. THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL AND/OR THE ENGINEER IMMEDIATELY OF ALL DISCREPANCIES.
- ALL VERIFICATIONS OF NEW AND EXISTING DIMENSIONS ARE TO BE DONE PRIOR TO THE START OF WORK AND ORDERING OF WINDOWS, DOORS, LUMBER AND/OR FLOOR OR ROOF TRUSSES.
- ALL CHANGES ARE TO BE APPROVED BY A DESIGN PROFESSIONAL AND THE BUILDING DEPARTMENT BEFORE CHANGES ARE MADE IN THE FIELD.
- UNLESS OTHERWISE NOTED OR SHOWN ELSEWHERE ON THE PLANS, TYPICAL DETAILS AND GENERAL NOTES APPLY TO ALL PARTS OF THE JOB.
- WHERE CONSTRUCTION DETAILS OR NOTES ARE NOT SHOWN FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK SHOWN IN THE DRAWING.
- NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES
- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE CONSTRUCTION DRAWINGS.
- CONTRACTOR SHALL VERIFY AND DETERMINE LOCATION OF ALL EXISTING UTILITIES AND SHALL NOT PERFORM ANY WORK THAT WILL DAMAGE EXISTING UTILITIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL AND LOCAL SAFETY REQUIREMENTS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STANDARDS AND TO THE APPLICABLE PROVISIONS OF THE LATEST EDITION OF THE U.S.C.
- METAL CONNECTORS, STRAPS, HANGERS, HOLDOWNS, ETC., CALLED OUT ON PLANS ARE TO BE SIMPSON "STRONG TIE" OR APPROVED EQUAL.
- THIS PLAN DOES NOT PROVIDE COMPLETE FLASHING AND WATERPROOFING DETAILS THE DESIGNER AND ENGINEER DO NOT REPRESENT THEMSELVES TO BE EXPERTS IN THE FIELD OF WATERPROOFING IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR THE ROOF/DECKING SUBCONTRACTOR TO PROVIDE THE NECESSARY STANDARD OF CARE IN WORKMANSHIP AND MATERIALS TO COMPLETE THE ROOF AND DECKS IN A WATERIGHT CONDITION ROOF AND/OR DECK DRAINAGE SHALL NOT BE ALLOWED TO RUN BEHIND ANY FASCIA BOARDS OR ONTO THE EXTERIOR FINISH OF THE STRUCTURE.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2016 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT, REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.
- ALL NEW WINDOWS AND SLIDING GLASS DOORS SHALL BE DUAL GLAZED UNLESS OTHERWISE SPECIFIED BY AN ACCREDITED ENERGY DESIGNER.
- CONTRACTOR SLOPE ALL DISTURBED GRADES TO DRAIN SURFACE WATER AWAY FROM STRUCTURE ON ALL SIDES OF GROUND LEVEL ADDITION. CONTRACTOR TO SLOPE ALL NEW IMPERMEABLE SURFACES TO DRAIN AWAY FROM POOL AND TOWARD PERMEABLE SURFACES SUCH AS LANDSCAPING.
- STATE HEALTH AND SAFETY CODE SEC17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSS LINKED POLYETHYLENE (PEX) FOR INTERIOR WATER-SUPPLY PIPING.
- FIRE PLACES WITH GAS APPLIANCES ARE REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH LPG APPLIANCES ARE TO HAVE NO PIT OR "SLIP" CONFIGURATIONS. (U.M.C. 9.04.5)
- JOINTS AND OPENINGS: ANNUAL SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. (CGSBC 4.504.1)
- A MINIMUM OF 50 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE PER CGSBC SECTION 4.408.1 AND CITY ORDINANCE.
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH "VOC" AND OTHER TOXIC COMPOUND LIMITS. (CGSBC 4.504.1)
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH "VOC" LIMITS (CGSBC 4.504.2.3)
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED "MIR" LIMITS FOR "VOC" AND OTHER TOXIC COMPOUNDS. (CGSBC 4.504.2.3)
- DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT "VOC" LIMIT FINISH MATERIALS HAVE BEEN USED. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR. (CGSBC 4.504.2.4)
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH "VOC" LIMITS. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR. (CGSBC 4.504.3)
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. A LETTER FROM THE INSTALLER AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND DOCUMENTING ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR. (CGSBC 4.504.5)
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OF CONTACT TYPE MOISTURE METER. A CERTIFICATE OF COMPLIANCE INDICATING DATE OF TEST, LOCATION AND RESULTS ISSUED BY THE FRAMING SUB-CONTRACTOR OR GENERAL CONTRACTOR MUST BE SUBMITTED TO THE BUILDING INSPECTOR. (CGSBC 4.505.3)
- SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPARTMENT. CGC 4.108.3
- A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO WORK BEGINNING.
- CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
- WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR
- AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF1 R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.
- AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.
- IRRIGATION CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT

GENERAL DOOR NOTES

- DIMENSIONS INDICATED ON PLANS AND SCHEDULES ARE NOMINAL COORDINATE PRIOR TO FABRICATION.
- THE GENERAL CONTRACTOR AND/OR WINDOW SUBCONTRACTOR/SUPPLIER SHALL FIELD VERIFY SIZE/STYLE OF ALL EXISTING DOORS TO BE REPLACED OR RETROFITTED PRIOR TO ORDER.
- PAINT GRADE OR STAIN GRADE PER OWNER OR CONTRACTOR
- PAINT / STAIN COLOR AND BRAND PER OWNER
- DOOR MANUFACTURER PER OWNER OR CONTRACTOR. ALL GLAZING SHALL BE LOW "E" RATED AND HAVE THE FOLLOWING MINIMUM SPECIFICATIONS:  
U-FACTOR: .3  
SHGC: .23
- LANDINGS AT EXTERIOR DOORWAY: LANDINGS SHALL NOT BE MORE THAN 7.75 INCHES BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR, DOES NOT SWING OVER THE LANDING (SEC 1008.1.4, EXCEPTION 3).
- DOORS BETWEEN GARAGES AND OCCUPIABLE SPACES (ENCLOSED SPACES INCLUDING HABITABLE SPACES, BATHROOMS, CLOSETS, HALLS, STORAGE AND UTILITY AREAS, ETC) SHALL BE GASKETED OR MADE SUBSTANTIALLY AIRTIGHT WITH WEATHER STRIPPING.
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- THRESHOLDS: THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75 INCHES IN HEIGHT FOR SLIDING GLASS DOORS SERVING DWELLIN UNITS OR 0.5 INCHES FOR OTHER DOORS.

