



LA MESA PLANNING COMMISSION AGENDA

A Regular Meeting

Date: Wednesday, November 6, 2024, 6:00 p.m.
Location: City Council Chambers, 8130 Allison Avenue
La Mesa, California

Commissioners: Vice Chair Andrew Torpey
Chair Jerry Jones
Commissioner Lauren Cooper
Commissioner Jonathan Frankel
Commissioner David Harris

The public may view the meeting in-person or live using the following remote options:

Teleconference Meeting Webinar

<https://us06web.zoom.us/j/84881824076>

Telephone (Audio only)

(669) 900-6833 or (253) 215-8782 Webinar ID: 848 8182 4076

Copy and paste the webinar link into your internet browser if the webinar link does not work directly from the agenda.

PUBLIC COMMENTS

- **In-Person comments during the meeting:** Join us for the Commission meeting at the time and location specified on this agenda to make your comments. Comments will be limited to three (3) minutes.
- **How to submit eComments:** eComments are available once an agenda is published. Locate the meeting in "upcoming meetings" and click the comment bubble icon. Click on the item you wish to comment on. eComments can be submitted when the agenda is published and until **24 hours prior** to the meeting. eComments are limited to 3700

characters (approximately 500 words). eComments may be viewed by the Commission and members of the public following the close of the eComment submission period (24 hours prior to the meeting). Email your comment to planning@cityoflamesa.us if you have difficulty submitting an eComment. eComments will not be read aloud as a regular meeting item; however any member of the Commission or member of the public may do so during their respective comment time.

PLEASE NOTE: Public Comment will be limited to 3 minutes per item. The timer begins when the participant begins speaking. Time cannot be combined or yielded to another speaker.

Citizens who wish to make an audio/visual presentation pertaining to an item on the agenda, or during Public Comments, should contact the Community Development Department at 619.667.1176, no later than 12:00 p.m., the business day prior to the meeting day. Advance notification will ensure compatibility with City equipment and allow Commission meeting presentations to progress smoothly and in a consistent and equitable manner. Please note that all presentations/digital materials are considered part of the maximum time limit provided to speakers.

Agenda reports for items on this agenda are available for public review at the Community Development Department, 8130 Allison Avenue, during normal business hours.

Materials related to an item on this agenda submitted to the Commission after distribution of the agenda packet are available for public inspection at the Community Development Department, 8130 Allison Avenue, during normal business hours.

ACCESSIBILITY: The City of La Mesa encourages the participation of disabled individuals in the services, activities and programs provided by the City. Individuals with disabilities, who require reasonable accommodation in order to participate in the Commission meetings, should contact the Administrative Services Department 48 hours prior to the meeting at 619.667.1175, fax 619.667.1163, or GSpaniol@cityoflamesa.us.

Hearing assisted devices are available for the hearing impaired. A City staff member is available to provide these devices upon entry to City Council meetings, commission meetings or public hearings held in the City Council Chambers. A photo i.d. or signature will be required to secure a device for the meeting.

Pages

1. CALL TO ORDER
 - 1.1 PLEDGE OF ALLEGIANCE
 - 1.2 INVOCATION
2. ADDITIONS AND/OR DELETIONS TO THE AGENDA

3. PUBLIC COMMENT - (TOTAL TIME - 15 MINUTES)

Note: In accordance with state law, an item not scheduled on the agenda may be brought forward by the general public for discussion; however, the Commission will not be able to take any action at this meeting. If appropriate, the item will be referred to staff or placed on a future agenda.

4. CONFLICT DISCLOSURES

5. CONSENT CALENDAR

(Items __ through __)

The Consent Calendar includes items considered to be routine. Unless discussion is requested by members of the Commission or audience, all Consent Calendar items may be approved by one motion.

5.1 CLIMATE ACTION PLAN UPDATE 4

Presented by Hilary Ego and Serena Lee

5.2 EV CHARGING STATION MASTER PLAN WORKING GROUP

5.3 APPROVAL OF THE MEETING MINUTES FOR THE 5

PLANNINGCOMMISSION MEETING HELD WEDNESDAY, JULY 17, 2024

6. STAFF REPORTS

7. PROCEDURAL RULES FOR CONDUCT OF HEARINGS

8. HEARINGS

8.1 PROJECT 2024-0824 8

A REQUEST FOR A SPECIAL PERMIT TO EXCEED LIMITATIONS ON PAVED AREAS AT A SINGLE-FAMILY RESIDENCE ADDRESSED AS 4775 NORMANDIE LANE PLACE (469-250-03-00) IN THE R1 (URBAN RESIDENTIAL) ZONE

Recommended Motion:

1. Adopt a resolution (**Attachment A**) approving the Special Permit, subject to the conditions of approval.

8.2 PROJECT 2023-2714 (HOPE INC.) – A REQUEST FOR A 16

CONDITIONAL USE PERMIT FOR AN ADULT DAY CENTER AT 7811 LA MESA BOULEVARD, APN 470-173-01-00 IN THE RB-D-MU (RESIDENTIAL BUSINESS/URBAN DESIGN OVERLAY/MIXED USE OVERLAY) ZONE

Recommended Motion:

Adopt a resolution (**Attachment A**) approving the conditional use permit.

9. STAFF AND COMMISSIONER ANNOUNCEMENTS

10. ADJOURNMENT



DATE: October 16, 2024

TO: Planning Commission

FROM: Hilary Ego, Environmental Sustainability Manager
Serena Lee, Environmental Analyst

SUBJECT: Climate Action Plan Update Presentation

In March 2018, the City Council approved the Climate Action Plan (CAP), which provides a roadmap of actions to reduce community-wide greenhouse gas (GHG) emissions. Development of a Climate Action Plan was identified as a mitigation measure in La Mesa's 2012 General Plan Update and established targets consistent with State goals and guidance. The 2018 CAP committed the City to updating the plan in 5 years. In 2022, City staff began work on the CAP Update with the consultant team, EPIC, Ascent Environmental Inc., and CR Associates.

Community outreach and engagement are essential elements of the CAP Update planning and development process. Therefore, the City conducted a series of workshops and surveys in 2023 to inform stakeholders and the public about the CAP Update and gather meaningful feedback to influence CAP measure and action development.

The CAP Update is the first comprehensive update to its original CAP adopted in 2018. Revisions were made from the 2018 CAP and address changes in federal and State regulations, greenhouse gas emission targets, regional programs, and advancements in technology. Additionally, the CAP Update addresses co-benefits, climate equity and environmental justice, adaptation strategies, and an addendum to the 2018 CAP Supplemental Environmental Impact Report.



La Mesa Planning Commission Meeting Minutes

Date: July 17, 2024, 6:00 p.m.
Location: City Council Chambers, 8130 Allison Avenue
La Mesa, California

Present: Chair Jones
Commissioner Cooper
Commissioner Harris

Absent: Vice Chair Frankel
Commissioner Torpey

Staff: Director of Community Development Santos
Assistant City Attorney Lacy
Julia Carrillo

1. **CALL TO ORDER**

Chair Jones calls to order at 6:13 pm

1.1 **PLEDGE OF ALLEGIANCE**

1.2 **ROLL CALL**

1.3 **INVOCATION**

Presented by Chair Jones

2. **ADDITIONS AND/OR DELETIONS TO THE AGENDA**

No additions or deletions

3. **PUBLIC COMMENT - (TOTAL TIME - 15 MINUTES)**

Note: In accordance with state law, an item not scheduled on the agenda may be brought forward by the general public for discussion; however, the Commission will not be able to take any action at this meeting. If appropriate, the item will be referred to staff or placed on a future agenda.

No public comments

4. **CONFLICT DISCLOSURES**

5. **CONSENT CALENDAR**

The Consent Calendar includes items considered to be routine. Unless discussion is requested by members of the Commission or audience, all Consent Calendar items may be approved by one motion.

5.1 **APPROVAL OF THE MEETING MINUTES FOR THE PLANNING COMMISSION SPECIAL MEETING HELD MONDAY, JULY 8, 2024**

Moved by Commissioner Harris

Seconded by Commissioner Cooper

Yes (3): Chair Jones, Commissioner Cooper, and Commissioner Harris

Absent (2): Vice Chair Frankel, and Commissioner Torpey

Motion Approved (3 to 0)

6. **STAFF REPORTS**

No staff reports

7. **PROCEDURAL RULES FOR CONDUCT OF HEARINGS**

8. **HEARINGS**

8.1 **HEARING: PROJECT NO. 2022-0692 (Center Street Distribution)-
RESOLUTION NO. PC-2024-XX, A RESOLUTION OF THE PLANNING
COMMISSION OF THE CITY OF LA MESA TO APPROVE A
CONDITIONAL USE PERMIT, TO ALLOW FOR A CANNABIS
DISTRIBUTION FACILITY AT 8227-8229 COMMERC**

The applicant, Center Street Distribution, LLC, is requesting a Conditional Use Permit (CUP) to allow for a Cannabis Distribution Facility in the M (Industrial Service and Manufacturing) Zone

Applicants were present to clarify and answer any questions from the commission.

Moved by Chair Jones

Seconded by Commissioner Cooper

Adopt Resolution PC-2024-XX (Attachment A) approving Project No. 2022-0692, to approve a Conditional Use Permit to allow for Adult Use Cannabis Distribution at 8227-8229 Commercial Street.

Yes (3): Chair Jones, Commissioner Cooper, and Commissioner Harris

Absent (2): Vice Chair Frankel, and Commissioner Torpey

Motion Approved (3 to 0)

9. STAFF AND COMMISSIONER ANNOUNCEMENTS

Director of Community Development will be out of the office in August and Planning Commission Regular Meetings will be cancelled however if something does come up on the calendar, a Special Meeting will be called.

10. ADJOURNMENT

Chair Jones adjourns meeting at 6:37 pm

REPORT to the LA MESA PLANNING COMMISSION

DATE: November 6, 2024

SUBJECT: PROJECT 2024-0824

DESCRIPTION: A REQUEST FOR A SPECIAL PERMIT TO EXCEED LIMITATIONS ON PAVED AREAS AT A SINGLE-FAMILY RESIDENCE ADDRESSED AS 4775 NORMANDIE PLACE (469-250-03-00) IN THE R1 (URBAN RESIDENTIAL) ZONE

ISSUING DEPARTMENT: Community Development

SUMMARY:

Issue(s):

1. Consideration of the Planning Commission to approve a Special Permit to expand the allowable paved area within the front setback of single-family dwelling.

Recommendation:

1. Adopt a resolution (**Attachment A**) approving the Special Permit, subject to the conditions of approval.

Environmental Review:

This project has been determined to be Categorical Exempt from the California Environmental Quality Act (CEQA) Guidelines pursuant to Section(s) 15061 (b)(3).

BACKGROUND:

The subject property is a 0.20-acre (9,400 square foot) lot located on the east side of Normandie Place, situated between Colony Road to the north and Camellia Drive to the south. The property is generally flat but slopes downhill from west to east and is developed with an existing single-family residence.

Development on Normandie Place is primarily single-family residential on existing sloped properties. The project site is located within the R1 (Urban Residential) zone, which is applied to more urbanized areas of the city. Streets and other public facilities are generally adequate to accommodate a dwelling unit, and the density is seven dwelling units per net acre.



Earlier this year, Code Compliance received a complaint about the property that pavers installed in the front yard may be in excess of the zoning limitations. "24.040.030 (F) of the La Mesa Municipal Code states that paved areas shall not exceed fifty percent of the lot area located between the front property line and the front setback line or fifty percent of the area between a side property line and a side setback line when located adjacent to a public street."

After review, the City determined and notified the property owners of 4775 Normandie that the new pavers exceeded fifty percent of the front setback area, and a Special Permit application, reviewed by the Planning Commission, would be required if they wanted to retain the existing paving along the west and southern portion of the property. Existing site photographs of the property and surrounding area are shown in **Attachment B**. The property owners have worked with the City in good faith to come into compliance, and have submitted a Special Permit application to allow for the paving along the front of their property.

DISCUSSION:

The applicant is requesting a Special Permit to allow for installed paving along the front west and southern portion of the property, and also proposes to install a new curb and driveway approach (project plans are provided as **Attachment C**). Special Permits are

required to expand the limits of certain development standards, when such expanded limits are reasonable but need evaluation of impact on adjacent properties and uses. The Planning Commission may authorize a Special Permit to allow for paved area to exceed fifty percent of the area located between the front property line and the front setback line, if the required findings are made as per La Mesa Municipal Code (LMMC)



Section 24.02.050. The required findings are further discussed below.

As discussed above, approval of a Special Permit to allow for the existing paving to exceed the fifty percent limit, sufficient facts must be provided to address two required findings. Staff analysis shows that the proposed project meets the required findings as described below:

1. Will the location and characteristics of the proposed project and the allowed use of them impact unfavorably upon adjacent properties?

The location and characteristics of the pavers and the allowed use of them would not impact unfavorably upon adjacent properties. In addition, access to the paved area was by way of a makeshift system utilizing a rubber curb ramp (Photo 3 in **Attachment B**), which is proposed to be replaced with a new curb and driveway approach constructed to city standard. The applicant has removed the system as a show of good faith while the Special Permit is processed.

The Director of Public Works determined that the proposed distance between driveways must comply with San Diego Regional Standards and shall provide a twenty-foot minimum distance, equivalent to one legal on-street parking space, between driveways. This requirement would be a condition of approval for the Special Permit.

2. Is the project consistent with the design objectives established as policy of the City Council?

The proposed curb opening, driveway approach, and pavers would be compliant with approved paving materials established in LMMC Section 24.040.030F, which requires that all off-street vehicle parking in residential zones be improved with concrete or asphalt paving, or with other permanent paving materials including but not limited to, brick, textured or ornamental paving, or similar materials. Additionally, as discussed above the improvements shall comply with the San Diego Regional Standards and Issuance of the Special Permit would allow for an improvement that reduces the amount of cars parked on Normandie Place.

ENVIRONMENTAL REVIEW:

The project is exempt from environmental review in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15061 (b)(3). Section 15061(b)(3) allows exemptions for the activities if there is certainty that there is no possibility that the activity may have a significant effect on the environment.

CONCLUSION:

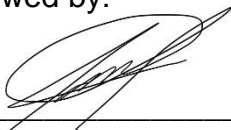
Based on the findings of fact discussed above, pursuant to La Mesa Municipal Code (LMMC) Section 24.02.050, staff recommends that the Planning Commission adopt the resolution (**Attachment A**) approving Project No. 2024-0824, subject to conditions of approval.

Respectfully submitted by:



Patrick Macpherson
Assistant Planner

Reviewed by:



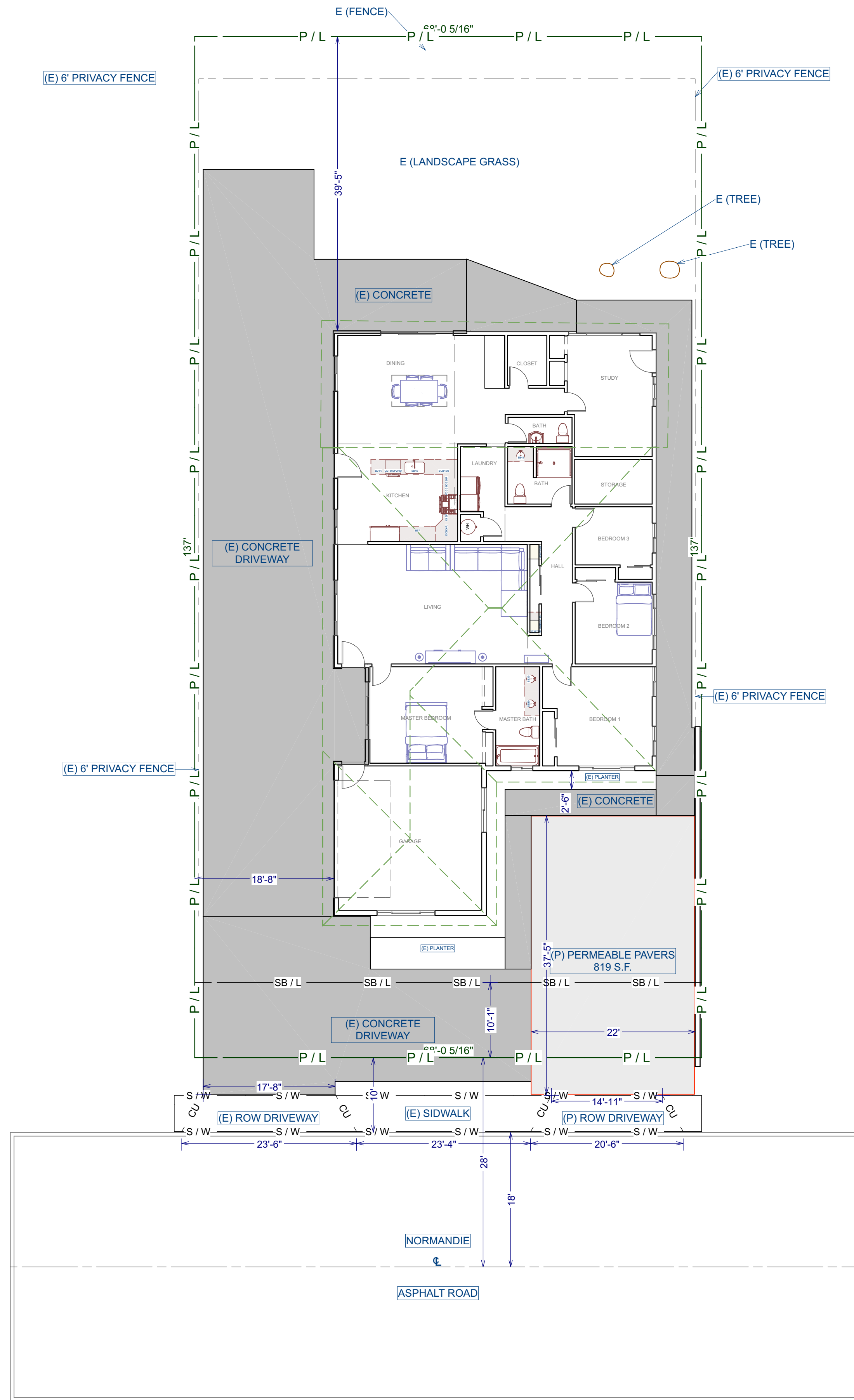
Jared Chavez
Assistant Director of Community
Development



Lynnette Santos
Director of Community Development

Attachments:

- A. Resolution
- B. Site Photographs
- C. Project Plans



SITE PLAN
SCALE: 1"=10'

SHEET INDEX

A-1 GENERAL NOTES
A-2 SITE PLAN

SCOPE OF WORK

SPECIAL PERMIT APPLICATION FOR 819 SQ FT OF PAVERS IN FRONT YARD OF S.F.D. ADDITIONALLY SCOPE INCLUDES ADDING NEW CURB OPENING AND DRIVEWAY APPROACH

LEGAL DESCRIPTION

ADDRESS: 4775 NORMANDIE PLACE LA MESA, CA 91942
APN: 469-250-03-00
LEGAL DESCRIPTION: LOT 23*- SAN DIEGO ASSESSOR'S MAP BOOK 469 PG. 25.

OWNER INFORMATION

NAME: MIKE ALLMAN
ADDRESS: 4775 NORMANDIE PL LA MESA, CA 91942
PHONE: (619) 504-9635

PROJECT TEAM:

DESIGNER AND CONTRACTOR
NAME: SO CAL DESIGN BUILD, INC.
CONTACT NAME: DAVID POTRA
ADDRESS: 10035 PROSPECT AVE, SUITE 102
SANTÉE, CA 92071
PHONE: (619) 448-0051
EMAIL: SERVICE@SOCALBUILDS.COM

BUILDING INFORMATION

GOVERNING AGENCY: LA MESA
ZONING OVERLAY: R1
YEAR BUILT: 1958
LOT SIZE: 9,400 S.F.
CONSTRUCTION TYPE: VB
OCCUPANCY GROUP: R3 & U
EXISTING NUMBER OF STORIES: 1
MAIN BUILDING SETBACKS:
FRONT -15'
REAR -15'
SIDE -3'
STREET SIDE -N/A
EXISTING BUILDING HEIGHT: 20'
CONNECTED TO PUBLIC SEWER: YES
SEWER DISTRICT: LA MESA
FIRE DISTRICT: HEARTLAND FIRE
IN FIRE ZONE: NO
BEACH OVERLAY ZONE: NO
COASTAL ZONE: NO
BUILDING CODE ANALYSIS (CALIFORNIA RESIDENTIAL CODE 2019): ONE-FAMILY DWELLING
PROPOSED TYPE OF CONSTRUCTION: WOOD-FRAMED, NOT FIRE RESISTANCE RATED.
NO AUTOMATIC FIRE SPRINKLER PROTECTION IN EXISTING RESIDENCE.
NO AUTOMATIC FIRE SPRINKLER PROTECTION IS REQUIRED.

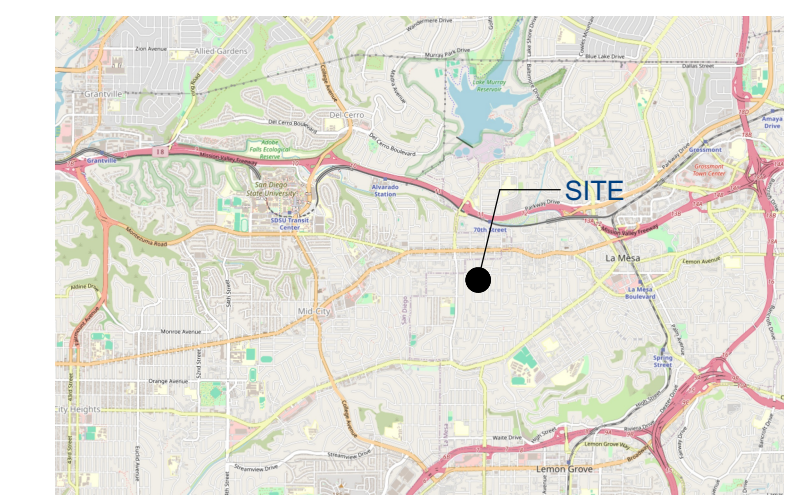
LEGEND

- G EXISTING NATURAL GAS METER POINT OF CONNECTION
- E EXISTING ELECTRICAL METER POINT OF CONNECTION
- W EXISTING WATER METER POINT OF CONNECTION
- S EXISTING SEWER POINT OF CONNECTION
- SFD - SINGLE FAMILY DWELLING
- SYS - SIDE YARD SETBACK
- FYS - FRONT YARD SETBACK
- RYS - REAR YARD SETBACK
- CURB
- P / L PROPERTY LINE
- SIDE WALK
- (E) FENCE, HEIGHT AND MATERIAL AS NOTED IN PLANS
- SETBACK LINE
- S S SEWER LINE-
- W W WATER LINE-
- E E E ELECTRICAL
- G GAS

SITE PLAN NOTES

1. NO WORK IS PROPOSED WITHIN A PUBLIC EASEMENT
2. STORM WATER FROM PROPOSED DOWNSPOUTS AND IMPERVIOUS AREAS SHOULD BE ROUTED TO EITHER LANDSCAPE AREAS OR PLANTER BOXES PRIOR TO REACHING PUBLIC DRAIN SYSTEM
3. NO PROPOSED ELECTRICAL OR MECHANICAL WORK SHALL BE INSTALLED CLOSER THAN 4' TO PROPERTY LINE.
4. SURFACE WATER WILL DRAIN AWAY FROM BUILDING. SEE DRAINAGE PATTERN IN PLANS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. SECTION R401.3
5. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED BY THE DEVELOPER FROM OCTOBER 1 TO APRIL 30 ANNUAL. THE DEVELOPER SHALL MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THEIR INTENDED LIFE.

VICINITY MAP



OWNER/JOB NAME:
ALLMAN RESIDENCE
4775 NORMANDIE PLACE
LA MESA, CA 91942

DESIGNER/CONTRACTOR:
soCal DESIGN BUILD
HOME DESIGN & REMODELING

RJW

REVISION TABLE NUMBER	DATE	REVISION BY	DESCRIPTION
01	03-19-2024	RJW	FOR CONSULTANTS

CONTENTS:
SITE PLAN & FLOOR PLAN

DATE: 9/16/24

SHEET:

A-2

RESOLUTION NO. PC-2024-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LA MESA APPROVING PROJECT 2024-0824 (ALLMAN) – A REQUEST FOR A SPECIAL PERMIT TO EXCEED LIMITATIONS ON PAVED AREAS AT A SINGLE-FAMILY RESIDENCE ADDRESSED AS 4775 NORMANDIE PLACE (469-250-03-00) IN THE R1 (URBAN RESIDENTIAL) ZONE

WHEREAS, the property owner submitted an application for a Special Permit to expand the allowable paved area within the front setback of 4775 Normandie Place (APN 469-250-03-00) in the R1 (Urban Residential) zone;

WHEREAS, the proposal would result in the entire front setback area being paved for driveway and parking areas;

WHEREAS, La Mesa Municipal Code (LMMC) Section 24.04.030F limits paved areas to no more than fifty percent of the lot area located between the front property line and the front setback line;

WHEREAS, La Mesa Municipal Code (LMMC) Section 24.04.030F provides that the fifty percent limit may be exceeded upon approval of a Special Permit;

WHEREAS; pursuant to LMMC Section 24.02.050, the Planning Commission may authorize a Special Permit to expand the limits of certain development standards, when such expanded limits are reasonable but need evaluation of impact on adjacent properties and uses;

WHEREAS, the Planning Commission did receive and consider a staff report for the proposal; and

WHEREAS, on November 6, 2024, the Planning Commission of the City of La Mesa held a duly noticed public hearing and accepted public testimony in consideration of Project No. 2024-0824.

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

1. The project is exempt from environmental review in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15061(b)(3).
2. The project is consistent with Title 24 (Zoning) of the La Mesa Municipal Code, including but not limited to the development standards and objectives of Chapter 24.05 (Residential Zones and Development Standards) and Chapter 24.04 (Parking).
3. Special Permit Findings (LMMC Section 24.02.050):
 - A. The location and characteristics of the proposed buildings and/or structures, and the allowed uses of them, will not impact unfavorably upon adjacent properties.
 - B. The project is consistent with the design objectives established as policy of the city council.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF LA MESA AS FOLLOWS:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.
2. The foregoing findings of fact and determinations are supported by the staff report, plans, and exhibits, all of which are herein incorporated by reference.
3. The Planning Commission approves Project No. 2024-0824, subject to the conditions in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of La Mesa, California, held the 6h day of November, 2024, by the following vote, to wit:

AYES:

NOES:

ABSENT:

I, Lynnette Santos, Secretary of the City of La Mesa Planning Commission, do hereby certify the foregoing to be a true and exact copy of Resolution PC-2024-0824 duly passed and adopted by the Planning Commission.

Lynnette Santos, Secretary
La Mesa Planning Commission

Exhibit A
PC Resolution PC-2024-01
Project 2024-0824
Conditions of Approval

1. The project is conditionally approved as set forth on the application and project drawings received electronically by the City on September 16, 2024, consisting of one sheet, A-2 (Site Plan & Floor Plan) all designated as approved by the Planning Commission on November 6, 2024, and shall not be altered without express authorization by the Community Development Department.
2. This approval shall not waive compliance with any section of the La Mesa Municipal Code and all other applicable City regulations in effect at the time of Building Permit issuance unless specifically waived herein.
3. Prior to any use or issuance of final occupancy of the project site pursuant to this approval, all conditions of approval contained herein shall be completed or secured to the satisfaction of the Community Development Department.
4. The applicant is responsible for coordinating civil, landscape, and architectural plans and supplemental materials at building permit submittal to ensure that all project plans and materials are internally consistent and consistent with each other. Inconsistent construction documents will not be accepted.
5. This constitutes an approval of the discretionary entitlement only. Additional permits, including but not limited to building and grading permits, may be required by the Community Development Department or other City departments prior to commencement of construction and/or use. It is the property owner and applicant's responsibility to obtain all necessary permits required for the type of project proposed.
6. The applicant shall obtain an encroachment permit and final inspection for improvements in the public right-of-way. The design of the new driveway approach shall comply with the San Diego Regional Standards and shall provide one legal on-street parking space between driveways.
7. The Owner shall waive any claims of liability against the City and indemnify, hold harmless and defend the City and City's employees regarding any component of the City's approval, and shall execute an indemnity agreement in substantially the form as provided by the Community Development Department prior to building permit issuance, initiating use in reliance of this permit, and the Community Development Director is hereby authorized to execute the same.
8. The applicant shall remove any existing structures or devices being used to access the paved area prior to installation of the new driveway approach.

REPORT to the LA MESA PLANNING COMMISSION

DATE: November 6, 2024

SUBJECT: PROJECT 2023-2714 (HOPE INC.) – A REQUEST FOR A CONDITIONAL USE PERMIT FOR AN ADULT DAY CENTER AT 7811 LA MESA BOULEVARD, APN 470-173-01-00 IN THE RB-D-MU (RESIDENTIAL BUSINESS/URBAN DESIGN OVERLAY/MIXED USE OVERLAY) ZONE

ISSUING DEPARTMENT: Community Development

SUMMARY:

Issue:

Should the Planning Commission approve a conditional use permit for an adult day center?

Recommendation:

Adopt a resolution (**Attachment A**) approving the conditional use permit.

Environmental Review:

The project is exempt from review under the California Environmental Quality Act (CEQA) Guidelines Section 15303.

BACKGROUND:

The 0.42-acre project site is located at the southeast corner of La Mesa Boulevard and Lee Avenue, south of the intersection of El Cajon Boulevard. This commercial center was developed in the late 1980s with one and two-story professional office buildings, off-street parking, and landscaping. Existing businesses in the center include a dentist and beauty salon. Surrounding uses include retail to the west, commercial services and a church to the north, multi-family residential to the east, and single-family residential to the south. An Assessor Parcel Map sheet is provided as **Attachment B**, photos of the site are provided as **Attachment C**, and a vicinity map is provided below.

Right-of-way improvements along the property frontage include curb and gutter, non-contiguous sidewalks, and an historic-era retaining wall at back-of-sidewalk along La Mesa Boulevard and the northernmost portion of Lee Avenue. Vehicular access is taken from a driveway opening in Lee Avenue at the south end of the site. Transit service is provided by MTS Bus Route 1 that stops in front of the neighboring property to the east.

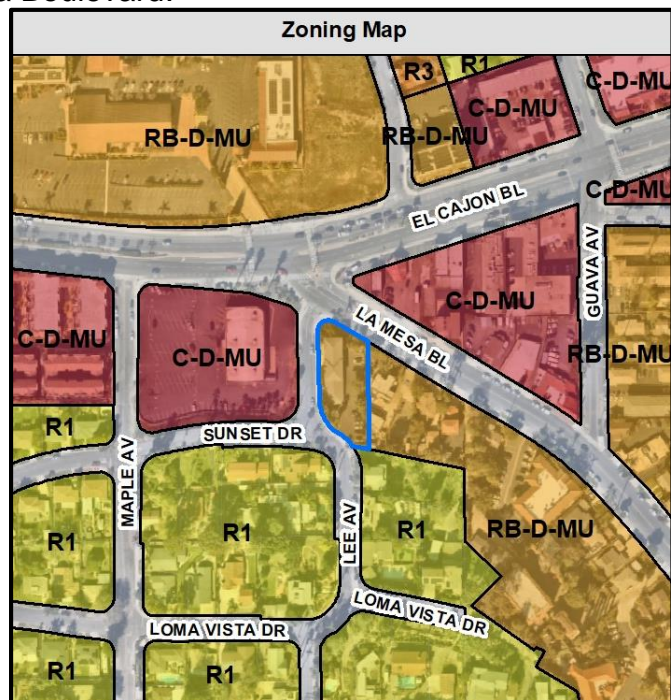
RB-D-MU (Residential Business/Urban Design Overlay/Mixed Use Overlay) zoning allows professional offices by-right and community care facilities by conditional use permit upon approval from the Planning Commission. Day care centers for adults are defined in the Zoning Ordinance as a type of community care facility. Surrounding zoning is illustrated on the Zoning Map below. The Planned Land Use is Mixed Use Urban, consistent with MU Overlay zoning that extends along both sides of El Cajon Boulevard and La Mesa Boulevard.



DISCUSSION:

As described in the applicant's description of business operations (**Attachment D**), HOPE, Inc. proposes to operate a non-behavioral adult day center within the existing professional office buildings as shown on the submitted drawings provided as **Attachment E**. The proposed lease area includes a 1,219-square-foot, ground floor suite (Suite A) for the facility's operations and a 760-square-foot upstairs space (Suite E) for staff offices.

HOPE Inc.'s adult day center program serves individuals with intellectual



disabilities and includes on-site enrichment activities and off-site community exploration. On-site programming would be located within a mobility training/activity classroom area on the first floor. Clients would be out in the community between five to twenty hours per week, primarily utilizing public transportation and the facility's two vans. As currently proposed, the program would operate Monday through Friday from 8:00 AM to 2:00 PM, serving clients aged 18 to 59 years of age. The draft conditions of approval include a limitation on operating hours to between 8:00 AM and 5:00 PM.

No exterior alterations are proposed to the building. Accessible path-of-travel improvements are proposed to walkways and parking adjacent to the building. The adult day center use involves a change of building occupancy from Group B (Business) to Group I-4 (Institutional – Day Care Facilities), which would require the installation of fire sprinklers and an automatic fire alarm system. Fire safety improvements to be required at permitting are stipulated in the draft conditions of approval.

The Planning Commission shall grant a conditional use permit after consideration of the report and the public hearing, only when the requirements of the applicable zone, state and local laws are met and all of the following findings pursuant to LMMC Sections 24.05.020C.3 and 24.02.060 are made. The findings to approve a Conditional Use Permit are supported by the evidence on the record as discussed below.

1. The subject property is adjacent to commercial zoned property.

Adjacent properties to the north and west are zoned C-D-MU (General Commercial/Urban Design Overlay/Mixed Use Overlay).

2. Any adverse effect on adjacent residential property is mitigated through project design.

The project site will primarily serve as a drop off point for program participants. In addition, project design features and proposed business operations will further assist in avoiding adverse effects on adjacent residential properties to the east and south, including the placement of the adult day center's classroom and activity areas indoors and daytime business hours. The parking area is separated from adjacent residences to the east by landscaping and fencing and no new lighting is proposed that could impact the adjacent residential properties.

3. Findings for approval of a Conditional Use Permit under LMMC 24.02.060

(A) Incompatibility with other uses in the same vicinity will not result.