GENERAL WINDOW NOTES

- ALL NEW WINDOWS TO BE WHITE VINYL, DUAL-GLAZED, LOW-E OR EQUAL VERIFY WITH SCOPE OF WORK.
- WINDOW AND DOOR FINISH COLORS PER OWNER & GENERAL CONTRACTOR.
- ALL WINDOWS TO HAVE CLEAR GLASS U.O.N., ANY MUNTINS/GRIDS SHALL BE PER ELEVATIONS- STYLE TO BE VERIFIED WITH OWNER.
- THE GENERAL CONTRACTOR AND/OR WINDOW/DOOR CONTRACTOR/SUPPLIER SHALL FIELD VERIFY SIZE, STYLE OF ALL EXISTING WINDOWS TO BE REPLACED OR RETRO-FITTED PRIOR TO ORDER.
- TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS INSTALLED
- NEW MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED WHICH INDICATES CERTIFICATION BY THE NATIONAL PENETRATION RATING COUNCIL (NPRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
- CONTRACTOR SHALL REFER TO TITLE 24 CALCULATIONS AFFIXED TO THESE PLANS FOR WINDOW U-VALUES AND SHADING COEFFICIENTS (SHGC).
- GLAZING FRAMES MADE OF VINYL MATERIAL SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCKING AREA AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWMA 1011.5.2 STRUCTURAL REQUIREMENTS. (SDMC SEC. 145.0705 (a) 1)
- SILL HEIGHT: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44-INCHES MEASURED FROM THE FINISH FLOOR (SEC. 1026.3).
- GLAZING MATERIALS USED IN SKYLIGHTS, ROOFS, AND SLOPED WALLS ON BUILDINGS LOCATED WITHIN 300-FT. IN ANY DIRECTION, OF THE BOUNDARY BETWEEN BRUSH MANAGEMENT ZONES ONE AND TWO AS DEFINED IN SECTION 142.0412 OF THE LANDS DEVELOPMENT CODE, SHALL BE TEMPERED GLASS OR MULTI-LAYERED GLASS (SDMC SEC. 145.0706 (c)).
- WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATED-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR HAVE FIRE-RESISTANCE RATINGS OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO NFPA 257, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2 (CBC SEC 704A.3.2.2)

ABBREVIATIONS

@	AT	SHW	SINGLE HUNG WINDOW
A.A	ATTIC ACCESS	SHT	SHEET
A.B	ANCHOR BOLT	SHTG	SHEATHING
ABV.	ABOVE	SHWR	SHOWER
A.C.A.P.	AS CLOSE AS POSSIBLE	SPEC.	SPECIFICATIONS
AC	AIR CONDITIONER	S.M.	SHEET METAL
ADJ.	ADJACENT	S & P	SHELF & POLE
A.F.F	ABOVE FINISH FLOOR	STGR	STAGGERED()
AL	ALUMINUM	STRUC	STRUCTURAL
ALC	ALCANTARA	SD.	SQUARE
APPROX.	APPROXIMATE(LY)	SW.	SHEARWALL
ARCH.	ARCHITECTURAL	T.B.	TOWEL BAR
AWG.	AWING	T.C.	TRASH COMPACTOR
BLDG.	BUILDING	T & B	TOP & BOTTOM
BLK	BLOCK	T & G	TONGUE & GROOVE
BLKG	BLOCKING	TEMP	TEMPERED
BM	BEAM	THK	THICK
B.N.	BOUNDARY NAIL	T.M.E.	TO MATCH EXISTING
BRG.	BEARING	T.N.	TOE NAIL
BTM.	BOTTOM	T.O.A	TOP OF FOOTING
BTWN	BETWEEN	T.O.P.	TOP OF PLATE
C	CHARACTERED()	T.O.W.	TOP OF WALL
CANT	CANTILEVER	TYP.	TYPICAL