The proposed adult day center use appears to be compatible with other uses in

the same vicinity. The surrounding area is developed with uses of similar intensity, including two churches within 500 feet of the project site operate large preschool/day care facilities and K-8 private schools. In addition, the existing businesses on the site, including medical offices (dentist) and a beauty salon, are compatible with the proposed use as these are also community serving uses. Nearby residences would not be affected by nighttime or weekend activity because the proposed program would operate Monday through Friday, during daytime business hours consistent with other commercial uses in the area.

(B) Issuance of such a conditional use permit would not lead to the creation of a nuisance and would not endanger the public health, safety, or order by:

(1) Unreasonably increasing pedestrian and/or vehicular traffic in the area in which the premises are located;

An unreasonable increase in pedestrian or vehicular traffic is not anticipated. The project site is located in a high-volume pedestrian area, with signalized pedestrian crosswalks at the La Mesa Boulevard/El Cajon Boulevard intersection and a bus stop nearby. Clients will utilize public transportation and two company vans that will be parked in the parking lot during the day. There may be an increase in pedestrian traffic utilizing public transit, but no significant increase in vehicular traffic or parking is anticipated as it is expected that program participants will be dropped off at the center.

(2) Increasing the incidence of disruptive conduct in the area in which the premises are located; or

The adult day center use is not anticipated to increase the incidence of disruptive conduct in the area. Similar facilities located on University Avenue, Fletcher Parkway, and at other sites have not generated any complaints about disruptive conduct. Loading and off-loading of will take place within designated areas in the parking area on-site. A condition of approval outlines the process for a new public hearing before the Planning Commission should the Director of Community Development determine that the use is not in compliance with the CUP and/or the City of La Mesa Code of Ordinances.

(3) Unreasonably increasing the level of noise in the area in which the premises are located.

The proposed adult day center use would not unreasonably increase the level of noise in the area. Operation of the center will be limited to daytime hours, and with the exception of clients and staff coming and going from the

property, will be conducted entirely indoors. Other adult day center programs located in commercial/mixed-use areas similar to the project site have not generated noise complaints from neighbors. A standard condition of approval, typical for all conditional use permits, outlines the process for a new public hearing before the Planning Commission, should the Director of Community Development determine that the use is not being operated in compliance with the CUP and/or the City of La Mesa Code of Ordinances.

(C) The use is consistent with the General Plan.

The use is consistent with the General Plan. The site's planned land use, Mixed Use Urban, is intended to allow a more intensive level of commercial development than Local Serving Commercial, but not the high volume regionally significant activities found in Regional Serving Commercial. Those sites with a Local Serving Commercial planned land use are most consistent with CN (Neighborhood Commercial) zoning, which allows all types of community care facilities, including adult day centers, by-right.

Public Notice of Project:

Notice of the Planning Commission hearing to consider the conditional use permit was mailed to surrounding property owners within 300 feet of the subject property on October 24, 2024, and published in The Daily Transcript on October 25, 2024, in accordance with Municipal Code requirements.

ENVIRONMENTAL REVIEW:

The project is exempt from environmental review in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15303, New Construction or Conversion of Small Structures, which allows for the conversion of existing small structures from one use to another where only minor modifications are made to the exterior. The exemption applies to office buildings not exceeding 10,000 square feet in area where the site is zoned for the use, the use does not involve the use of significant amounts of hazardous substances, and all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive. The project meets all of the conditions necessary to qualify for the exemption and none of the exceptions listed in Section 15300.2 apply.

CONCLUSION:

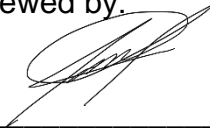
Adopt a resolution (**Attachment A**) approving Project 2022-1714, subject to draft conditions of approval.

Respectfully submitted by:



Allyson Kinnard
Associate Planner

Reviewed by:



Jared Chavez
Assistant Director of Community Development

Reviewed by:

Lynnette Santos

Lynnette Santos
Director of Community Development
Attachments:

- A. Draft Planning Commission Resolution
- B. APN Sheet
- C. Site Photographs
- D. Project Correspondence
- E. Project Plans

RESOLUTION NO. PC 2024-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LA MESA APPROVING PROJECT 2023-2714 (HOPE INC.) – A REQUEST FOR A CONDITIONAL USE PERMIT FOR AN ADULT DAY CENTER AT 7811 LA MESA BOULEVARD (APN 470-173-01-00) IN THE RB-D-MU (RESIDENTIAL BUSINESS/URBAN DESIGN OVERLAY/MIXED USE OVERLAY) ZONE

WHEREAS, project applicant HOPE Inc. has submitted a conditional use permit application to the City of La Mesa for an adult day center at 7811 La Mesa Boulevard (APN 470-173-01-00) in the RB-D-MU (Residential Business/Urban Design Overlay/Mixed Use Overlay) zone (Project 2023-2714);

WHEREAS, under La Mesa Municipal Code (LMMC) Section 24.01.100, day care centers for adults are defined as community care facilities;

WHEREAS, pursuant to La Mesa Municipal Code (LMMC) Section 24.05.020C.3, community care facilities, which are principally permitted in the CN (Neighborhood Commercial) zone, are permitted upon approval of a conditional use permit in the RB (Residential Business) zone when the subject property is adjacent to commercially zoned property and any adverse effect on adjacent residential property is mitigated through project design;

WHEREAS, the Planning Commission did receive and consider a staff report on the proposed project;

WHEREAS, the Planning Commission of the City of La Mesa did hold a duly noticed public hearing on November 6, 2024, and accepted public testimony in considering Project No. 2023-2714; and

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

1. The project is exempt from environmental review in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15303, New Construction or Conversion of Small Structures, which allows for the conversion of existing small structures from one use to another where only minor modifications are made to the exterior. The exemption applies to office buildings not exceeding 10,000 square feet in area where the site is zoned for the use, the use does not involve the use of significant amounts of hazardous substances, and all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive. The project meets all of the conditions necessary to qualify for the exemption and none of the exceptions listed in Section 15300.2 apply.
2. The project site is located adjacent to commercially zoned property. Adjacent properties to the north and west are zoned C-D-MU (General Commercial/Urban Design Overlay/Mixed Use Overlay).
3. Adverse effects on adjacent residential property are mitigated through the project design. The project site will primarily serve as a drop off point for program participants. In addition, project design features and proposed business operations will further assist in avoiding adverse effects on adjacent residential properties to the east and south, including the placement of the adult day center's classroom and activity areas indoors and daytime

business hours. The parking area is separated from adjacent residences to the east by landscaping and fencing and no new lighting is proposed that could impact the adjacent residential properties.

4. Conditional Use Permit Findings (La Mesa Municipal Code Section 24.02.060):

(A) Incompatibility with other uses in the same vicinity will not result.

The proposed adult day center use appears to be compatible with other uses in the same vicinity. The surrounding area is developed with uses of similar intensity, including two churches within 500 feet of the project site operate large preschool/day care facilities and K-8 private schools. In addition, the existing businesses on the site, including medical offices (dentist) and a beauty salon, are compatible with the proposed use as these are also community serving uses. Nearby residences would not be affected by nighttime or weekend activity because the proposed program would operate Monday through Friday, during daytime business hours consistent with other commercial uses in the area.

(B) Issuance of such a conditional use permit would not lead to the creation of a nuisance and would not endanger the public health, safety, or order by:

(1) Unreasonably increasing pedestrian and/or vehicular traffic in the area in which the premises are located;

An unreasonable increase in pedestrian or vehicular traffic is not anticipated. The project site is located in a high-volume pedestrian area, with signalized pedestrian crosswalks at the La Mesa Boulevard/El Cajon Boulevard intersection and a bus stop nearby. Clients will utilize public transportation and two company vans that will be parked in the parking lot during the day. There may be an increase in pedestrian traffic utilizing public transit, but no significant increase in vehicular traffic or parking is anticipated as it is expected that program participants will be dropped off at the center.

(2) Increasing the incidence of disruptive conduct in the area in which the premises are located;

The adult day center use is not anticipated to increase the incidence of disruptive conduct in the area. Similar facilities located on University Avenue, Fletcher Parkway, and at other sites have not generated any complaints about disruptive conduct. Loading and off-loading of will take place within designated areas in the parking area on-site. A condition of approval outlines the process for a new public hearing before the Planning Commission should the Director of Community Development determine that the use is not in compliance with the CUP and/or the City of La Mesa Code of Ordinances.

(3) Unreasonably increasing the level of noise in the area in which the premises are located.

The proposed adult day center use would not unreasonably increase the level of noise in the area. Operation of the center will be limited to daytime hours, and with

the exception of clients and staff coming and going from the property, will be conducted entirely indoors. Other adult day center programs located in commercial/mixed-use areas similar to the project site have not generated noise complaints from neighbors. A standard condition of approval, typical for all conditional use permits, outlines the process for a new public hearing before the Planning Commission, should the Director of Community Development determine that the use is not being operated in compliance with the CUP and/or the City of La Mesa Code of Ordinances.

(C) The use is consistent with the general plan.

The use is consistent with the General Plan. The site’s planned land use, Mixed Use Urban, is intended to allow a more intensive level of commercial development than Local Serving Commercial, but not the high volume regionally significant activities found in Regional Serving Commercial. Those sites with a Local Serving Commercial planned land use are most consistent with CN (Neighborhood Commercial) zoning, which allows all types of community care facilities, including adult day centers, by-right.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF LA MESA AS FOLLOWS:

1. The foregoing findings of fact and determinations are true and hereby made a part hereof.
2. The foregoing findings of fact and determinations are supported by the staff, report, plans, and exhibits, all of which are herein incorporated by reference.
3. The Planning Commission approves Project No. 2023-2714 subject to the conditions of approval in Exhibit A.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of La Mesa, California, held the xx day of November 2024, by the following vote, to wit:

AYES:

NOES:

ABSENT:

I, Lynnette Santos, Secretary of the City of La Mesa Planning Commission, do hereby certify the foregoing to be a true and exact copy of Resolution PC-2024-xx, duly passed and adopted by the Planning Commission.

Lynnette Santos, Secretary
La Mesa Planning Commission

Exhibit A
PC Resolution PC-2024-xx
Project No. 2023-2714 – Conditional Use Permit
Conditions of Approval

A. GENERAL CONDITIONS

1. The project is conditionally approved as set forth on the application and project drawings received electronically by the City on October 30, 2024, consisting of nine (9) sheets total, including G001 – Title Sheet; G201 Occupancy and Egress Plan; A101 Existing Site Plan; A102 Proposed Site Plan; A200 Demo Floor Plans; A201 Floor Plan & RCP – 1st Floor Suite A; A202 Floor Plan & RCP 2nd Floor Suite E; A251 Existing Roof Plan; A301 Existing/Proposed West Elevation & Stair/Ramp Landing Section; all designated as approved by the Planning Commission on November 6, 2024, and shall not be altered without express authorization by the Community Development Department.
2. Hours of operation of the adult day center use shall be limited to Monday through Friday, 8:00 a.m. – 5:00 p.m.
3. This approval shall not waive compliance with any section of the La Mesa Municipal Code or any other applicable City regulations in effect unless specifically waived herein.
4. Prior to any use or issuance of final occupancy of the project site pursuant to this approval, all conditions of approval contained herein shall be completed or secured to the satisfaction of the Community Development Department.
5. The Director of Community Development (“Director”) shall provide written notice to the property owner if the Director determines that the use is not in compliance with the Conditional Use Permit and/or the City of La Mesa Code of Ordinances. The Director shall prepare and present a report regarding the complaint(s) and any analysis prepared to the Planning Commission in a noticed public hearing. Based on the evidence presented and testimony received in the public hearing, the Planning Commission may impose additional restrictions and conditions of approval.
6. This constitutes an approval of the discretionary entitlement only. Additional permits, including but not limited to building and encroachment permits, may be required by the Community Development Department or other City departments prior to commencement of construction and/or use. It is the property owner and applicant’s responsibility to obtain all necessary permits required for the type of project proposed.
7. The Owner(s) shall waive any claims of liability against the City and indemnify, hold harmless and defend the City and City’s employees regarding any component of the City’s approval, and shall execute an indemnity agreement in substantially the form as provided by the Community Development Department prior to building permit issuance, initiating use in reliance of this permit, recordation of the final map and/or recordation of the final parcel map, as applicable, and the Community Development Director is hereby authorized to execute the same.

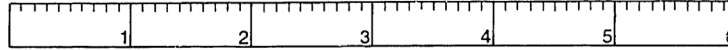
B. THE FOLLOWING CONDITIONS SHALL BE SATISFIED AT BUILDING SUBMITTAL:

1. Plans must be complete and stamped by a licensed professional/s.
2. All permits (encroachment, fire, or other) for this development project shall be submitted and issued concurrently.
3. The project must comply with all applicable disabled accessibility regulations in Chapter 11B, Title 24 California Building Code.
4. The project must comply with the City's Construction and Demolition Ordinance regulating recycling of construction materials.
5. This project shall comply with 2022 California Building, Mechanical, Electrical, Plumbing, Green and Energy Efficiency codes.
6. The project shall comply with 2022 California Fire Codes, including but not limited to requirements to provide an automatic fire alarm system and an automatic sprinkler system throughout buildings with a Group 1 fire area.

C. THE FOLLOWING CONDITIONS SHALL BE SATISFIED PRIOR TO OCCUPANCY:

1. The applicant shall obtain finals from all departments for all issued permits: Building, Fire, Planning, Engineering, and San Diego County Environmental Division (APCD and Hazardous Materials) prior to the issuance of a certificate of occupancy.
2. The applicant shall maintain the property in good condition and repair. All yards and other open spaces around buildings shall be kept free of waste, litter, junk, or storage of any material. Packing boxes, lumber, litter, dirt and other debris accumulated in vestibules, doorways or the adjoining sidewalks or outside commercial buildings and visible from public or private streets shall be prohibited. Maintenance of the property and the responsibility for such maintenance shall be that of the owner of record and/or the occupant, separately or jointly, and either or both may be cited for any violation on the building site.

1-800-345-7334

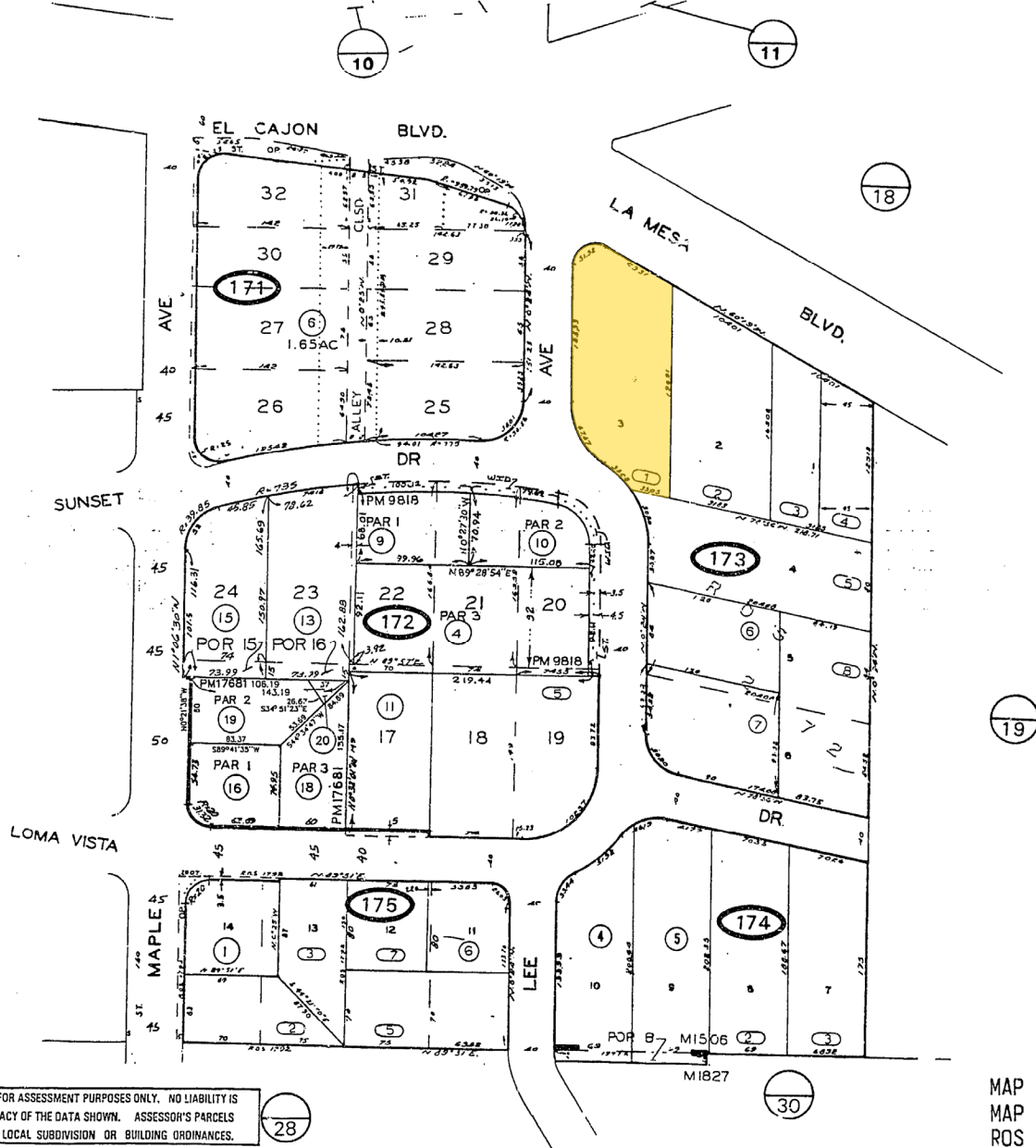
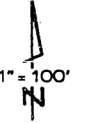


SCALE IN 1/10 OF AN INCH

05

470-171-173

470-17.



10/15/98 SM

CHANGES			
BLK	OLD	NEW	YR CUT
175	4	627	62 1995
171	3	5410	62 323
174	360-1	445	71 6715
175	1	SAME	77 4730
		3411	77 4730
172	314	7455	80 3603
		7455	80 3603
172	3	9110	81 1184
172	6	218	88 1188
		218	88 1188
172	12-14	12-15	91 1426
172	12-14	16-784	97 1114
		ST ALICE	97 1114
171	2,445	6	97 1515
172	17	19&20	99 1677

SAN DIEGO COUNTY
ASSessor'S MAP
BOC. 270 PAGE 17

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

MAP 1827 - ROSELAND HEIGHTS NO. 2
MAP 1506 - ROSELAND HEIGHTS
ROS 1792, 2772

NOV 03 1998



Partial east elevation at the location of the proposed first-floor adult day care center.



Parking area at the north end of the site, looking southeast.



Partial west building elevation in the area of proposed walkway improvements, looking south.



Partial west elevation at the location of the proposed first-floor adult day care center, looking north.



View of entry driveway at the south end of the project site, looking southeast.



View of entry drive, on-site parking, and trash enclosure at the south end of the project site, looking northeast



View from entry drive at the south end of the site, looking west.



View from entry drive at the south end of the site, looking southwest.

7811 La Mesa Blvd.

Hope Inc – COMMUNITY CARE FACILITY

Business Operations Narrative

Description of Business Operations:

HOPE Inc. is a non-behavioral adult day center (ADC) dedicated to providing high quality support to individuals with intellectual disabilities (Intellectual Disabilities, Down Syndrome, Epilepsy, Cerebral Palsy and Autism). Working along with the Department of Developmental Services (DDS), San Diego Regional Center, and other associations, HOPE Inc. aims to achieve the client's highest life skill potential.

With our previous success, HOPE Inc. now serves four locations, three-day programs located at the City of Lemon Grove, one at the city of Chula Vista, and now, we aim to provide our support services at our recent expansion to the City of La Mesa.

By providing educational opportunities and promoting self-efficacy, the program seeks to work towards a future where all people whose needs limit their integration into the community can reach their highest level of potential as productive and responsible members of society (Regional Center, 2013).

HOPE Inc. hours of operation consist of Monday through Friday from 8:00 am to 2:00 pm at 7811 La Mesa Blvd Suite A & E with a demographic population of 18 and 59 years old.

Transportation will be provided by public transportation MTS/City busses, two company vans will be parked inside parking lot in designated area. (designated parking will be posted inside property and no overnight van parking).

Loading and off-loading will be designated inside the property parking lot in by the handicap parking, in designated pick up and drop off spot.

MTS route #1 will be taken when accessing the community as well as the San Diego trolley.

Company overview / Services:

HOPE Inc. is a community-based program which provides assistance with daily living activities, personal care, and supervision for our clients protection. The adult developmental program is designed to assist clients in making age-appropriate choices in selecting recreational and leisure activities in the community, with the goal of developing natural relationships for support (i.e., exercise classes, library visits, bowling, museums and galleries, and art classes, as well as seasonal and other activities that meet other interests and preferences).

Operations Plan:

The Program is designed to focus on providing a functional curriculum through innovative programming that includes:

- A focus on the development and maintenance of functional skills required for community integration, work training and self-care,
- Clients will typically be in the community five to twenty hours per week,
- Sustained support and direction in a 1:3 ratio so each client has the best opportunity to attain their desired maximum level of independence,
- Enhancing each client's own interests and individual potential in all areas of their lives, and providing equal access to community environments and integrated employment services.

Hours of Operation:

Client - 8am - 2pm
Drop Off Times: 8am
Pick Up Times: 2pm

of Staff: **(3) On-site Staff.**
 (10) Community Staff

Daily Programming Schedule:

At least every day 50% of the clients will access the community via MTS route #1 will be taken when accessing the community as well as the San Diego trolley.

Clients will benefit for a variety of daily living skills training as followed:

8:00a.m. – 9:45a.m.

Check-in, daily attendance, health checks, dress for success, grooming and hygiene, toileting, self-care program, review of the HOPE Inc. code of conduct (Adult Development Center rules) and a review of the activities schedules/choices to be made about the events of the day.

9:45a.m. – 10:45a.m.

First group session of the day. Session may include group work on specific independent living, vocational development programs, mobility training, or the senior development program. In house or community paid work opportunities, client council meetings/guest speakers, self-advocacy meetings (sexuality education), prepping and leaving for outings, music classes, exercise classes, art classes, dance classes, socialization skills classes, money management classes, safety skills classes.

10:45a.m. – 11:00a.m.

Self-care including hand washing, lunch setup and preparation, social etiquette and table manners programs are run throughout setup and lunchtime. Some clients may leave the site with staff to walk or drive to nearby restaurants or fast food establishments to purchase lunch. Community safety skills, purchase skills, and socialization skills are worked on during that time.

11:00a.m. – 12:00p.m.

Clients may have lunch in the community or at the day program. Interpersonal relationship skills, recreation and leisure skills development, and socialization skills are worked on during this time.

12:00p.m. – 12:15p.m.

Self-care including hand washing, lunch cleanup, socialization skills and table manners programs are run throughout lunchtime and cleanup. Clients who left the facility with staff for lunch should return at this time to the facility if they are not on and community outing or community work contract. Community safety skills and social etiquette skills are worked on during this time.

12:15p.m. – 12:45p.m.

Second group session of the day. The second session will be a different activity. Session One. Session One may include group work on specific independent living or functional living skill programs, mobility training skills, in house or community paid work opportunities, sessions with the client council meetings/guest speakers, self-advocacy meetings (sexuality education), prepping and leaving for outings, music classes, exercise classes, art classes, dance classes, socialization skills classes, money management classes, safety skills classes.

12:45p.m. – 1:45p.m.

Third group session of the day. The third session will be a different activity then sessions one and two. Session may include group work on specific independent living or functional living skill programs, community resources skills, in house or community paid work opportunities,

client council meetings/guest speakers, self-advocacy meetings (sexuality education), prepping and returning from outings/checking in, music classes, exercise classes, art classes, dance classes, socialization skills classes, money management classes, safety skills classes.

1:45p.m. – 2:00p.m.

Gathering belongings, Dress for Success, Grooming and Hygiene, Toileting, Self-care Programs, a review of the activities during the day, checking out, boarding transportation/leaving from Home.

The activities and times above are basic daily activities that are scheduled. Specific client weekly schedule are preplanned a week in advance and are modified daily (if appropriate) based on the clients input. Community outings are not limited, except that they should be age appropriate, serve a learning purpose, not create a health or safety risk, be at locations pre-approved by a manager, be in a public area, and be appropriate in a social and moral context. Below are some suggested locations:

- Amusement Parks
- Department Stores
- Fire Departments
- Grocery Stores
- Libraries and Post Offices
- Malls
- Museums
- Parks and Recreation Centers
- Police Departments
- Red Cross
- Restaurants
- Schools
- Sheriff Departments
- YMCA

NOTE: Schedules may be modified due to a planned celebration/holiday, unanticipated absences or inclement weather.

Other indoor and off site activities:

Arts and crafts, painting, planting and gardening.

How much time will the client spend on site each Day?

Approximately (5) hours (9am – 1pm)

What % of clients will be dropped off?

50% will be dropped off

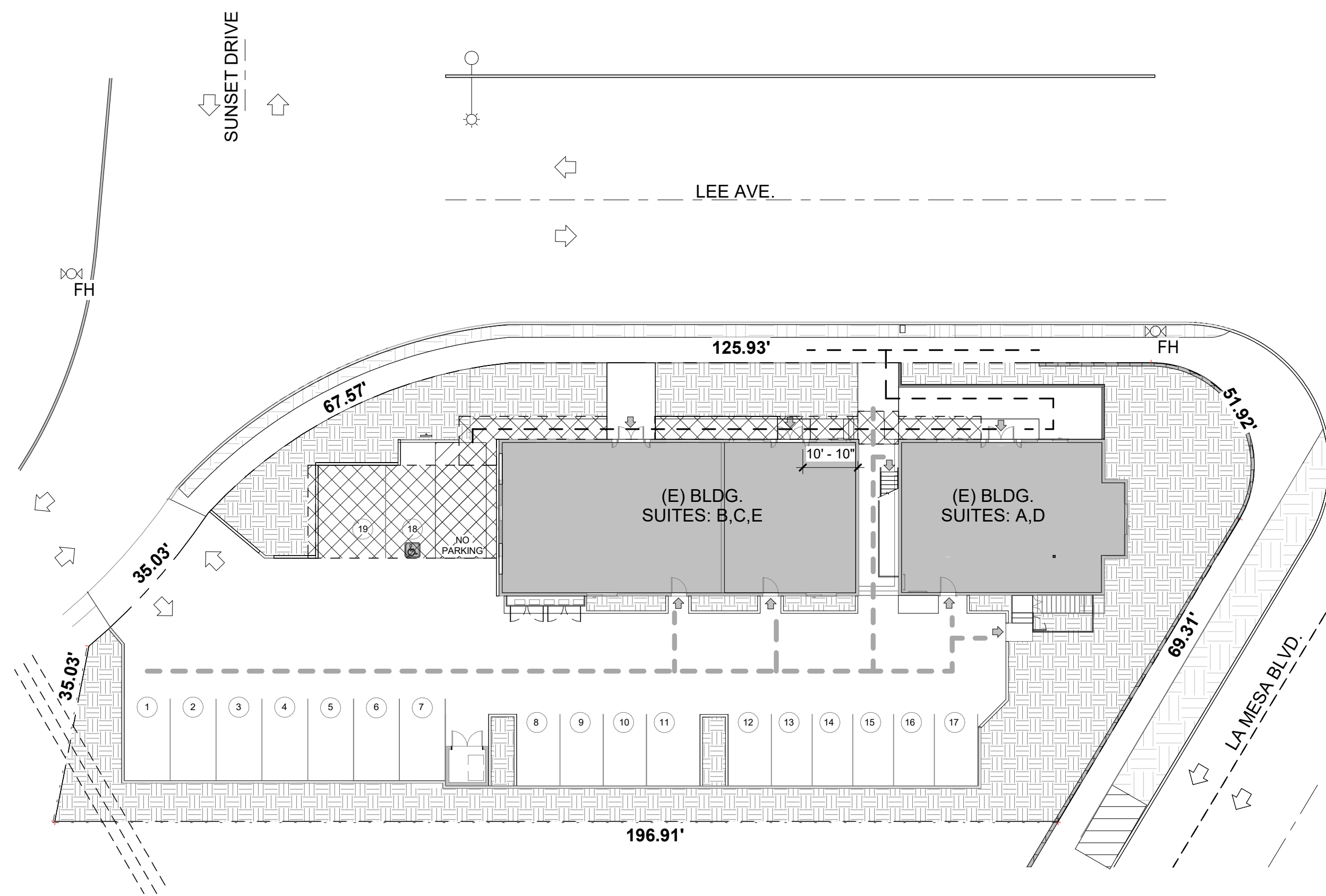
50% will take public transportation

7811 LA MESA BLVD

CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY

SITE PLAN - SCOPE OF WORK - EXISTING CONDITIONS BASED ON PERMIT DAB 87-03

SCALE: 1" = 20'



SITE PLAN LEGEND

- (E) BUILDING FOOTPRINT
- AREA OF WORK REQUIRED PER: CBC 11B 202.4.8
- PROPERTY LINE
- STREET CENTERLINE
- DIRECTION OF STREET TRAFFIC
- MTS BUS STOP
- FIRE HYDRANT
- STREET LIGHT POLE
- OVERHEAD ELECTRICAL LINES
- PARKING SPACE COUNT
- PROPOSED ACCESSIBLE PATH OF TRAVEL
- NON ACCESSIBLE PATH
- (E) OCCUPANT SUITE ENTRANCE
- LANDSCAPED AREA



CBC 11B-202.4.8 PATH OF TRAVEL REQUIREMENTS IN ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS

CBC 11B-202.4 - EXCEPTION 8:

WHEN THE ADJUSTED CONSTRUCTION COST, AS DEFINED, IS LESS THAN OR EQUAL TO THE CURRENT VALUATION THRESHOLD, AS DEFINED, THE COST OF COMPLIANCE WITH SECTION 11B-202.4 SHALL BE LIMITED TO 20 PERCENT OF THE ADJUSTED CONSTRUCTION COST OF ALTERATIONS, STRUCTURAL REPAIRS OR ADDITIONS. WHEN THE COST OF FULL COMPLIANCE WITH SECTION 11B-202.4 WOULD EXCEED 20 PERCENT, COMPLIANCE SHALL BE PROVIDED TO THE GREATEST EXTENT POSSIBLE WITHOUT EXCEEDING 20 PERCENT.

WHEN THE ADJUSTED CONSTRUCTION COST, AS DEFINED, EXCEEDS THE CURRENT VALUATION THRESHOLD, AS DEFINED, AND THE ENFORCING AGENCY DETERMINES THE COST OF COMPLIANCE WITH SECTION 11B-202.4 IS AN UNREASONABLE HARDSHIP, AS DEFINED, FULL COMPLIANCE WITH SECTION 11B-202.4 SHALL NOT BE REQUIRED. COMPLIANCE SHALL BE PROVIDED BY EQUIVALENT FACILITATION OR TO THE GREATEST EXTENT POSSIBLE WITHOUT CREATING AN UNREASONABLE HARDSHIP, BUT IN NO CASE SHALL THE COST OF COMPLIANCE BE LESS THAN 20 PERCENT OF THE ADJUSTED CONSTRUCTION COST OF ALTERATIONS, STRUCTURAL REPAIRS OR ADDITIONS. THE DETAILS OF THE FINDING OF UNREASONABLE HARDSHIP SHALL BE RECORDED AND ENTERED INTO THE FILES OF THE ENFORCING AGENCY AND SHALL BE SUBJECT TO CHAPTER 1, SECTION 1.9.1.5, SPECIAL CONDITIONS FOR PERSONS WITH DISABILITIES REQUIRING APPEALS ACTION RATIFICATION.

FOR THE PURPOSES OF THIS EXCEPTION, THE ADJUSTED CONSTRUCTION COST OF ALTERATIONS, STRUCTURAL REPAIRS OR ADDITIONS SHALL NOT INCLUDE THE COST OF ALTERATIONS TO PATH OF TRAVEL ELEMENTS REQUIRED TO COMPLY WITH SECTION 11B-202.4.

IN CHOOSING WHICH ACCESSIBLE ELEMENTS TO PROVIDE, PRIORITY SHOULD BE GIVEN TO THOSE ELEMENTS THAT WILL PROVIDE THE GREATEST ACCESS IN THE FOLLOWING ORDER:

1. AN ACCESSIBLE ENTRANCE;
2. AN ACCESSIBLE ROUTE TO THE ALTERED AREA;
3. AT LEAST ONE ACCESSIBLE RESTROOM FOR EACH SEX OR ONE ACCESSIBLE UNISEX (SINGLE-USER OR FAMILY) RESTROOM;
4. ACCESSIBLE TELEPHONES;
5. ACCESSIBLE DRINKING FOUNTAINS; AND
6. WHEN POSSIBLE, ADDITIONAL ACCESSIBLE ELEMENTS SUCH AS PARKING, SIGNS, STORAGE AND ALARMS.

IF AN AREA HAS BEEN ALTERED WITHOUT PROVIDING AN ACCESSIBLE PATH OF TRAVEL TO THAT AREA, AND SUBSEQUENT ALTERATIONS OF THAT AREA OR A DIFFERENT AREA ON THE SAME PATH OF TRAVEL ARE UNDERTAKEN WITHIN THREE YEARS OF THE ORIGINAL ALTERATION, THE TOTAL COST OF ALTERATIONS TO THE AREAS ON THAT PATH OF TRAVEL DURING THE PRECEDING THREE-YEAR PERIOD SHALL BE CONSIDERED IN DETERMINING WHETHER THE COST OF MAKING THAT PATH OF TRAVEL ACCESSIBLE IS DISPROPORTIONATE.