C.A.	CLEAN OUT	U.F.A	UNDER FLOOR ACCESS
CO	CASED OPENING	U.O.N.	UNLESS OTHERWISE NOTED
CL.P.	CASED IN-PLACE	V.	VINYL
CL.	CENTERLINE	V.B.	VAPOR BARRIER
CLG	CEILING	W.	WASHER
CLR.	CLEAR	W.	WITH
COL.	COLUMN	W.A	WATER CLOSET
CONC.	CONCRETE	WDO.	WINDOW
CONN.	CONNECTION	WWF	WELDED WIRE FABRIC
CONST.	CONSTRUCTION	W.H.	WATER HEATER
CMU	CONCRETE MASONRY UNIT	W.P.	WATERPROOF
COMPO	COMPOSITION	WT.	WEIGHT
COND.	CONDENSER	VERT.	VERTICAL
CONT.	CONTINUOUS	V.I.F.	VERIFY IN FIELD
CONC.	CONCRETE		
CSMT	CASEMENT		
CTR.	CENTER(ED)		
D	DRYER		
DBL	DOUBLE		
D.F.	DOUGLAS FIR		
DIA.	DIAMETER	(9)	
DIAG.	DIAGONAL		
DIAPH.	DIAPHRAGM		
DIM.	DIMENSION		
DN.	DOWN		
DP	DITTO (REPEAT)		
DP.	DEEP (DEPTH)		
D.W.	DRIVEWAY		
DW	DISHWASHER		
DWG.	DRAWING		
EA.	EACH		
EF.	EACH FACE		
E.F.W.	EACH FACE OF WALL		
ELEV.	ELEVATION		
EMBD.	EMBEDMENT		
EN.	EDGE NAIL		
EQ.	EQUAL		
E.W.	EACH WAY		
EXSTG.	EXISTING		
EXT	EXTERIOR		
F.A.U	FORCED AIR UNIT		
F.F.	FINISH FLOOR		
F.G.	FINISH GRADE		
FGL	FIBERGLASS		
F.L.	FLANGE		
FLR.	FLOOR		
FIN.	FINISH		
F.N.	FIELD NAIL		
FND.	FOUNDATION		
F.O.S.	FACE OF STUD		
F.O.P.	FACE OF POST		
F.P.	FIRE PLACE		
FRMG	FRAMING		
FEET	FEET		
FTG	FOOTING		
F.V.	FLAT VALLEY		
FX	FIXED		
GA.	GAUGE		
GALV.	GALVANIZE(D)		
GB.	GRADE BEAM		
GYP. BD.	GYP SUM BOARD		
G.B.	GARBAGE DISPOSAL		
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPT		
GL.	GLASS		
GLUE	GLUE LAMINATED BEAM		
GR	GUARDRAIL		
H.B.	HOSE BIB		
HD.	HOLD DOWN		
HDR.	HEADER		
HGR.	HANGER		
HORZ.	HORIZONTAL		
H.R.	HANDRAIL		
HT.	HEIGHT		
IN. (")	INCHES		
INT.	INTERIOR		
JST	JOIST		
K	KIPS (1000)		
KSI	KIPS PER SQUARE INCH		
L	ANGLE		
LB	LAG BOLT		
lbs (#)	POUNDS		
LDGR.	LEGER		
LG	LONG(ITUINAL)		
LWT	LIGHT WEIGHT		
MATL	MATERIAL		
MAX.	MAXIMUM		
M.B.	MACHINE BOLT		
M.C.	MEDICINE CABINET		
MECH.	MECHANICAL		
MEZZ	MEZZANINE		
MF	MOMENT FRAME		
MIN	MINIMUM		
MIR	MIRROR		
MISC.	MISCELLANEOUS		
MFR.	MANUFACTURER		
MTL	METAL		
(N)	NEW		
NTS	NOT TO SCALE		
O	OVER		
OBSC	OBSCURE		
O.C.	ON CENTER		
O.H.	OVERHANG		
OPNG	OPENING		
O.W.	OPEN WEB		
P/C	PRECAST CONCRETE		
P.C.C	PORTLAND CONC. CEMENT		
P.CF	POUNDS PER CUBIC FT.		
PKT.	POCKET		
PL.	PLATE		
PLY.	PLYWOOD		
PERP.	PERPENDICULAR		
PSF	POUNDS PER SQUARE FOOT		
PSI	POUNDS PER SQUARE INCH		
PT	POST-TENSIONED		
P.T.	PRESSURE TREADED		
P.T.D.F.	PRESSURE TREADED DOUGLAS FIR		
QTY.	QUANTITY		
RAD.	RADIUS		
R.A.G.	RETURN AIR GRILLE		
REFRIG	REFRIGERATOR		
REINF	REINFORCEMENT		
RMVD	REMOVED		
REQD	REQUIRED		
R.J.	ROOF JOIST		
R.O.	ROUGH OPENING		
R.R.	ROOF RAFTER		
R.S.H.	SCHEDULE		
SGD	SLIDING GLASS DOOR		
SGW	SLIDING GLASS WINDOW		
SIM.	SIMILAR		