SHEET INDEX

G001	TITLE SHEET
G002	ABBREVIATIONS, SYMBOLS & GENERAL NOTES
G003	GENERAL NOTES
G111	ACCESSIBILITY DETAILS
G112	SIGNAGE AND PARKING DETAILS
G201	OCCUPANCY AND EGRESS PLAN
A100	SITE PLAN - CHANGES FROM DAB 87-03 TO CURRENT CONDITIONS
A101	EXISTING SITE PLAN
A102	PROPOSED SITE PLAN
A110	ENLARGED SITE PLANS OF PROPOSED WORK (CBC 11B-202.4)
A200	DEMO FLOOR PLANS (PER PERMIT DAB 87-03)
A201	FLOOR PLAN & RCP - 1ST FLR. SUITE 'A'
A202	FLOOR PLAN & RCP - 2ND FLR. SUITE 'E'
A251	EXISTING ROOF PLAN (TO REMAIN)
A301	EXISTING / PROPOSED WEST ELEVATION & STAIR / RAMP LANDING SECTION
A601	EXISTING - DOOR AND WINDOW SCHEDULES
M001	MECHANICAL LEGEND, NOTES AND SCHEDULE
M201	MECHANICAL FLOOR PLAN 1ST FLOOR SUITE 'A'
M202	MECHANICAL FLOOR PLAN 2ND FLOOR SUITE 'E'
P001	PLUMBING LEGEND AND NOTES
P002	PLUMBING FIXTURE AND CALCULATIONS
P201	PLUMBING FLOOR PLAN 1ST FLOOR SUITE 'A'
E001	ELECTRICAL SYMBOLS, LEGEND AND NOTES
E010	SINGLE LINE DIAGRAM, PANEL SCHEDULES AND ELECT. NOTES
E100	ELECTRICAL SITE PLAN
E110	POWER / LIGHTING AND PHOTOMETRIC PLANS - SUITE 'A'
E120	POWER / LIGHTING AND PHOTOMETRIC PLANS - SUITE 'E'
E301	GENERAL DETAILS
TOTAL:	28

PROJECT INFORMATION

ADDRESS:	7811 LA MESA BLVD, LA MESA, CA. 91942
LEGAL DESCRIPTION:	LOT 3 ROSELAND HTS. MAP 1506 CITY OF LA MESA DEC. 16, 1912. THOMAS BROS MAP 62-C1
APN:	470-173-0100
LOT:	3
MAP:	001506
ZONING:	RB
OVERLAY ZONE:	RB - D - MU
OCCUPANCY:	V-A
CONSTRUCTION TYPE:	NO
SPRINKLERED:	NO
EXISTING USE:	B
PROPOSED USE:	B, I-4
GROSS LEASEABLE AREA:	5,250 SF
PROJECT APPLICANT LEASE AREA:	1,219 SF - SUITE 'A' 780 SF - SUITE 'E'
TOTAL APPLICANT LEASE AREA:	1,979 SF

PARKING TABLE

GROSS LEASABLE AREA = 5,250 SF / 250 SF = 21 REQUIRED PARKING SPACES

DAB 87-03, CONDITIONS OF APPROVAL REQUIRES = 20 PARKING SPACES

EXISTING PARKING SPACES ON SITE:
COMPACT = 10
REGULAR = 8
ADA VAN PARKING = 1
TOTAL 19

PROPOSED PARKING SPACES ON SITE:
COMPACT = 10
REGULAR = 9
ADA VAN PARKING = 1
TOTAL 20

ZONING DATA

SETBACKS:	
FRONT:	15'
SIDE:	10'
REAR:	10'
HEIGHT:	30'

LOT COVERAGE:	
MAX COVERAGE:	UNLIMITED
(E) LOT COVERAGE:	3,900 SF
(N) LOT COVERAGE:	0 SF

GOVERNING CODES

2022	California Residential Code, Title 24, part 2.5
2022	California Green Building Standards Code, Title 24, part 11
2022	California Building Code, Title 24, part 2, Volumes I and II
2022	California Mechanical Code, Title 24, part 4
2022	California Plumbing Code, Title 24, part 5
2022	California Fire Code, Title 24, part 9
2022	California Electrical Code, Title 24, part 3
2022	California Building Energy Efficiency Standards, Title 24, part 6
2018	International Building Code

SCOPE OF WORK

CONVERT OFFICE SPACE TO COMMUNITY CARE FACILITY
SITE WORK PROPOSED PER: CBC11B-202.4.8 (SEE ADDITIONAL CODE INFORMATION BELOW)

PROJECT OWNER

HOPE INC.
ARTURO CAMACHO JR.
3225 OLIVE ST.
LEMON GROVE, CA 91945
PH. 619.933.3077
FAX. 619.314.6090
HOPEINCADC5@GMAIL.COM

*RESPONSIBLE PARTY OF WATER AND SEWER

PROJECT TEAM

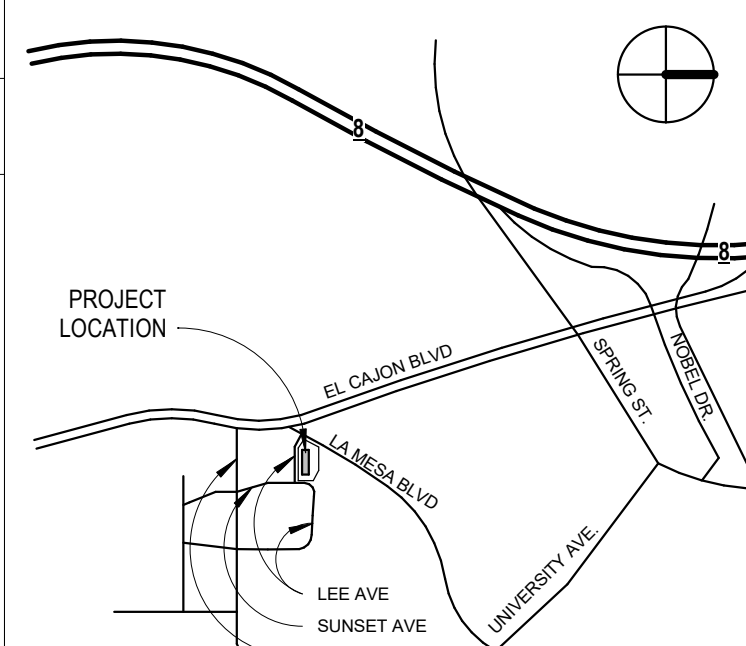
ARCHITECT:
ARCHITECTS LOCAL
CONTACT: STEVE WALDRON
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SAN DIEGO, CA. 92101
o. 916.545.2512 x.202
STEVEW@ARCHITECTSLOCAL.COM

CONTACT: RICK NUSS
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CONTACT: ANDREW BALKWELL
1401 N. EL CAMINO REAL, SUITE 201
SAN CLEMENTE, CA
951.795.5172
JKV@VANDERVEENENG.COM

ELECTRICAL ENGINEER:
ARB ELECTRIC
CONTACT: ANDREW BALKWELL
1401 N. EL CAMINO REAL, SUITE 201
SAN CLEMENTE, CA
949.280.9743
INFO@ARBELECTRIC.COM

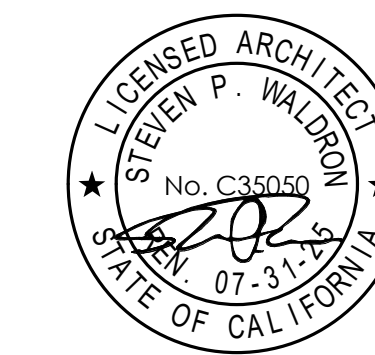
VICINITY MAP



HOPE INC.

7811 LA MESA BLVD

CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY










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SCALE: As indicated AHJ PROJECT NUMBER:

TITLE SHEET

G001

EGRESS LEGEND

-  60" EXIT WIDTH
-  EXIT PATH OF TRAVEL
-  EXIT
-  ACCESSIBLE TOILET
-  ACCUMULATED OCCUPANT LOAD
-  OCCUPANT LOAD PER ROOM
-  FIRE EXTINGUISHER

EGRESS PLAN - GENERAL NOTES

I-4 / SUITE 'A' EGRESS SUMMARY:

1. TOTAL OCCUPANTS = 38, SEE TABLE BELOW
2. EXIT TRAVEL DISTANCE ALLOWED = 150'-0" (PER CBC TABLE 1017.2)
3. COMMON PATH OF TRAVEL ALLOWED = 75'-0" (PER CBC TABLE 1006.2.1)
4. EXIT WIDTH PER OCCUPANT - 0.2 (PER CBC 1005.3.2)
5. TOTAL EXIT WIDTH REQUIRED = 38 * 0.2 = 7.6"
6. TOTAL EXIT WIDTH PROVIDED = 32" MIN IN ALL AREAS
7. MAXIMUM OVERALL DIAGONAL OF SUITE = 49'-1"
8. SEPARATION OF EXITS = 31' - 8"
9. THIS COMPLIES (> THAN 1/2) PER CBC FOR NON-SPRINKLERED AREAS.

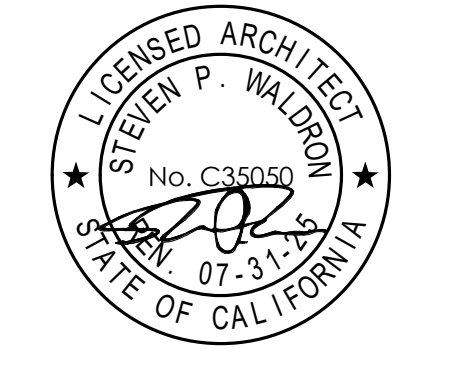
EXIT WIDTH CALCULATIONS

1. EGRESS DOORS MAY BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES ON EGRESS SIDE GIVEN:
- A. ANY DOOR LOCKING DEVICE MUST BE READILY DISTINGUISHABLE AS LOCKED.
- B. SIGNAGE DETAILED ON G112 IS PERMANENTLY INSTALLED ON OR ADJACENT TO EACH EGRESS DOOR.
- C. USE OF KEY-OPERATED LOCK DEVICES HAS NOT BEEN REVOKED BY THE BUILDING OFFICIAL.

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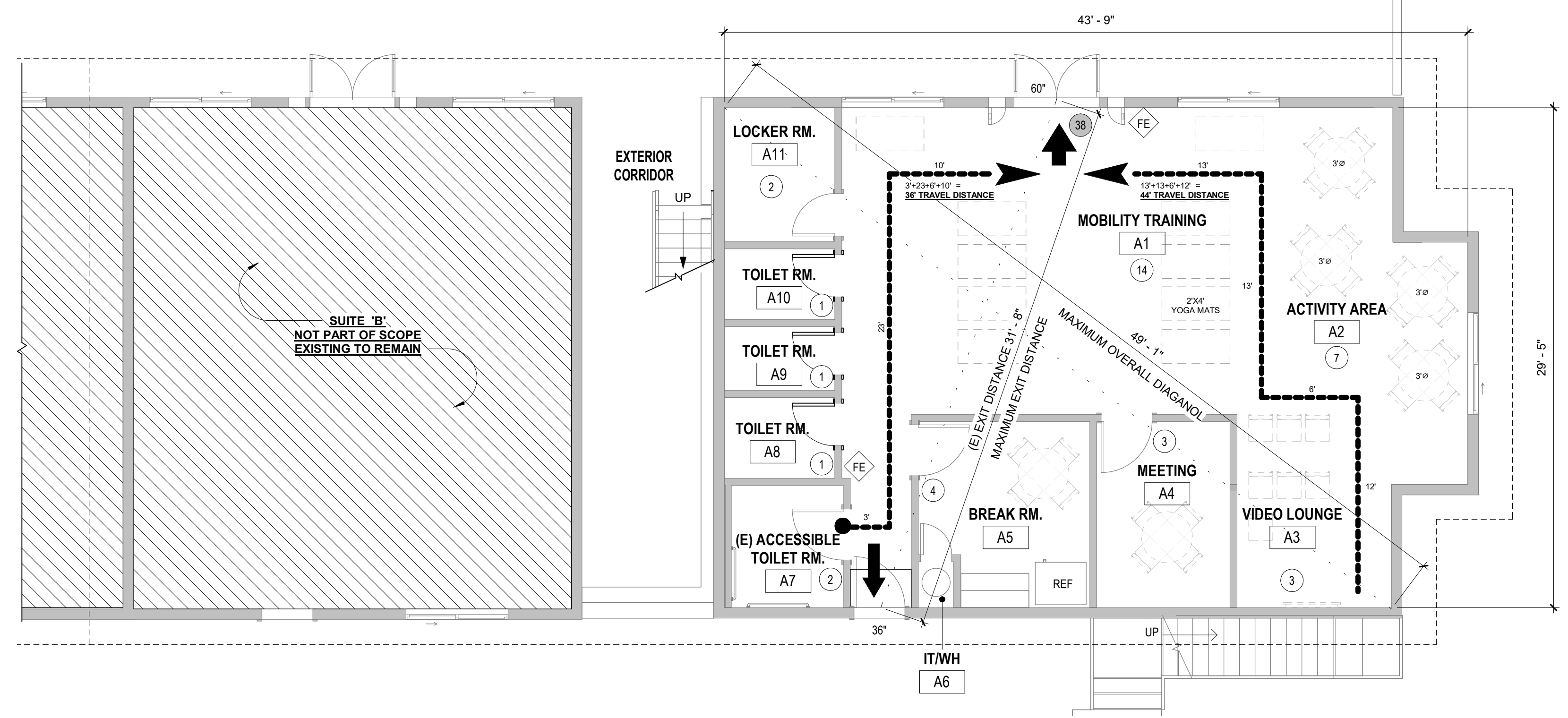
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OCCUPANCY AND EGRESS PLAN

G201



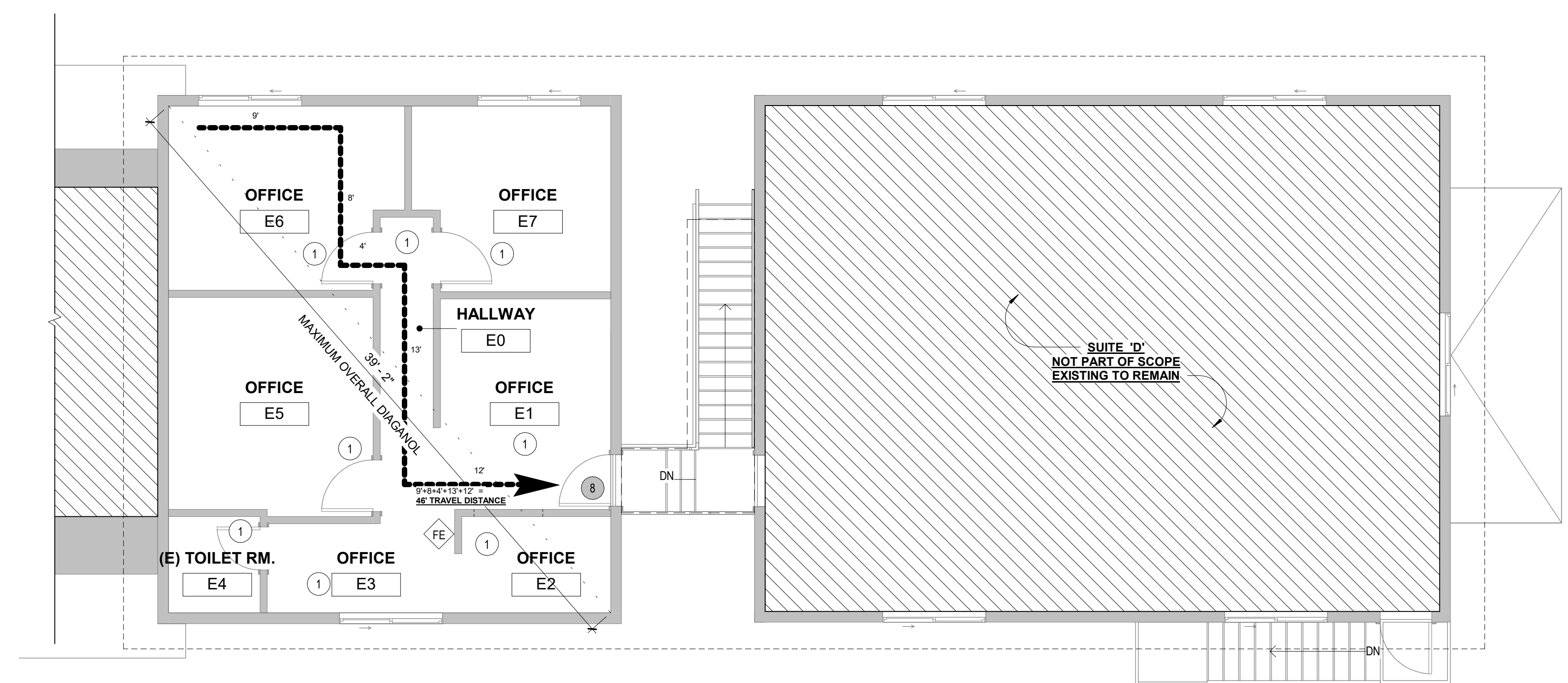
1 1ST FLR. - SUITE 'A' - EGRESSPLAN
3/16" = 1'-0"

OCCUPANT LOAD PER TABLE 1004.1.1 - SUITE 'E'					
NUMBER	NAME	AREA	OCCUPANCY	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
E0	HALLWAY	55 SF	B - BUSINESS AREA	150	1
E1	OFFICE	121 SF	B - BUSINESS AREA	150	1
E2	OFFICE	49 SF	B - BUSINESS AREA	150	1
E3	OFFICE	58 SF	B - BUSINESS AREA	150	1
E4	(E) TOILET RM.	30 SF	B - BUSINESS AREA	150	1
E5	OFFICE	150 SF	B - BUSINESS AREA	150	1
E6	OFFICE	139 SF	B - BUSINESS AREA	150	1
E7	OFFICE	117 SF	B - BUSINESS AREA	150	1