ARCH. SYMBOLS

SECTION

DETAIL CALL-OUT

WATER LINE MAIN

SEWER LINE MAIN

WATER METER

ELECTRIC SERVICE METER

FLOOR ELEVATION CHANGE

DOOR CALL-OUT

WINDOW CALL-OUT

BATHROOM EXHAUST FAN (5 AIR CHANGES/ HR, 50 CFM)

HOSE BIB

GAS CONNECTION

SEWER CLEAN OUT (C.O.)

PROPERTY LINE

CENTER LINE

ROOF SLOPE

ROOF ATTIC VENT

SUPPLY AIR REGISTER

RETURN AIR GRILLE

DE LA RIVA DESIGN & BUILD LLC.  
NOTHING IS IMPOSSIBLE  
LIC # B-1077043  
619-554-6422

2305 SWEETWATER RD  
SPRING VALLEY CA 91977  
CELL 619.554.6422

TALIAADU  
4566 DATE AVE  
LA MESA CA 91941

Drawn By GERARDO

PLAN CHECK 05.17.25

PLAN CHECK HIST. 05.28.25

RE CHECK #2

Recheck #3

APN: 470-613-09-00

Scale  
PER DRAWING

Page #

GN.1



## DOOR SCHEDULE

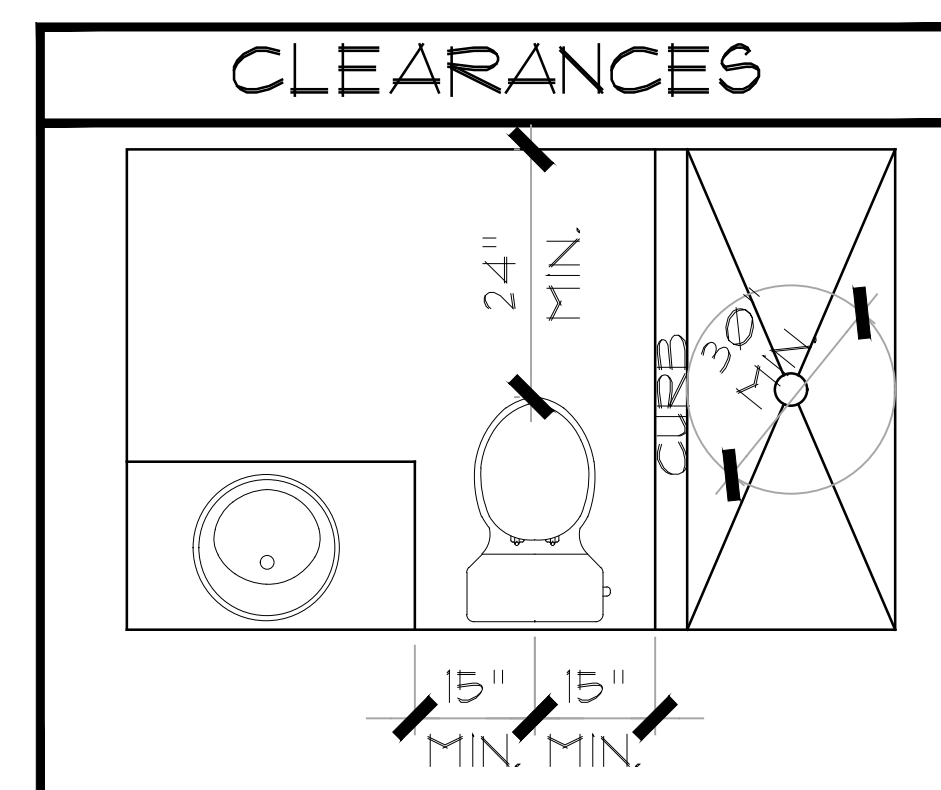
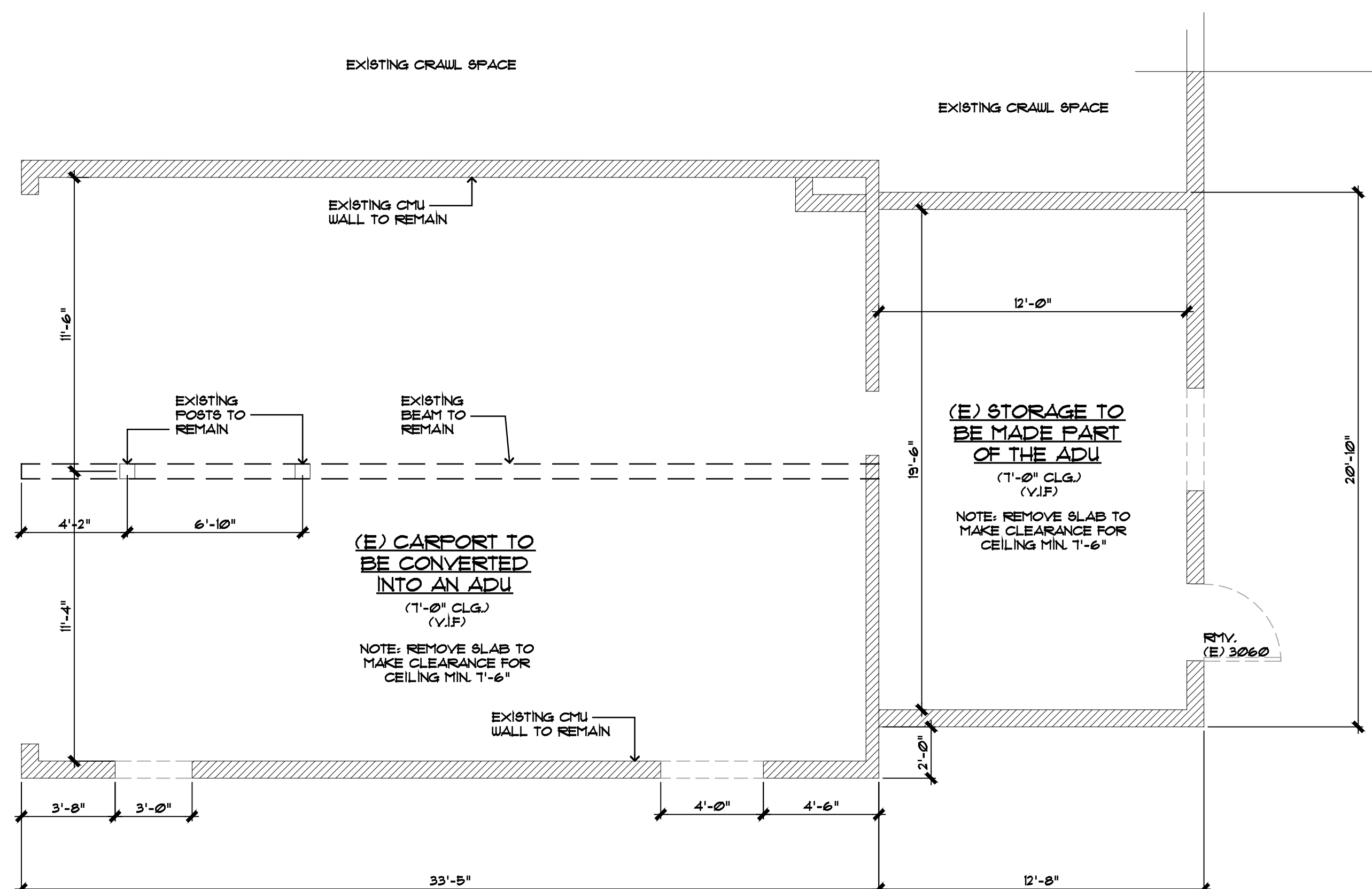
FINISH: ST. = STAIN GRD., PT. = PAINT GRD. TYPE: HC. = HOLLOW CORE, SC. = SOLID CORE STYLE: PNL. = RAISED PANEL, FL. = FLUSH

SYMBOL	SIZE	TYPE	STYLE				REMARKS:
1	3068	SC	SC				SOLID/45 MNT RATED DOOR
2	2668	HC.	HC.				
3	2668	HC.	HC.				
4	2668	HC.	HC.				
5	2468	HC.	HC.				