TOTAL OCCUPANTS: 8

OCCUPANT LOAD PER TABLE 1004.1.1 - SUITE 'A'					
NUMBER	NAME	AREA	OCCUPANCY	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
A1	MOBILITY TRAINING	459 SF	I-4 ADULT DAY CARE	35	14
A2	ACTIVITY AREA	233 SF	I-4 ADULT DAY CARE	35	7
A3	VIDEO LOUNGE	103 SF	I-4 ADULT DAY CARE	35	3
A4	MEETING	86 SF	I-4 ADULT DAY CARE	35	3
A5	BREAK RM.	103 SF	I-4 ADULT DAY CARE	35	4
A6	IT/WH	6 SF	ACCESSORY	-	-
A7	(E) ACCESSIBLE TOILET RM.	47 SF	I-4 ADULT DAY CARE	35	2
A8	TOILET RM.	31 SF	I-4 ADULT DAY CARE	35	1
A9	TOILET RM.	24 SF	I-4 ADULT DAY CARE	35	1
A10	TOILET RM.	27 SF	I-4 ADULT DAY CARE	35	1
A11	LOCKER RM.	51 SF	I-4 ADULT DAY CARE	35	2

TOTAL OCCUPANTS: 38



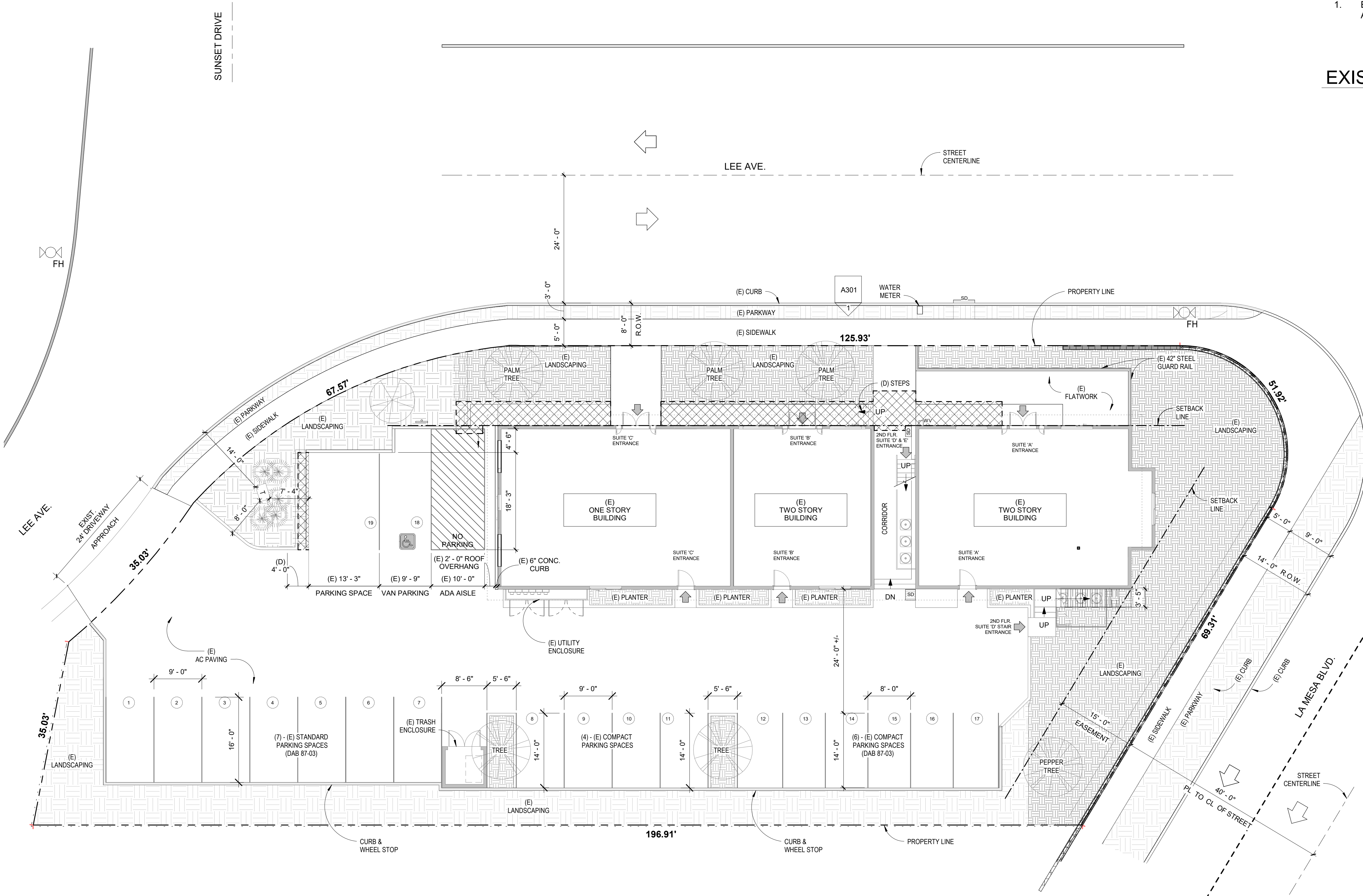
2 2ND FLR. - SUITE 'E' - EGRESS PLAN
3/16" = 1'-0"

GENERAL NOTES

- 1. EXISTING CONDITIONS OF CURRENT SITE PLAN PER APPROVED CITY OF LA MESA PERMIT: **DAB 87-03**

EXIST. SITE PLAN LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- (E) BUILDING WALLS
- (E) BUILDING WALLS
- (E) OCCUPANT SUITE ENTRANCE
- (E) LANDSCAPE (PER DAB 87-03)
- (E) LANDSCAPE
- (D) AREA FOR ACCESSIBLE IMPROVEMENTS >20% OF PROJECT SCOPE
- (E) 6" x 6" CONCRETE CURB (PER DAB 87-03 PERMIT)
- (E) 6" x 6" CONCRETE CURB
- (D) 6" x 6" CONCRETE CURB
- (E) ROOF OVERHANG ABOVE
- (E) PARKING STRIPING
- (E) PARKING SPACE
- (N) PARKING SPACE (108" WIDE X 216" LONG, MIN.)
- (E) ADA PARKING STALL
- (E) ADA PARKING SIGN
- STREET CENTERLINE
- (E) STREET STRIPING
- DIRECTION OF STREET TRAFFIC
- (E) FIRE HYDRANT
- (E) STREET LIGHT POLE
- (E) PEPPER TREE (DAB 87-03)
- (E) TREE
- (E) SHRUB
- (E) 5' HIGH FENCE
- (E) 2' HIGH ROCK WALL
- (E) OUTDOOR A/C UNIT
- (E) OUTDOOR TRANSFORMER
- (E) ELECTRICAL METER
- (E) STORM DRAIN
- (E) WATER SHUT OFF VALVE ACCESS BOX WITH PAD LOCK



1 UNPERMITTED WORK - SITE PLAN FROM EXISTING CONDITIONS 1" = 10'-0"

HOPE INC.
7811 LA MESA BLVD
CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY



Table with columns: NO., ISSUANCE/REVISION, DATE. Below the table: DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. © ARCHITECTS LOCAL 2024. DATE: 09/19/24 AL PROJECT NUMBER: 1-240106 SCALE: As indicated AHJ PROJECT NUMBER:

EXISTING SITE PLAN
A101

GENERAL NOTES

- 1. EXISTING CONDITIONS OF CURRENT SITE PLAN PER APPROVED CITY OF LA MESA PERMIT: **DAB 87-03**

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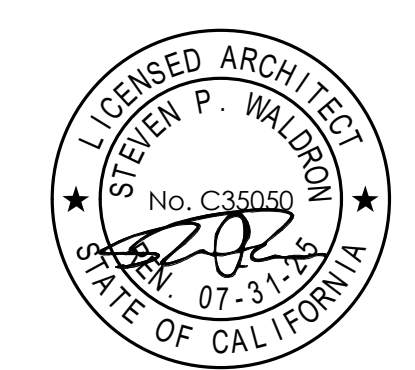
ACCESSIBLE SITE PLAN LEGEND

- - - -	PROPERTY LINE
- · - · -	SETBACK LINE
- ■ - ■ -	(E) BUILDING WALLS
- □ - □ -	(E) BUILDING WALLS
→	(E) OCCUPANT SUITE ENTRANCE
[Pattern]	(E) LANDSCAPE (PER DAB 87-03)
[Pattern]	(E) LANDSCAPE
[Pattern]	(D) AREA FOR ACCESSIBLE IMPROVEMENTS >20% OF PROJECT SCOPE
[Line]	(E) 6" x 6" CONCRETE CURB (PER DAB 87-03 PERMIT)
[Line]	(E) 6" x 6" CONCRETE CURB
[Line]	(D) 6" x 6" CONCRETE CURB
[Line]	(E) ROOF OVERHANG ABOVE
[Line]	(E) PARKING STRIPING
[Line]	(D) PARKING STRIPING TO BE RELOCATED
[Circle]	(E) PARKING SPACE
[Symbol]	(E) ADA PARKING STALL
[Symbol]	(E) ADA PARKING SIGN
[Line]	STREET CENTERLINE
[Line]	(E) STREET STRIPING
[Arrow]	DIRECTION OF STREET TRAFFIC
[Symbol]	(E) FIRE HYDRANT
[Symbol]	(E) STREET LIGHT POLE
[Symbol]	(E) PEPPER TREE (DAB 87-03)
[Symbol]	(E) TREE
[Symbol]	(E) SHRUB
[Symbol]	(E) 5' HIGH FENCE
[Symbol]	(E) 2' HIGH ROCK WALL
[Symbol]	(E) OUTDOOR A/C UNIT
[Symbol]	(E) OUTDOOR TRANSFORMER
[Symbol]	(E) GAS METER
[Symbol]	(E) ELECTRICAL METER
[Symbol]	(E) STORM DRAIN
[Symbol]	(E) MAIL BOX

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CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY

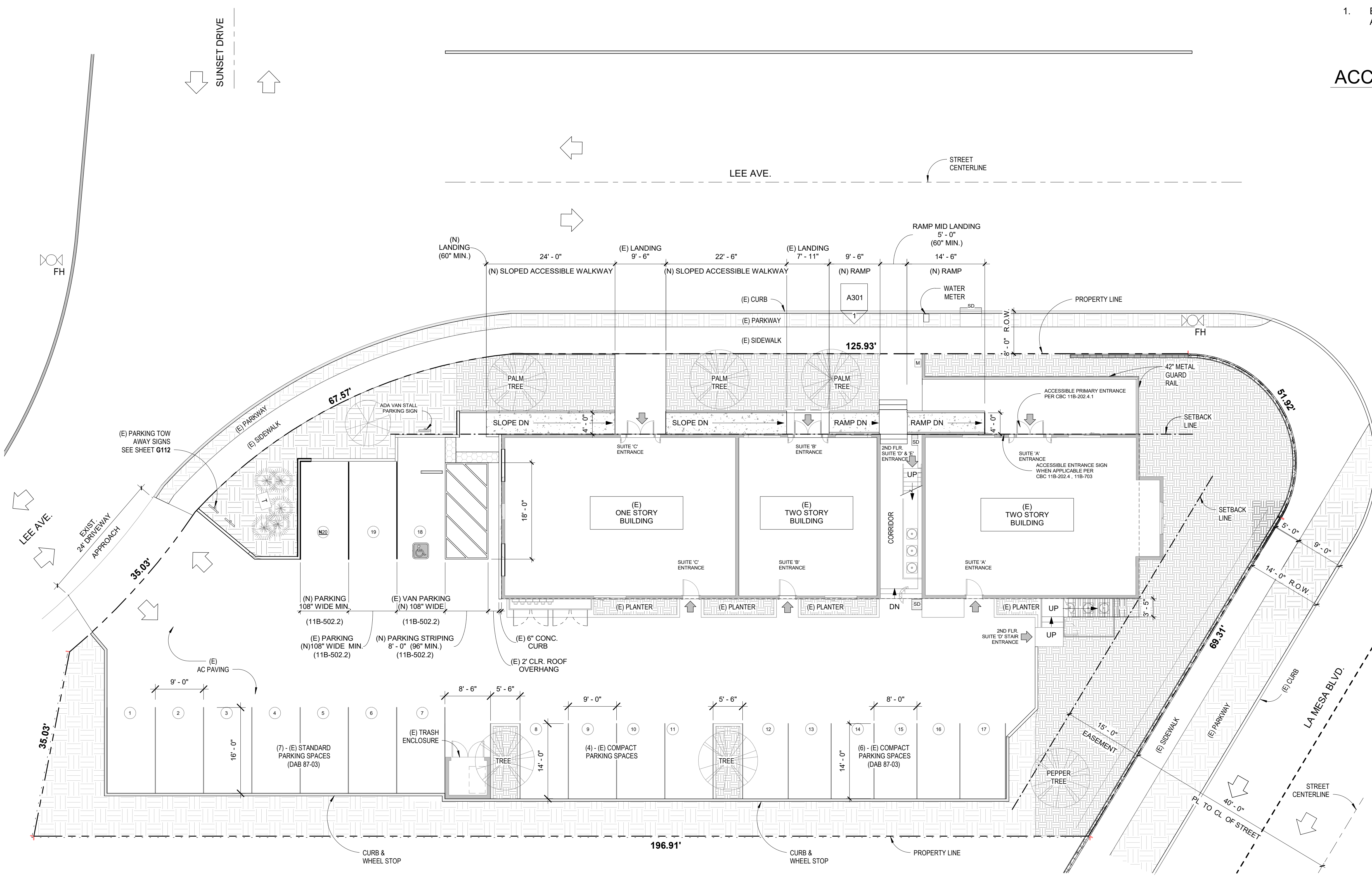


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PROPOSED SITE PLAN

A102



1. PROPOSED ACCESSIBILITY - SITE PLAN FROM CURRENT CONDITIONS
1" = 10'-0"

HOPE INC.

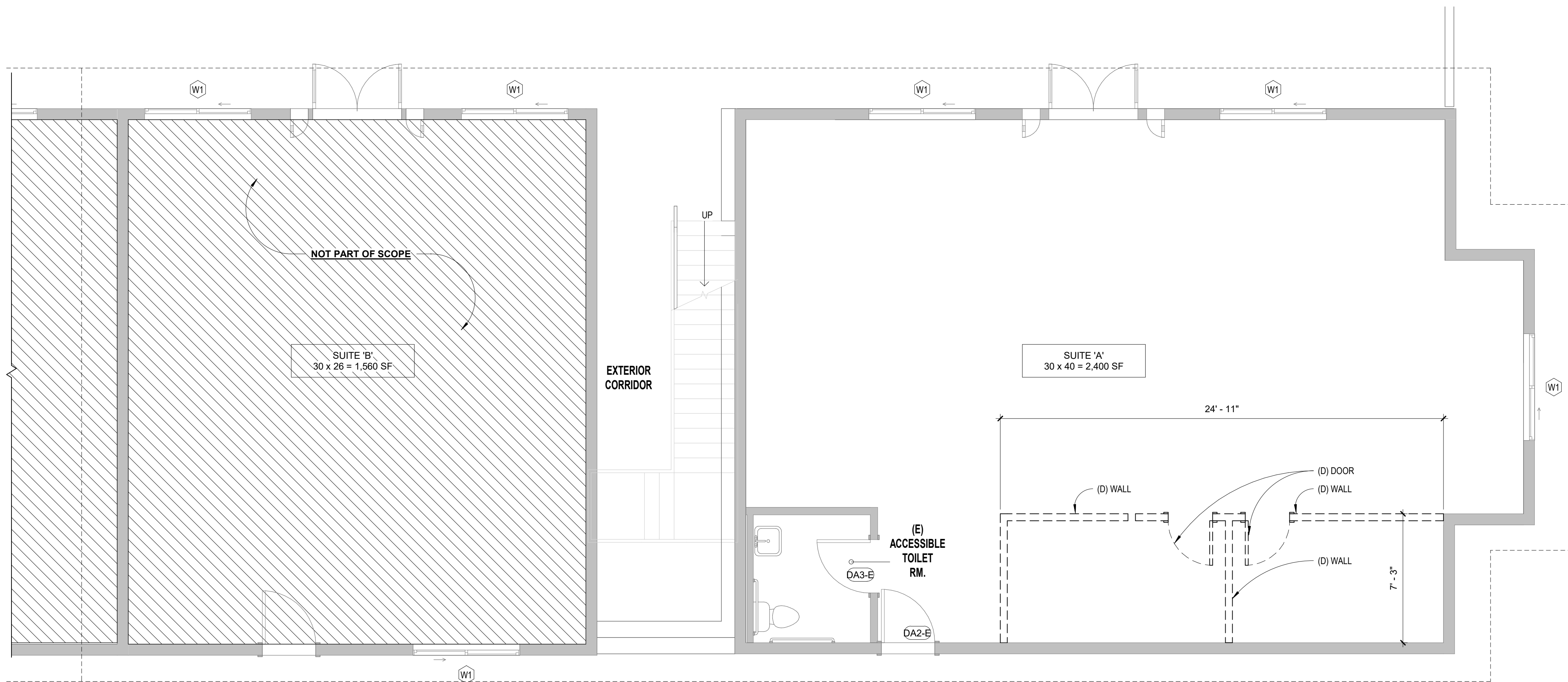
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CONDITIONAL USE BUILDING
PERMIT TO RECTIFY
UNPERMITTED CONSTRUCTION -
COMMUNITY CARE FACILITY