## WINDOW SCHEDULE

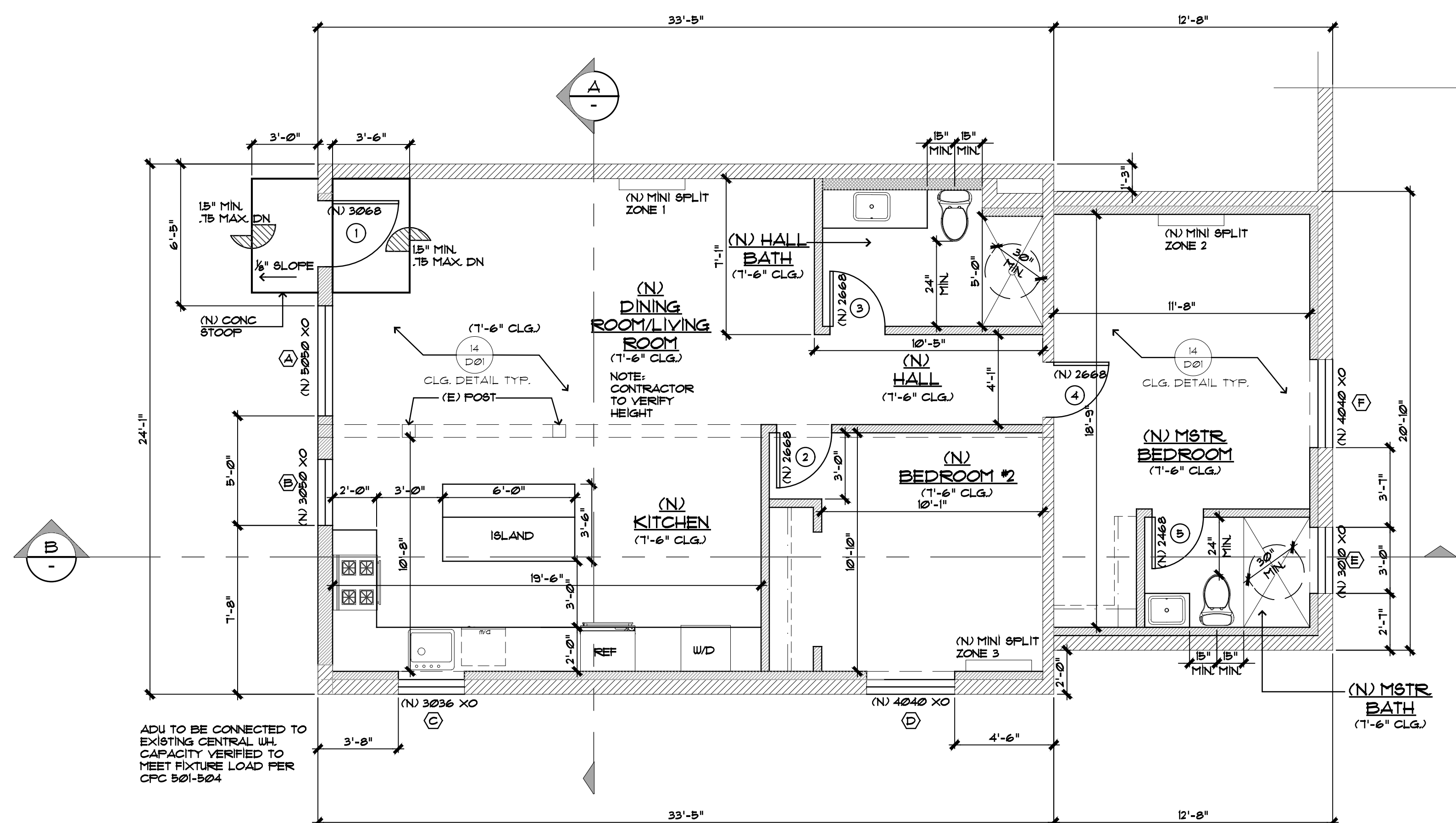
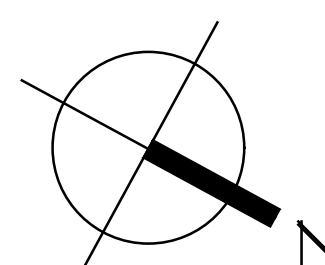
SYMBOL	"L"	"H"	TYPE	S.F.	UFACTOR	SHSG	NOTES
A	5'-0"	5'-0"	XO	25	.3	.23	TEMPERED
B	3'-0"	5'-0"	XO	15.0	.3	.23	
C	3'-0"	3'-6"	XO	10.5	.3	.23	
D	4'-0"	4'-0"	XO	16.0	.3	.23	
E	3'-0"	1'-0"	XO	3.0	.3	.23	TEMPERED
F	4'-0"	4'-0"	XO	16.0	.3	.23	

EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (CBC 1010.13)



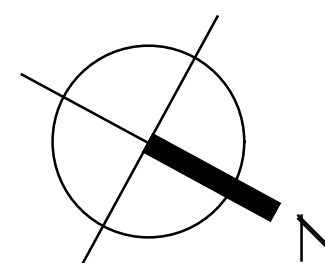
EXISTING / DEMO FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"




## PROPOSED ADU

SCALE: 1/4"=1'-0"



## WALL LEGEND

	WALL TO BE REMOVED
	EXISTING 2 x 4 STUD WALL TO REMAIN (NON-RATED WALLS)
	NEW 2 x 4 STUD WALL FRAMED • 16" O.C.
	NEW 2 x 6 STUD WALL FRAMED • 16" O.C.
	EXISTING CMU WALL
	EXISTING FIRE RATED WALL
	NEW 2 x 4 FIRE RATED STUD WALL FRAMED • 16" O.C. PER DETAIL 16/D00



LA RIVA DESIGN & BUILD LLC.  
 NOTHING IS IMPOSSIBLE  
 LIC # B-1077043  
 619-554-6422

2305 SWEETWATER RD  
SPRING VALLEY CA 91977  
CELL 619.554.6422

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RIVA JR., IS PROHIBITED AND MAY  
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TALIA ADU  
4566 DATE AVE  
LA MESA CA 91941

Drawn By GERARDO

PLAN CHECK 05.17.25

PLAN CHECK HIST. 05.28.25

RE CHECK #2 06.23.25

Recheck #3

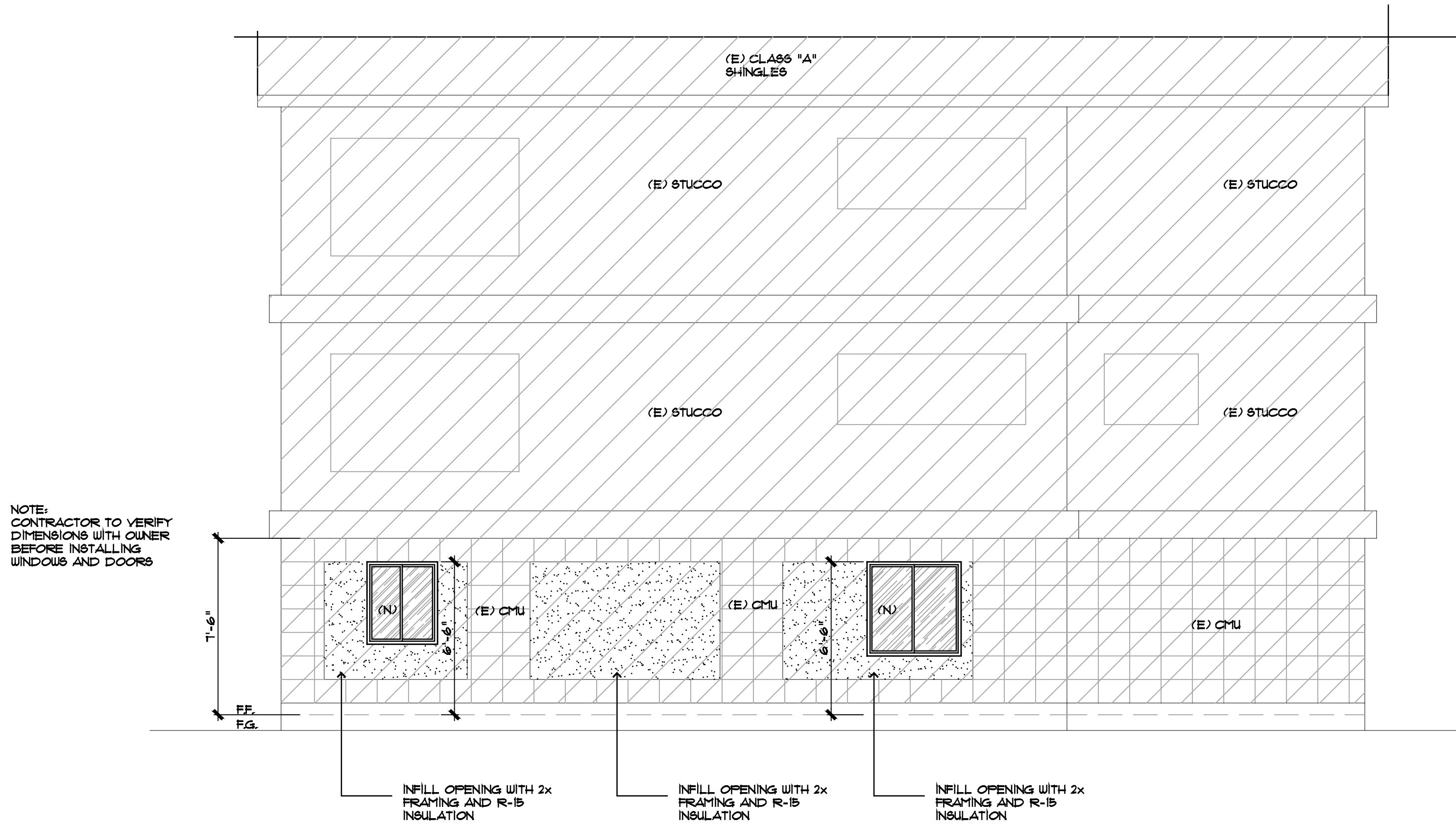
APN: 470-613-09-00

Scale  
PER DRAWING

Page #