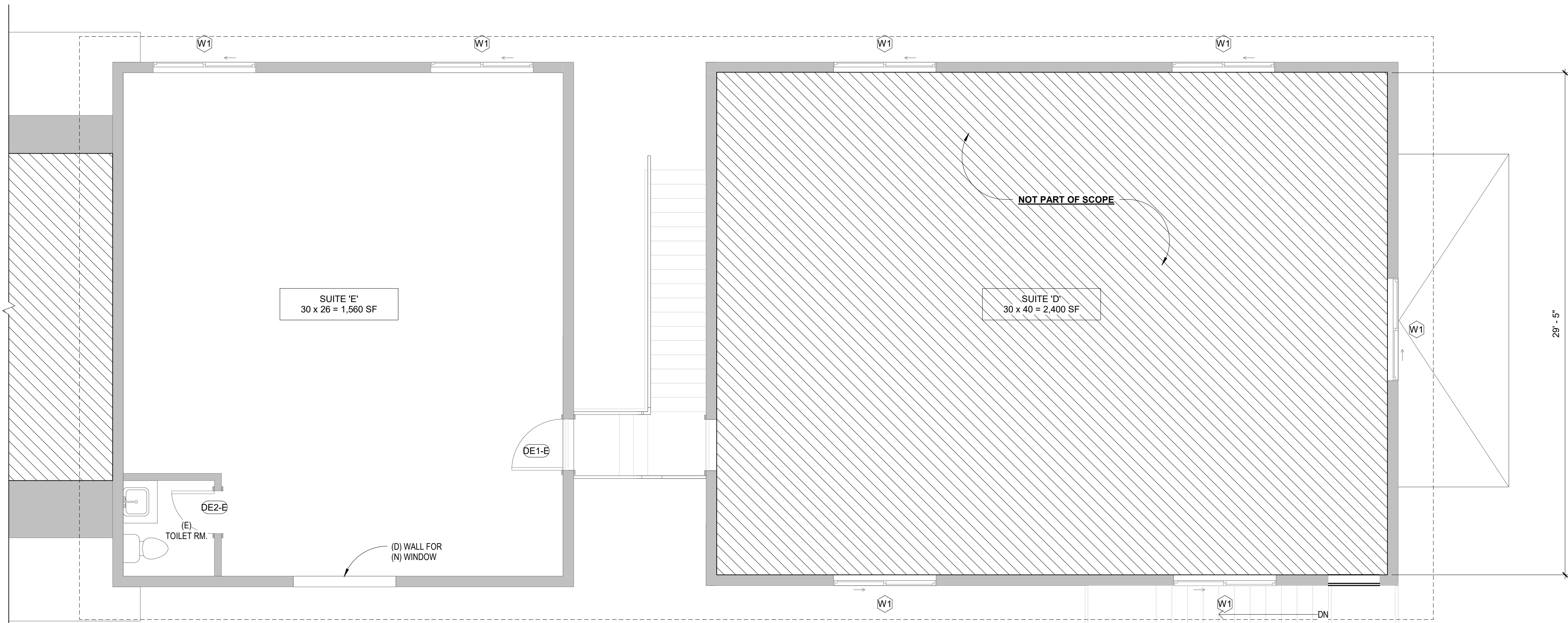


NO.	ISSUANCE/REVISION	DATE

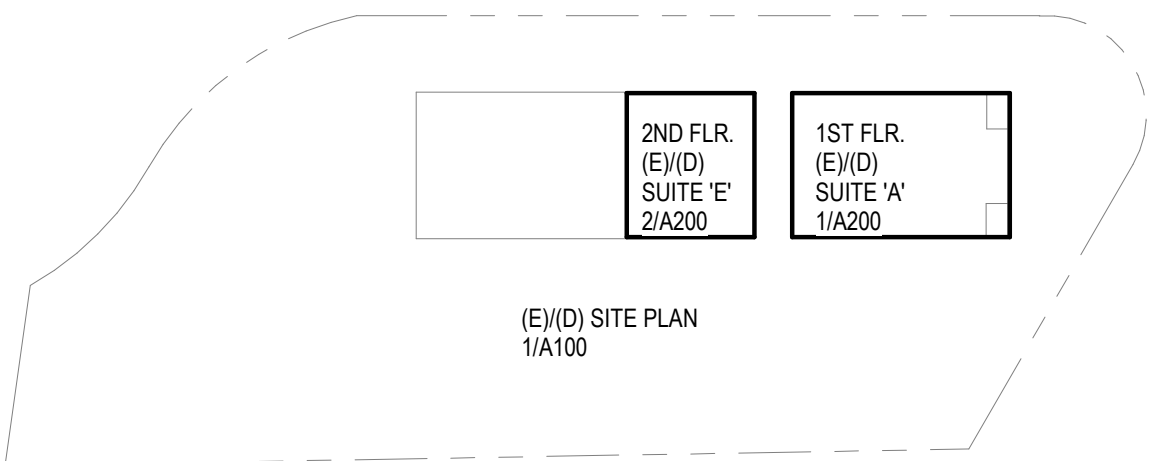
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1 DEMO - 1ST FLOOR PLAN - SUITE 'A'
(DAB 87-03)
1/4" = 1'-0"



2 DEMO - 2ND FLOOR PLAN - SUITE 'E'
(DAB 87-03)
1/4" = 1'-0"



LOCATION MAP



**DEMO FLOOR
PLANS (PER
PERMIT DAB 87-03)**

A200

GENERAL NOTES

- EXISTING CONDITIONS OF CURRENT SITE PLAN PER APPROVED CITY OF LA MESA PERMIT: **DAB 87-03**

FLOOR PLAN LEGEND

	(E) WALL TO REMAIN (DAB 87-03)
	NOTE: THERE WILL BE NO CHANGES TO EXISTING WALLS
	ROOF OVERHANG LINE ABOVE
	REFRIGERATOR
	TOILET
	VANITY
	KITCHEN SINK
	OUTDOOR A/C UNIT
	CIRCUIT BREAKER PANEL
	THERMOSTAT
	LIGHT SWITCH
	DUPLEX OUTLET
	DATA OUTLET
	FIRE EXTINGUISHER

(E) RCP LEGEND

	(E) FULL HEIGHT WALL
	(E) BELOW CEILING HEIGHT WALL
	(E) 2 x 4 CEILING GRID
	(E) GYPSUM BOARD CEILING
	(E) 2x4 RECESSED CEILING GRID LIGHT FIXTURE
	(E) TOILET ROOM LIGHT WITH VENTILATION
	(E) CIRCULAR SURFACE MOUNTED LIGHT
	(E) EXIT SIGN
	MECHANICAL RETURN GRILLE
	MECHANICAL SUPPLY GRILLE
	ROUND SPEAKER

CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY



NO: ISSUANCE/REVISION: DATE:

NO.	ISSUANCE/REVISION:	DATE:

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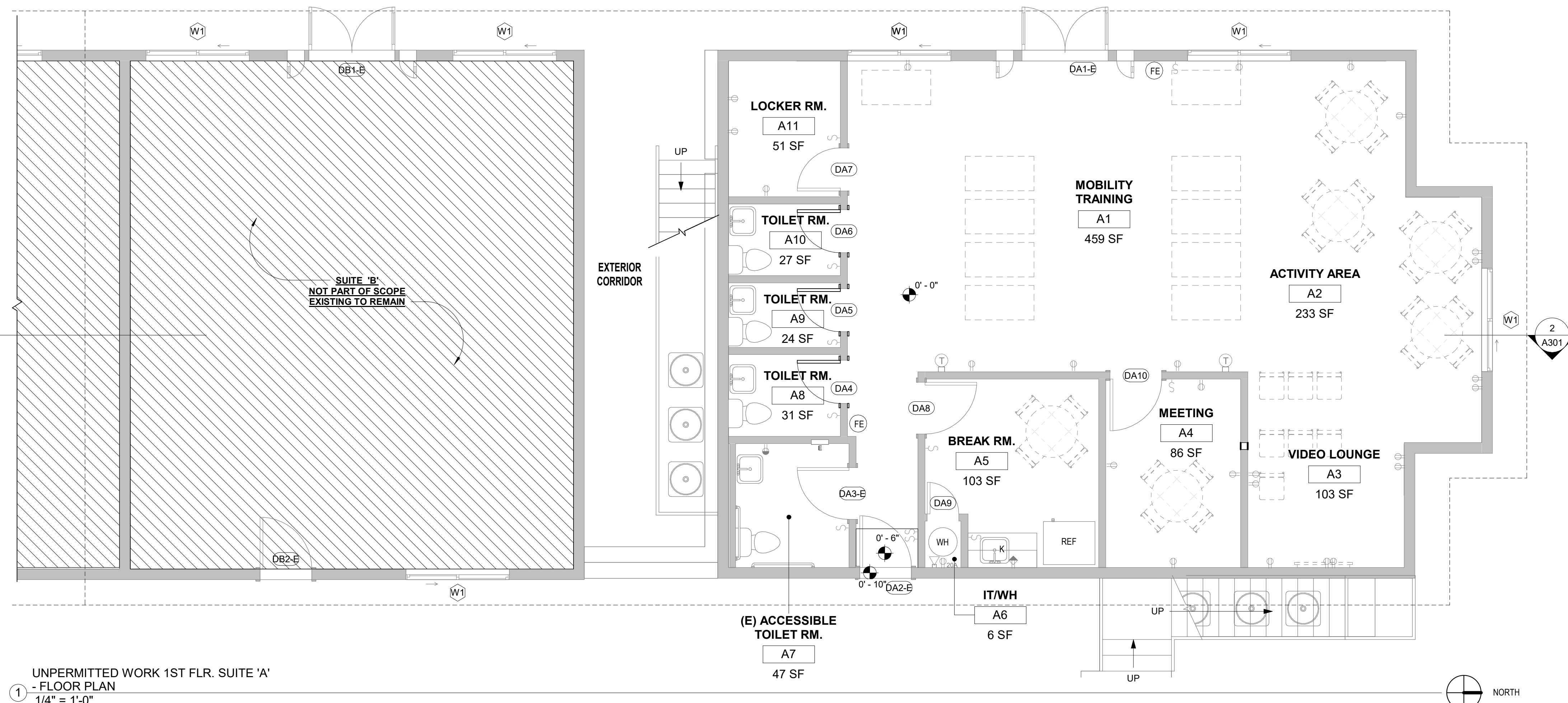
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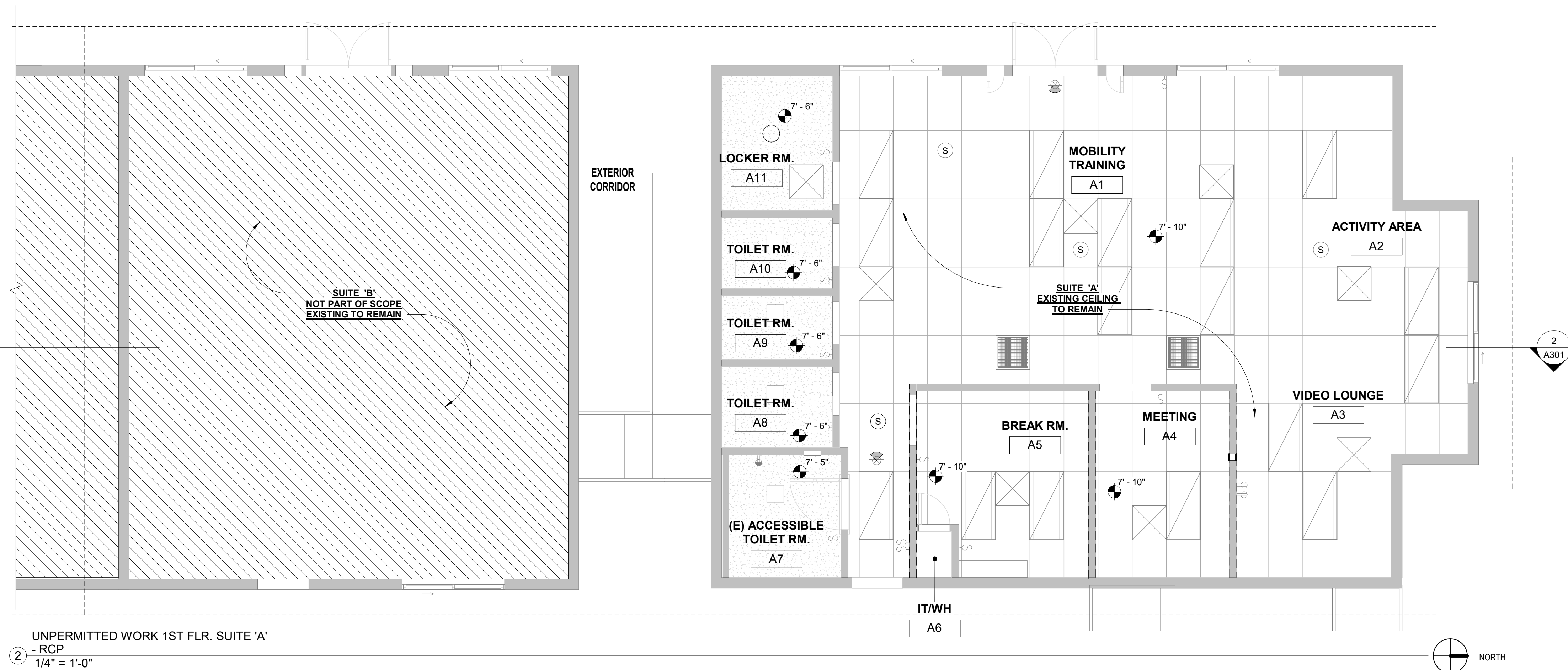
As indicated

FLOOR PLAN & RCP - 1ST FLR. SUITE 'A'

A201

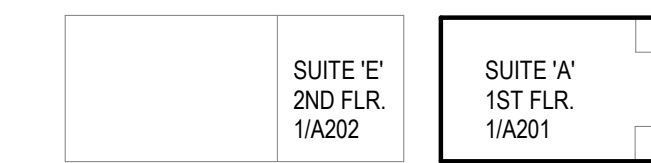


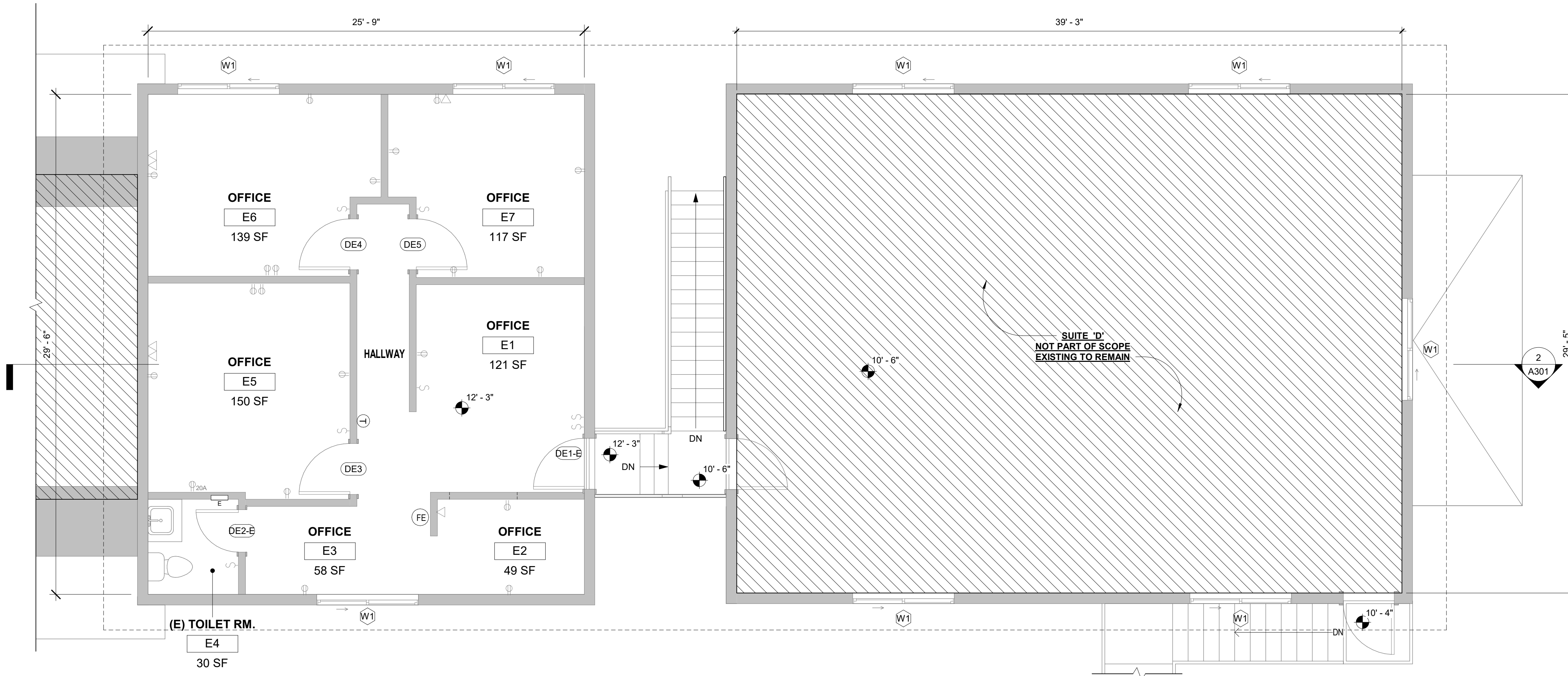
1 UNPERMITTED WORK 1ST FLR. SUITE 'A' - FLOOR PLAN
1/4" = 1'-0"