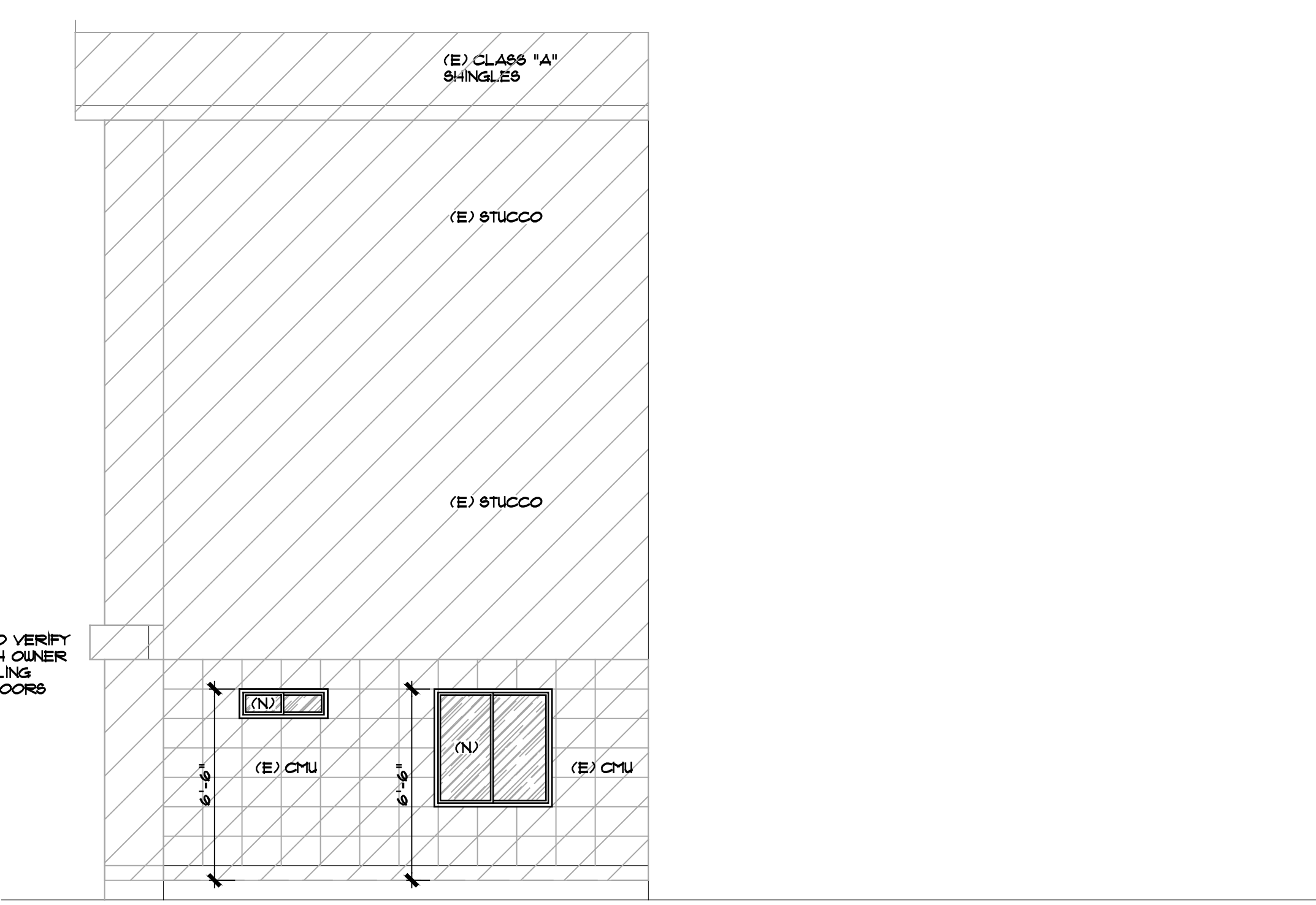
# A01





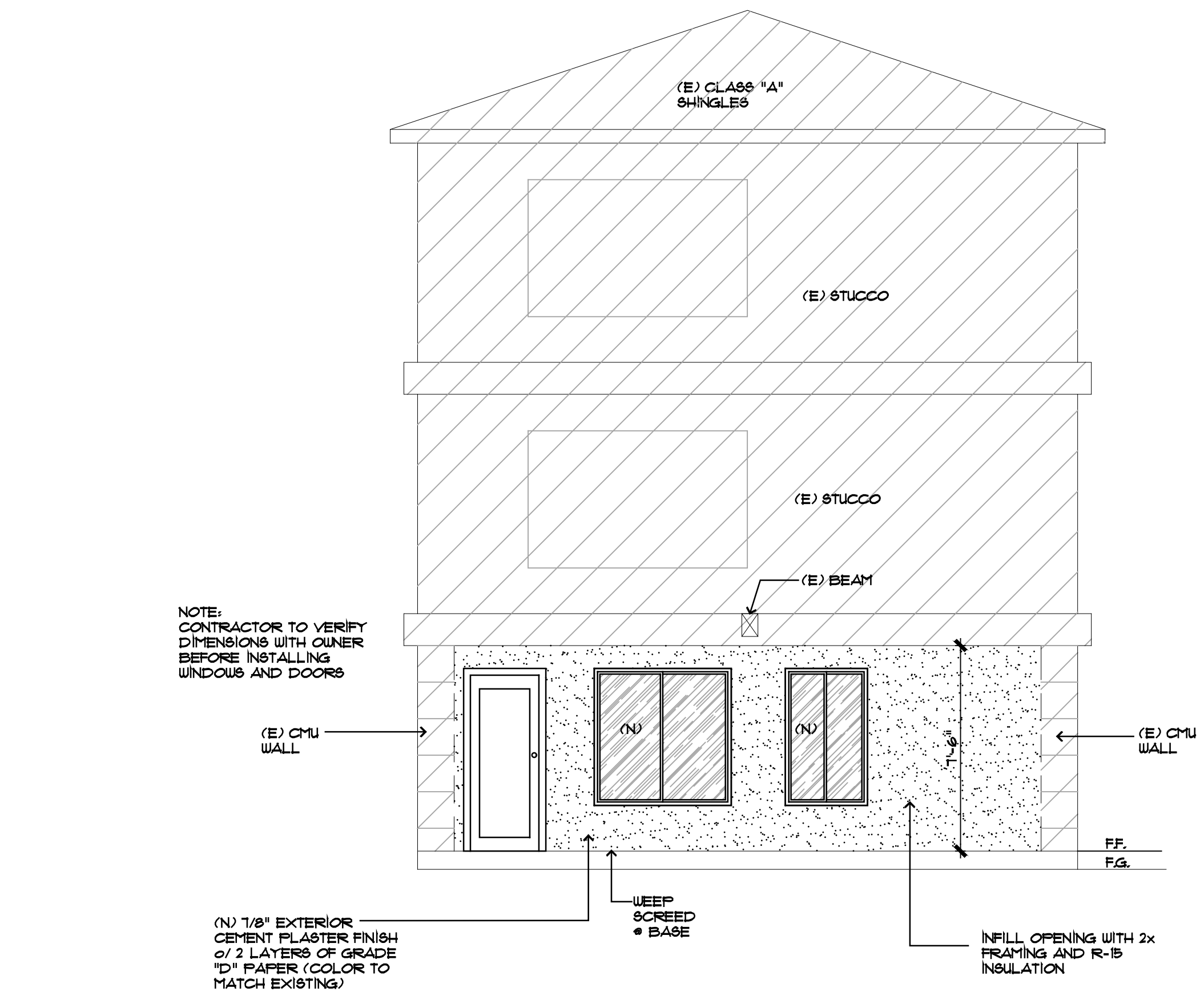
EAST ELEVATION

SCALE: 1/4"=1'-0"



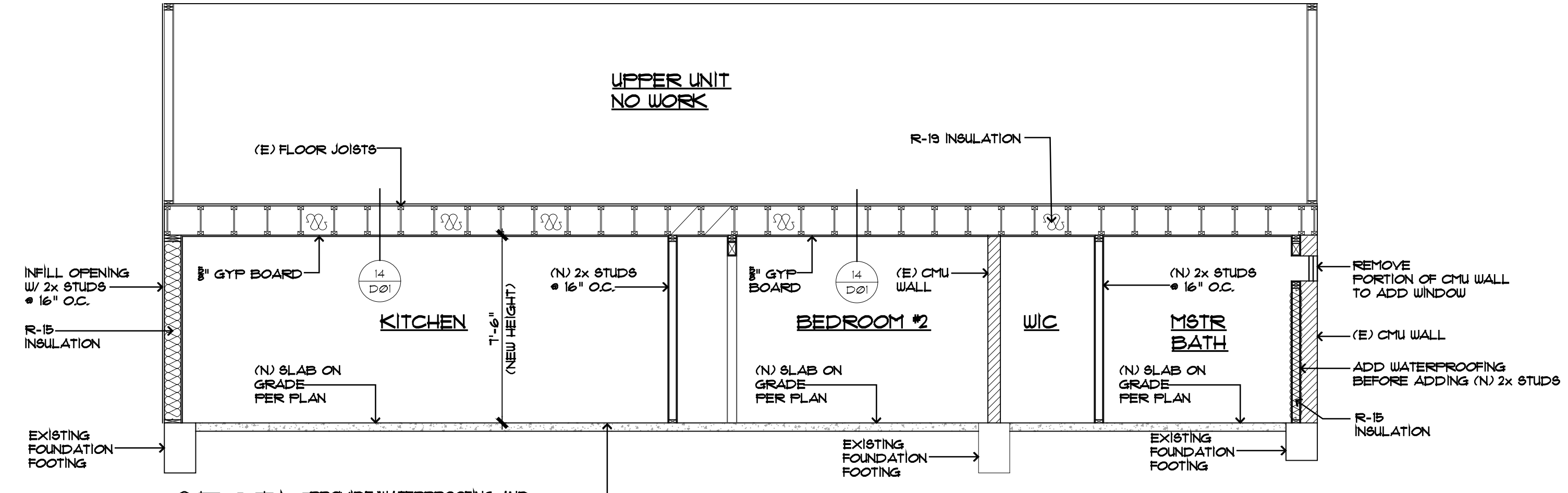
NORTH ELEVATION

SCALE: 1/4"=1'-0"



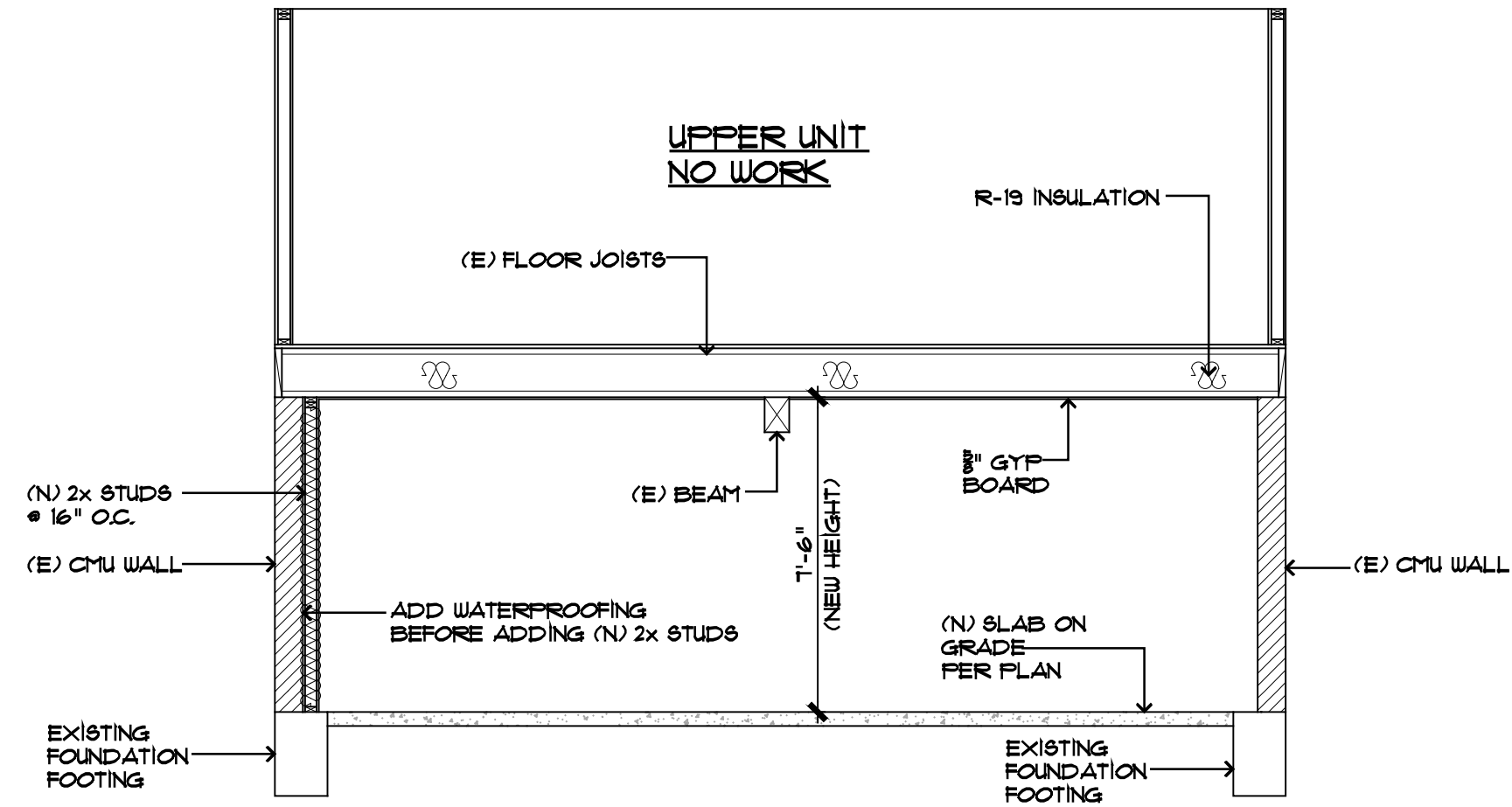
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



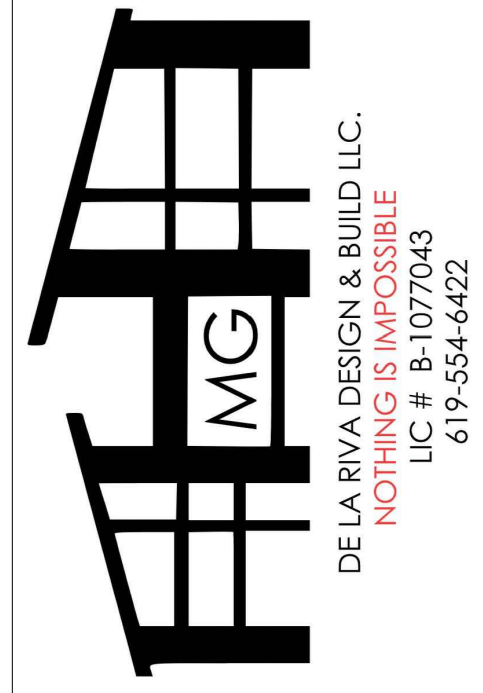
SECTION A

SCALE: 1/4"=1'-0"



SECTION B

SCALE: 1/4"=1'-0"



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PLAN CHECK 05.17.25  
PLAN CHECK HIST. 05.28.25  
RE CHECK #2 06.23.25  
Recheck #3  
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A02