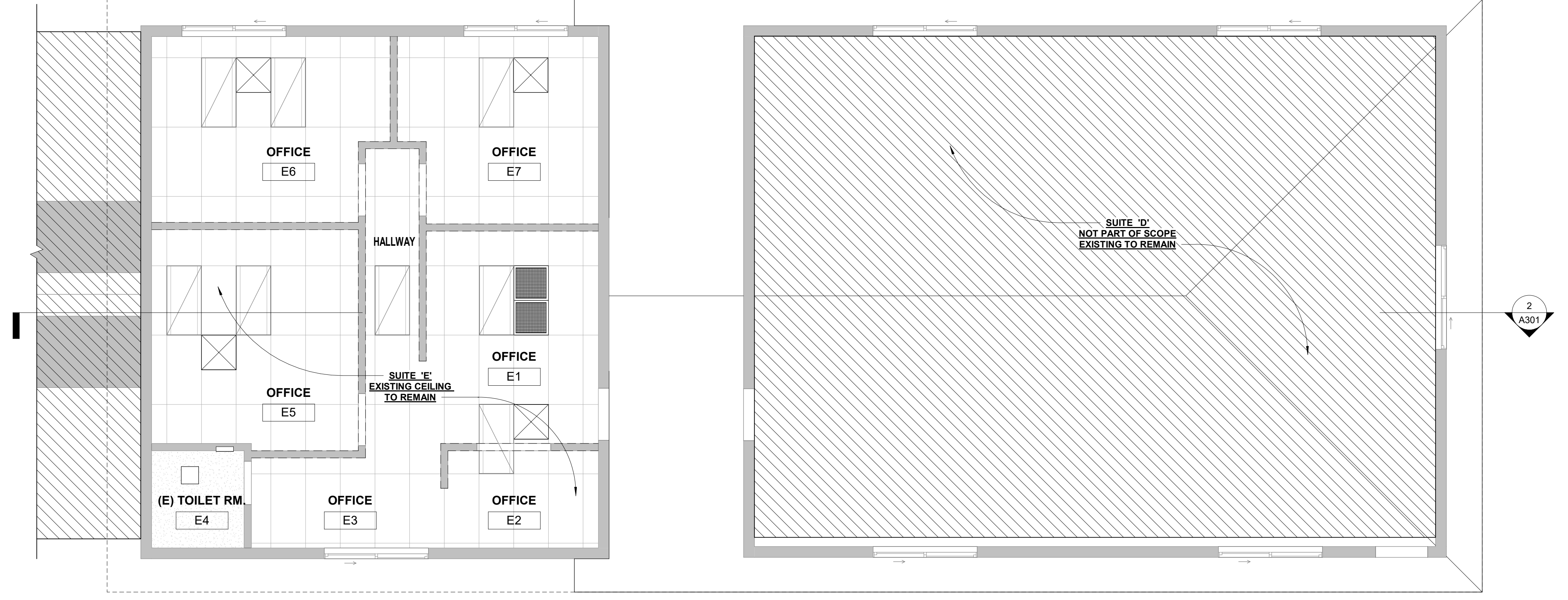
2 UNPERMITTED WORK 1ST FLR. SUITE 'A' - RCP
1/4" = 1'-0"

LOCATION MAP





1 UNPERMITTED WORK 2ND FLR. SUITE
 'E' - FLOOR PLAN
 1/4" = 1'-0"



2 UNPERMITTED WORK 2ND FLR. SUITE
 'E' - RCP
 1/4" = 1'-0"

GENERAL NOTES

1. EXISTING CONDITONS OF CURRENT SITE PLAN PER APPROVED CITY OF LA MESA PERMIT: **DAB 87-03**

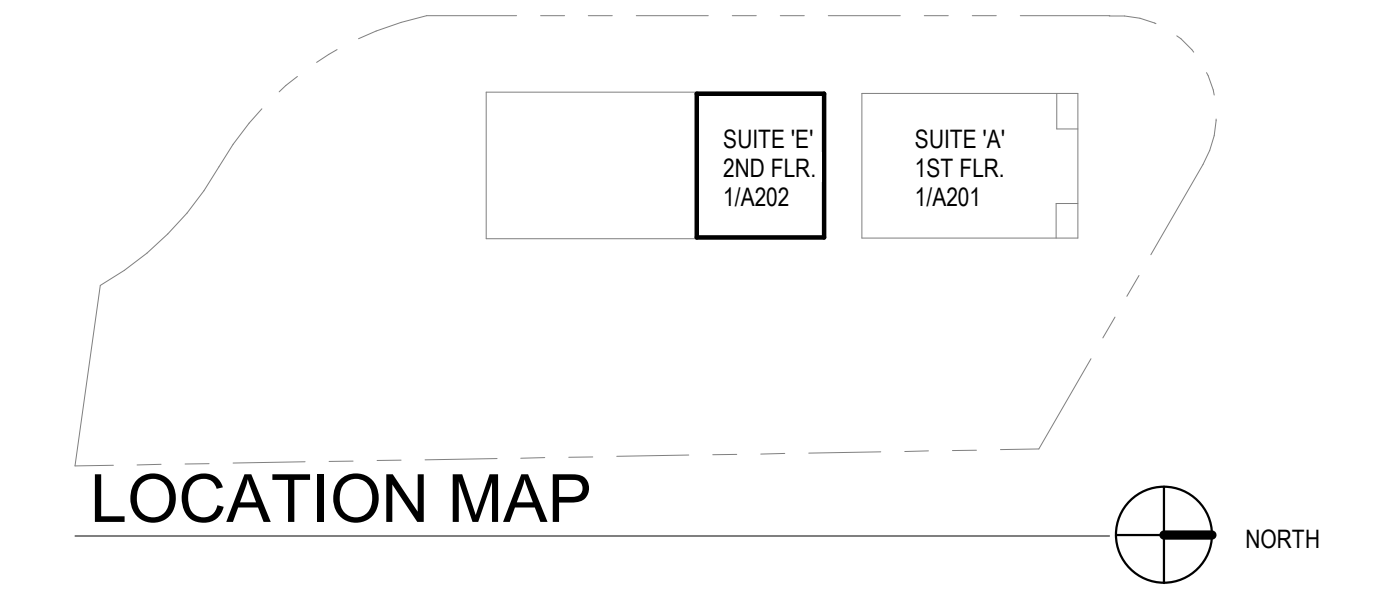
FLOOR PLAN LEGEND

	(E) WALL TO REMAIN (DAB 87-03)
	NOTE: THERE WILL BE NO CHANGES TO EXISTING WALLS
	ROOF OVERHANG LINE ABOVE
	REFRIGERATOR
	TOILET
	VANITY
	KITCHEN SINK
	OUTDOOR A/C UNIT
	CIRCUIT BREAKER PANEL
	THERMOSTAT
	LIGHT SWITCH
	DUPLEX OUTLET
	DATA OUTLET
	FIRE EXTINGUISHER

(E) RCP LEGEND

	(E) FULL HEIGHT WALL
	(E) BELOW CEILING HEIGHT WALL
	(E) 2 x 4 CEILING GRID
	(E) GYPSUM BOARD CEILING
	(E) 2x4 RECESSED CEILING GRID LIGHT FIXTURE
	(E) TOILET ROOM LIGHT WITH VENTILATION
	(E) CIRCULAR SURFACE MOUNTED LIGHT
	(E) EXIT SIGN
	MECHANICAL RETURN GRILLE
	MECHANICAL SUPPLY GRILLE
	ROUND SPEAKER

NOTE: THERE WILL BE **NO CHANGES TO EXISTING CEILINGS**



LOCATION MAP

DEVELOPERS
 DESIGNERS
 ARCHITECTS
 BUILDERS
 INVESTORS

LOCAL

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 www.architectslocal.com

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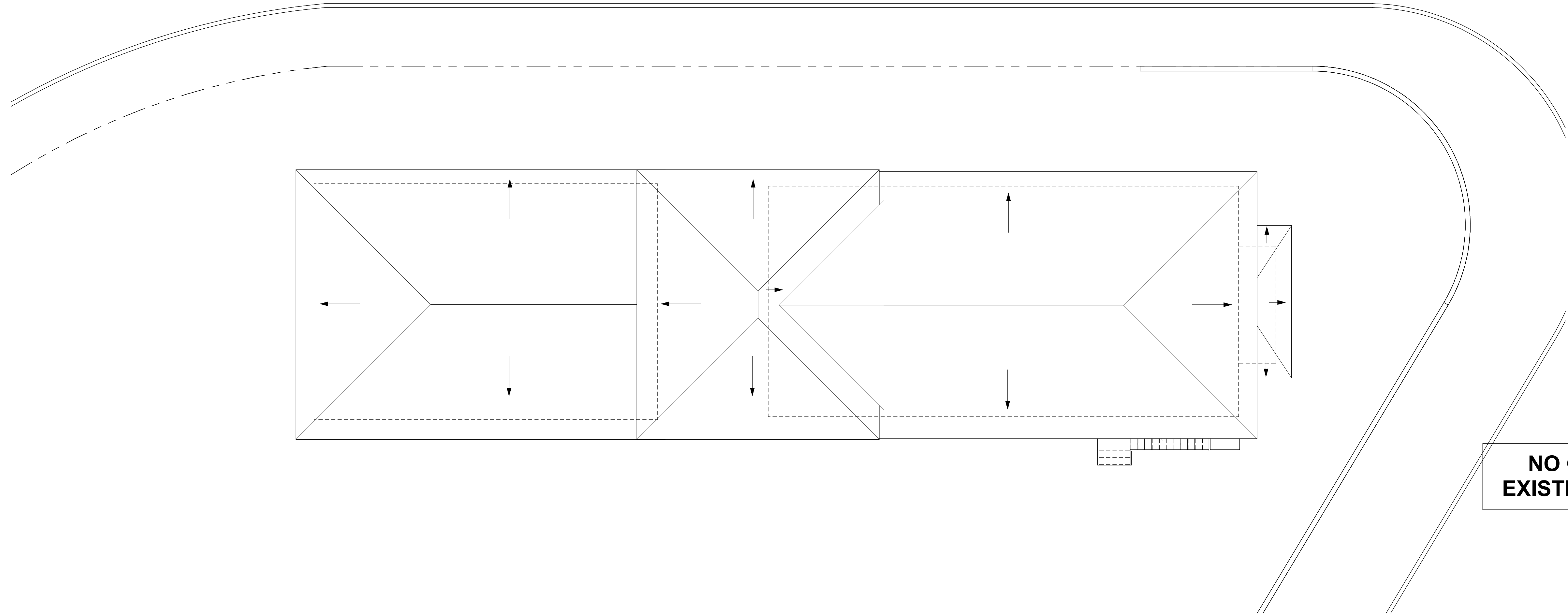
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FLOOR PLAN & RCP - 2ND FLR. SUITE 'E'

A202

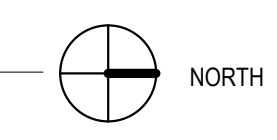


LEGEND

	WALL LINE BELOW
	WATER DRAINAGE

NO CHANGES TO EXISTING ROOF PLAN

① EXISTING ROOF PLAN
1/8" = 1'-0"



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CONDITIONAL USE BUILDING
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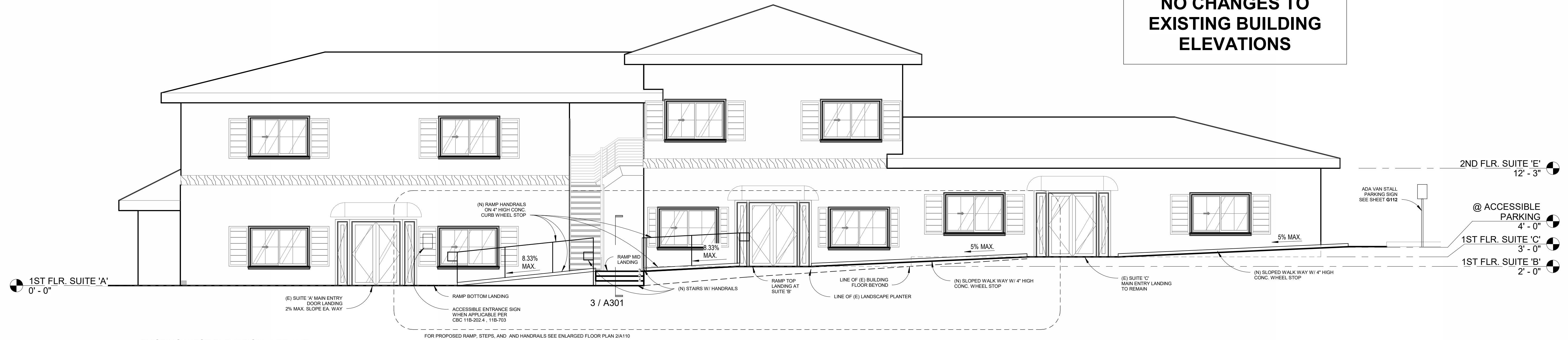
NO.	ISSUANCE/REVISION:	DATE:

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EXISTING ROOF PLAN (TO REMAIN)

A251

NO CHANGES TO EXISTING BUILDING ELEVATIONS



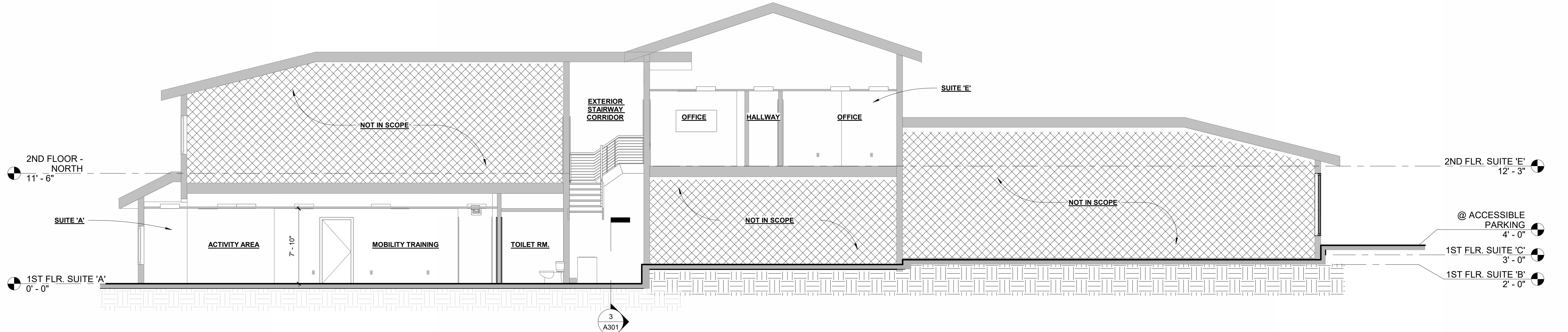
HOPE INC.

- 2ND FLR. SUITE 'E' 12' - 3"
- @ ACCESSIBLE PARKING 4' - 0"
- 1ST FLR. SUITE 'C' 3' - 0"
- 1ST FLR. SUITE 'B' 2' - 0"

7811 LA MESA BLVD

1 EXISTING WEST ELEVATION - LEE AVE.
3/16" = 1'-0"

CONDITIONAL USE BUILDING PERMIT TO RECTIFY UNPERMITTED CONSTRUCTION - COMMUNITY CARE FACILITY

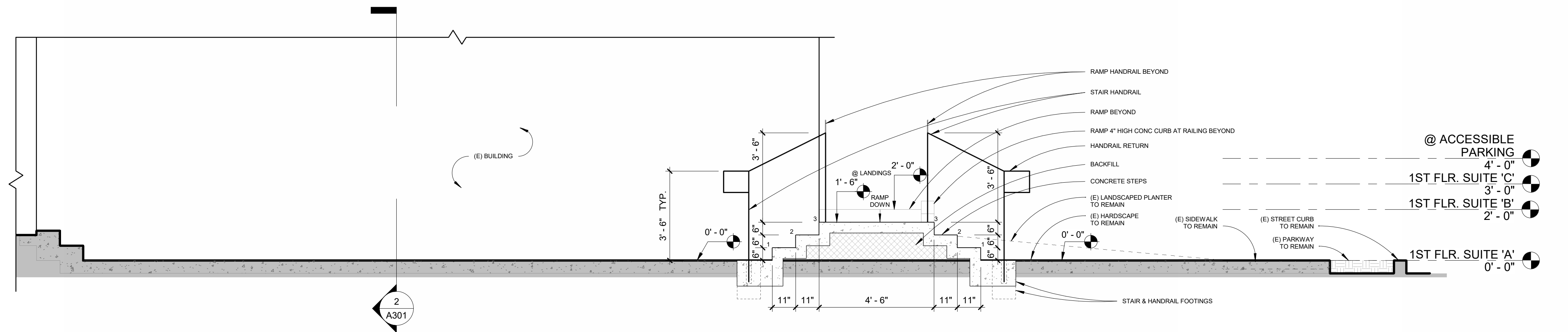


2 OVERALL BUILDING SECTION
3/16" = 1'-0"

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3 STAIR / RAMP LANDING SECTION
3/8" = 1'-0"

**EXISTING / PROPOSED WEST ELEVATION & STAIR / RAMP LANDING SECTION
A301**